

Exhibit: Existing Conditions: 1636 Argonne Place NW

Front: Existing Conditions

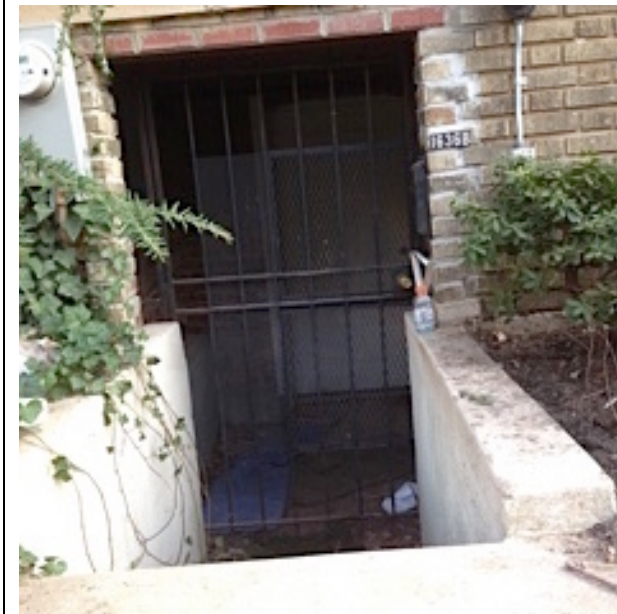
Facade	Stairs to First Landing
	
Lower Level Entryway	Path to Lower Level
	

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Rear: Existing Conditions

Facade	Rear East Perimeter (Accessible for Measurement)
	
Rear West Perimeter (With Garage Door Up and Accessible for Measurement)	Rear West Perimeter (With Garage Door Down)
	

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Front: Existing Grade (Construction Drawings and Photos)

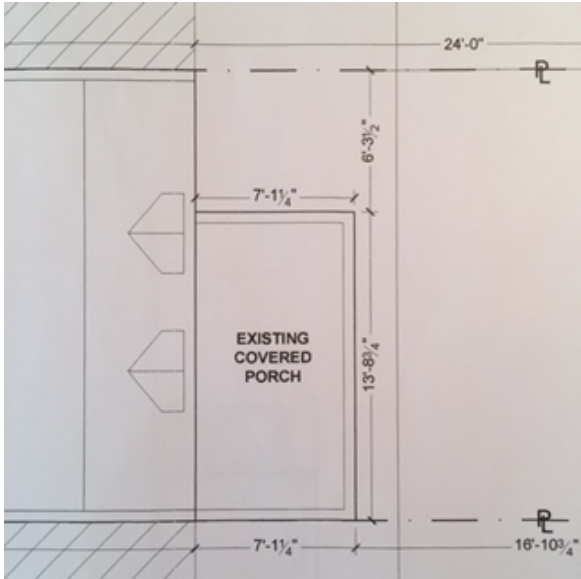
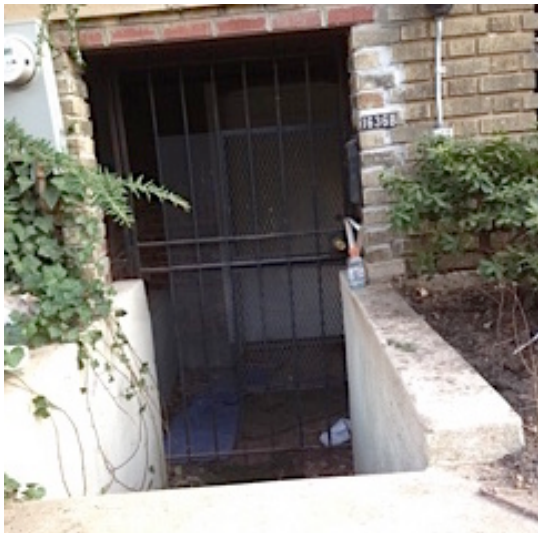
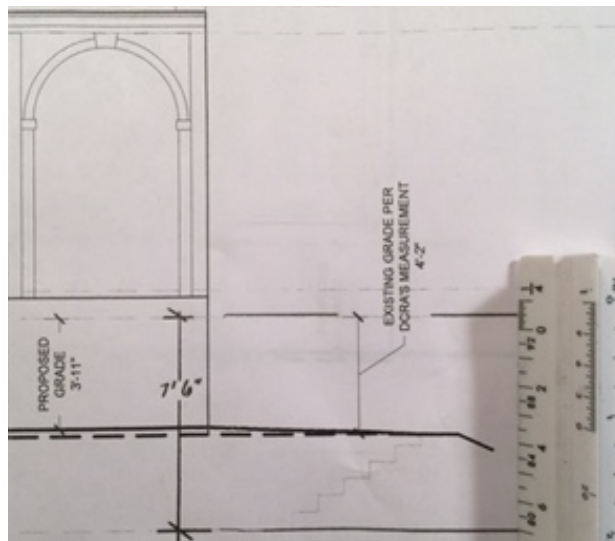
Revised Plans - Dimensions of Front Entryway 7' 1 1/4" wide - A0100 (12/17/14)	Architect's Photo – Mis-measured from Elevated Curb and Top of Measure Does Not Extend to Ceiling of LL
	
