

Exhibits to the Department of Consumer and Regulatory Affairs (DCRA)'s

Motion to Dismiss

Appeal of Peter & Diana Minshall

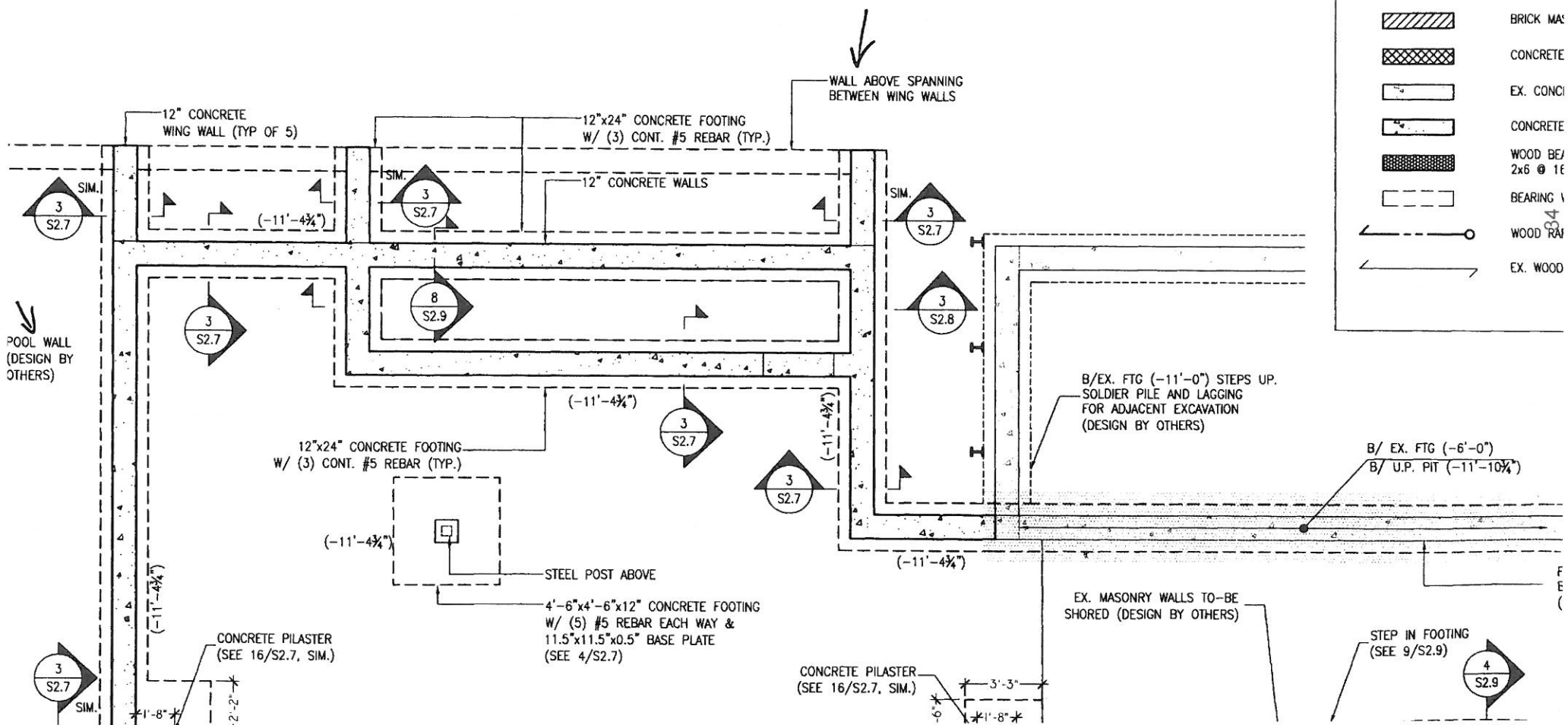
BZA Appeal No. 18965

Exhibit J

HP Letter to CFA, p. 34

Detail of Structural Plans for Foundation and Basement for 2011 Building Permit

FOUNDATION AND BASEMENT STRUCTURAL PLAN



Exhibits to the Department of Consumer and Regulatory Affairs (DCRA)'s

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Exhibit K