Appellants' Photo Evidencing Lower Level Entryway as well as measurement point from architect's photo on top of raised curb.	Appellants' Photo of Additional Distance (~8") from Bottom Lip of Porch to Ceiling of Entryway
	

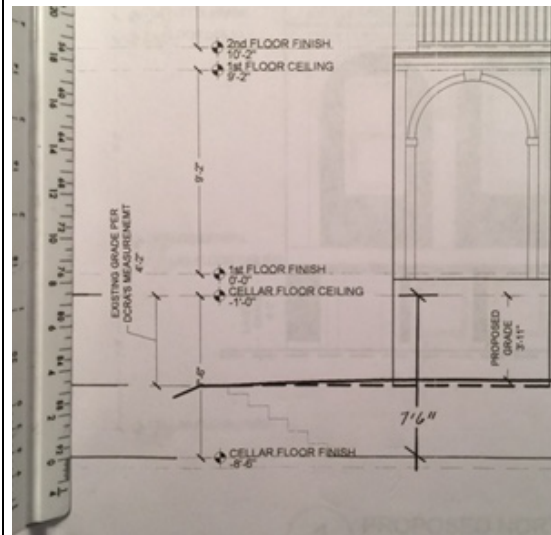
Exhibit: Existing Conditions: 1636 Argonne Place NW

Front: Existing Grade (Construction Drawings)

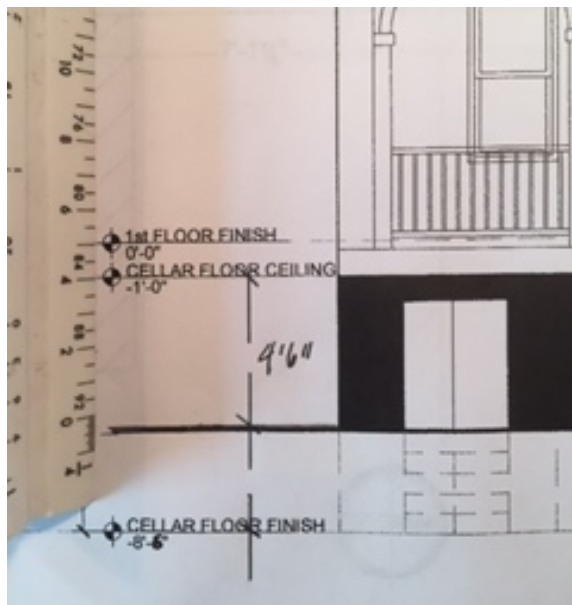
Revised Plans - DCRA Notes Existing Grade as 4'2" Establishes Lower Level Front Grade as Basement. Drawing Misrepresents Grade as 3'11" A0201 (12/17/14)



Revised Plans - DCRA Notes Existing Grade as 4'2" Establishes Lower Level Front Grade as Basement. Drawing Misrepresents Grade as 3'11" A0202 (12/16/14)



Initial Plans - Elevation of Front Façade. Grade From Front Walk to Ceiling of Lower Level is 4'6" AD0201 (06/24/14)



Initial Plans - Elevation of Entryway Misrepresents Existing Grade, which is Actually 8'. A0202 (06/24/14)

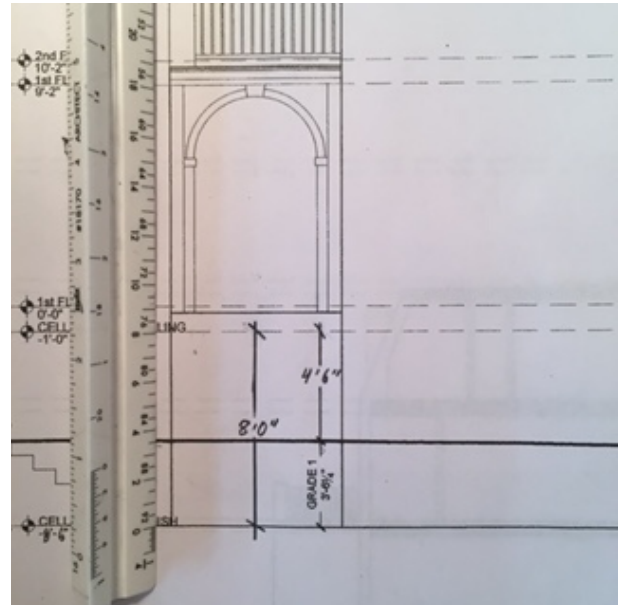
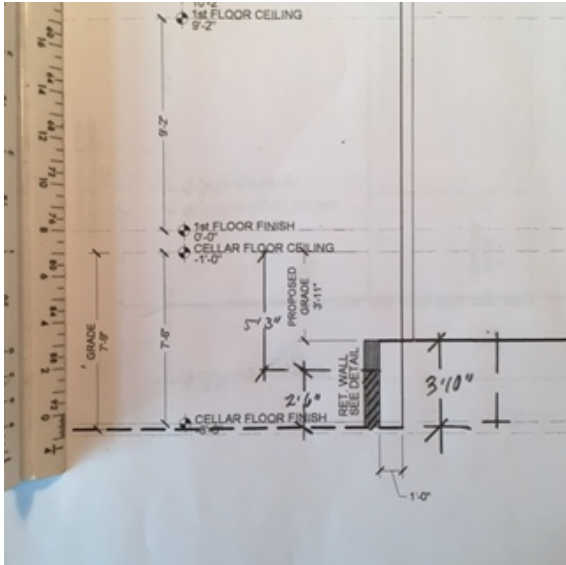
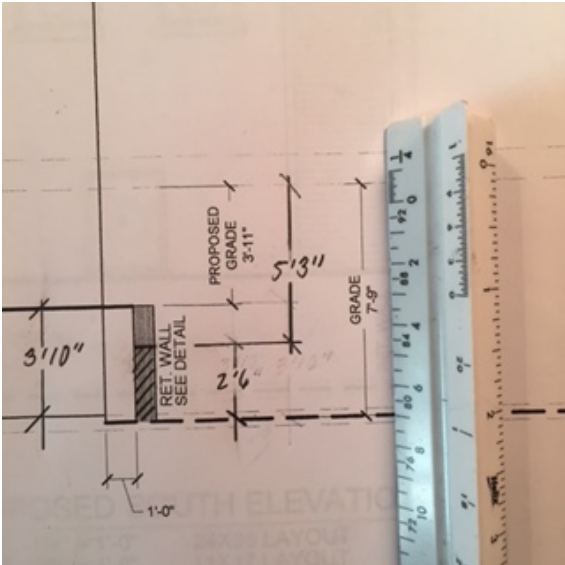
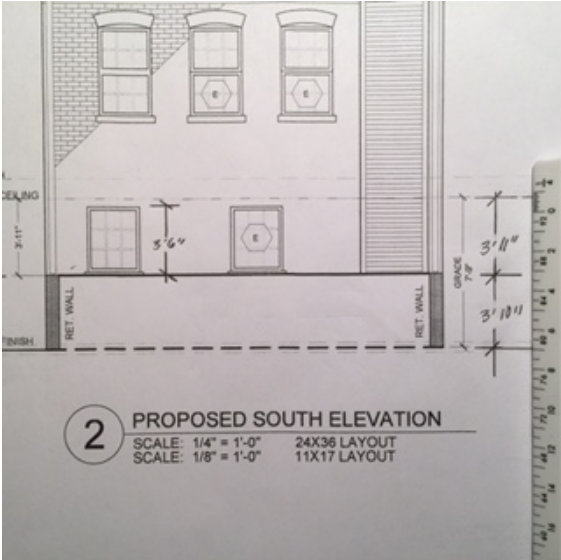
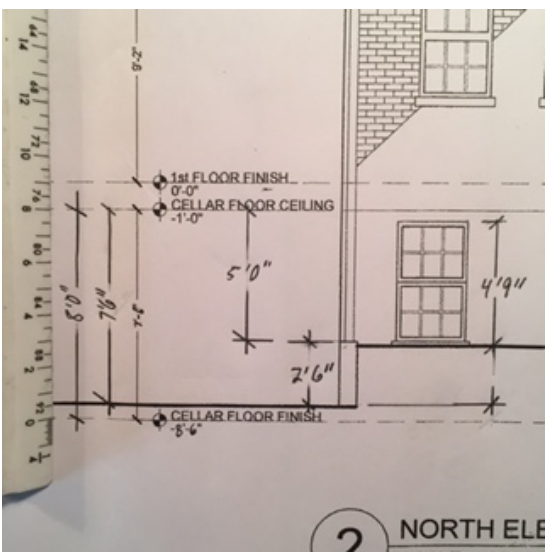
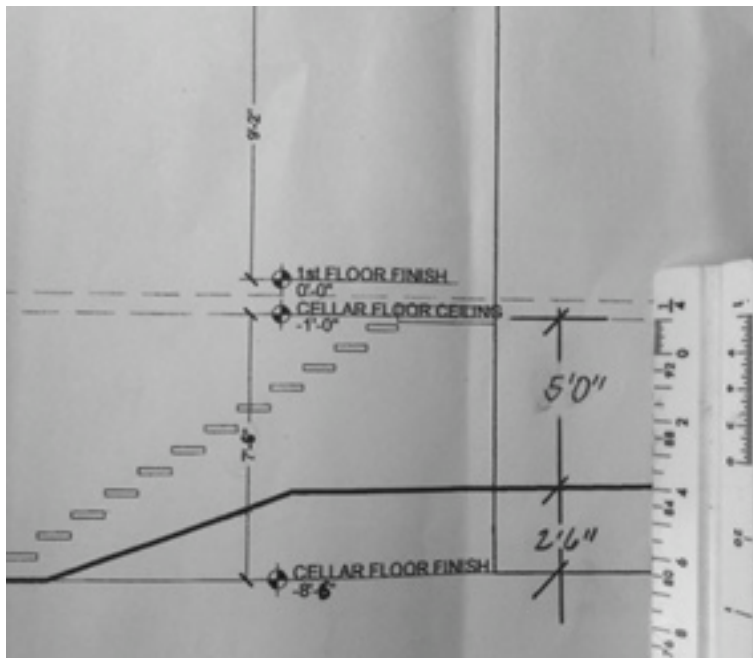


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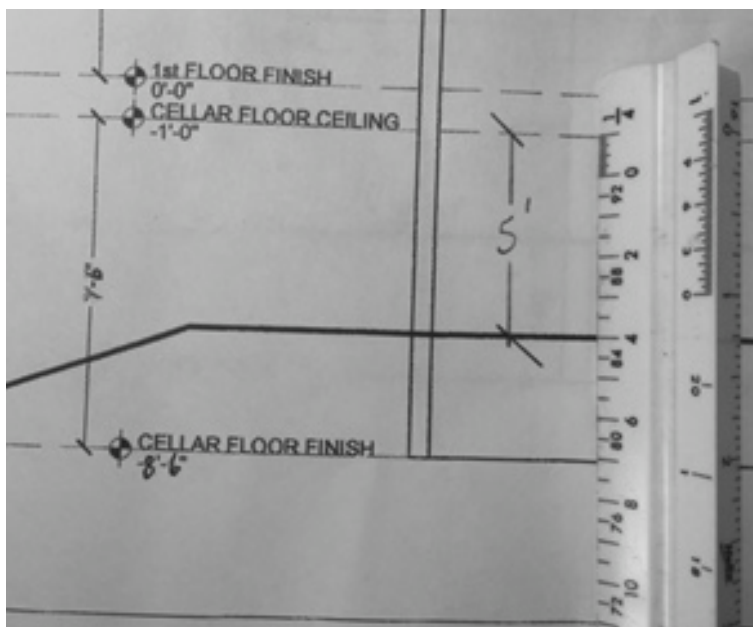
Rear: Existing and Proposed Grade (Construction Drawings)

Revised Plans - Proposed Misrepresents Retaining Wall as 3'10" Grade would be 5'3" if constructed at permitted at 30" height - A0201 (12/17/14)	Revised Plans - Rear Proposed Misrepresents Retaining Wall as 3'10" Grade would be 5'3" if constructed as permitted at 30" height - A0202 (12/17/14)
	
Revised Plans - Retaining Wall is 3'10" in height, above allowed 2'6"; Proposed windows are 3'6" in height rather than original 4'9" - A0203 (12/17/14)	Initial Plans - Top of Retaining Wall to Lower Level Ceiling is 5'. Windows with height of 4'9" A0202 (06/24/14)
	

Rear Grade: Elevation Drawing Existing and Proposed



2014 Existing
Depicts Non-
existent grade that
still results in 5'
rear grade
AD0201 (6/24/14)



2014 Proposed
Depicts non-
existing
proposed grade
that still results
in a 5' rear grade
A0201 (6/24/14)

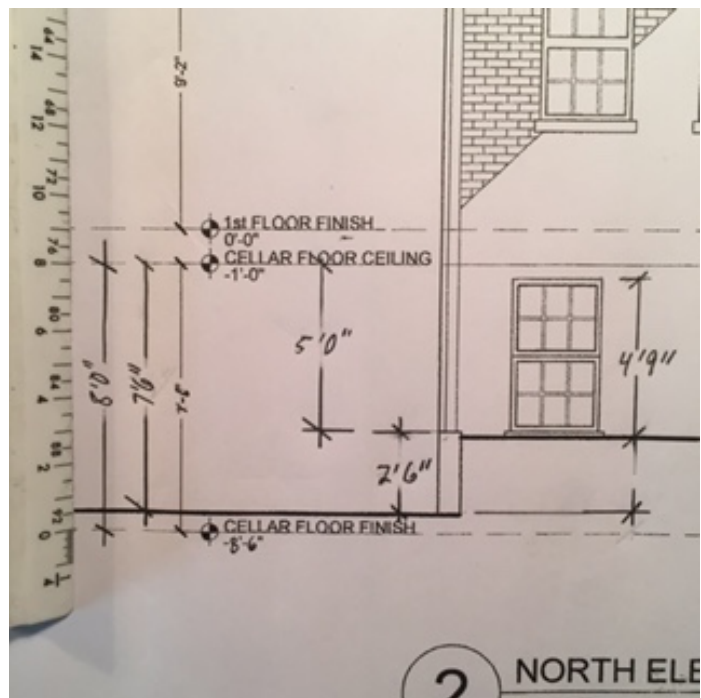
Rear Windows

49" Height – Photo Taken 5/4/15

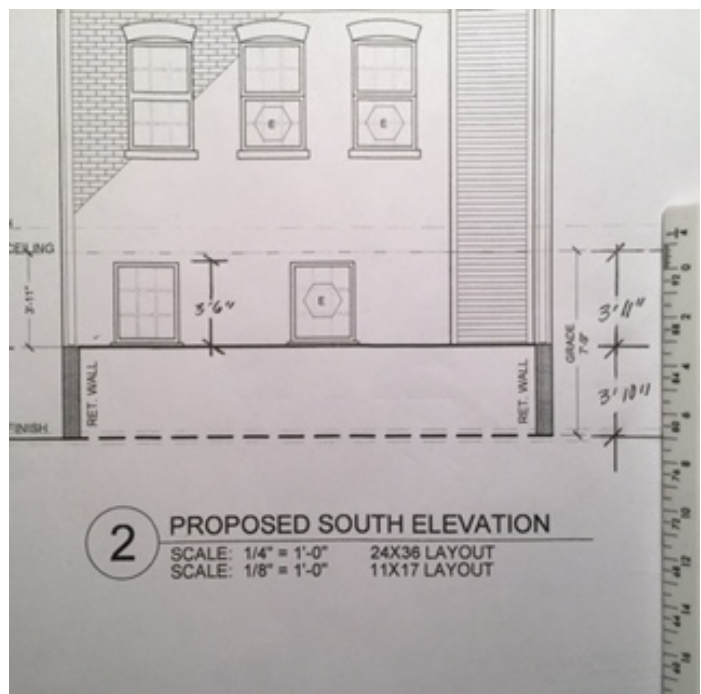


Rear Window Dimensions Revised Plans Do Not Match Actual Installation

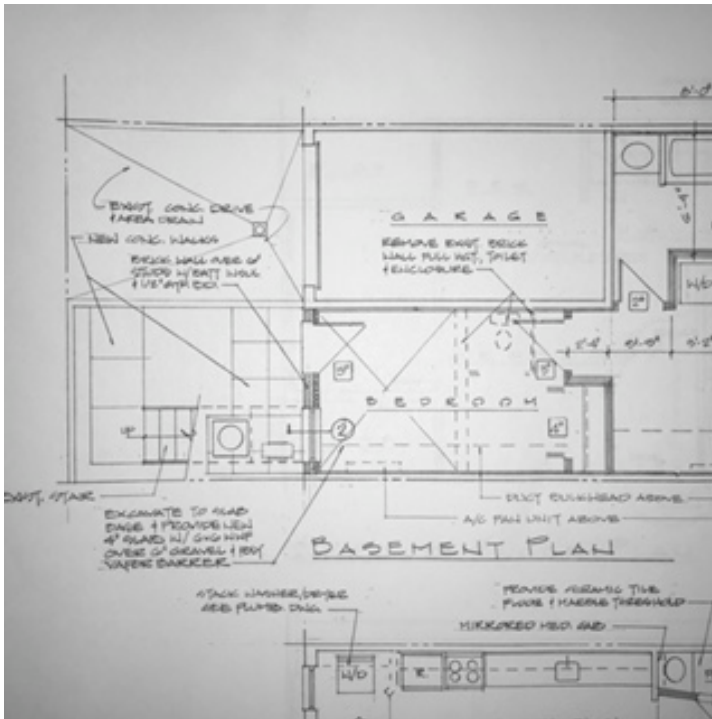
Window Height 4'9"
Initial Plans
A0202 (6/24/14)



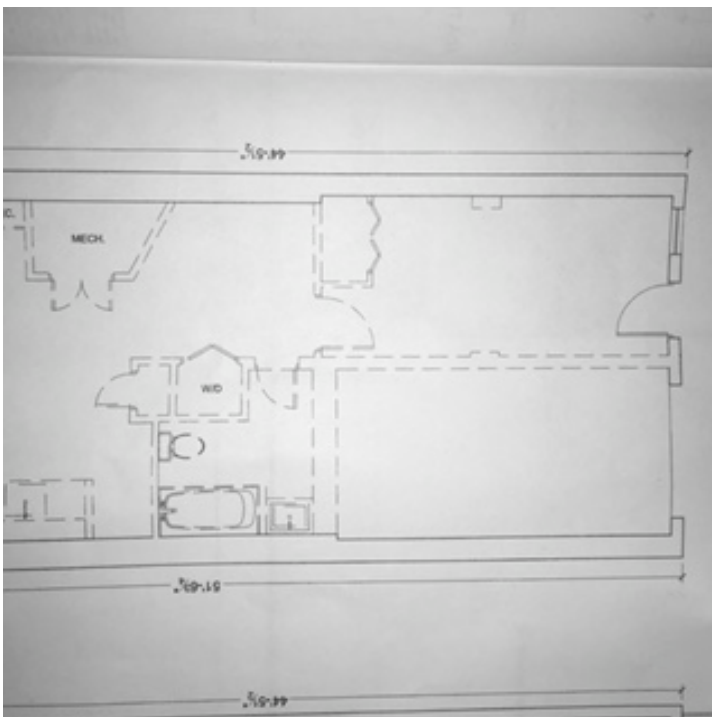
Window Height 3'6"
Revised Plans
A0203 (12/17/14)



Garage: 2000 to 2014



2000 Renovation Plans
Marc Doswei
DC Architect #369
(8/00)



2014 Existing Conditions
AD0101 (6/24/14)

Parking: 2014
16' deep x 20' wide
A0100 (12/17/14)

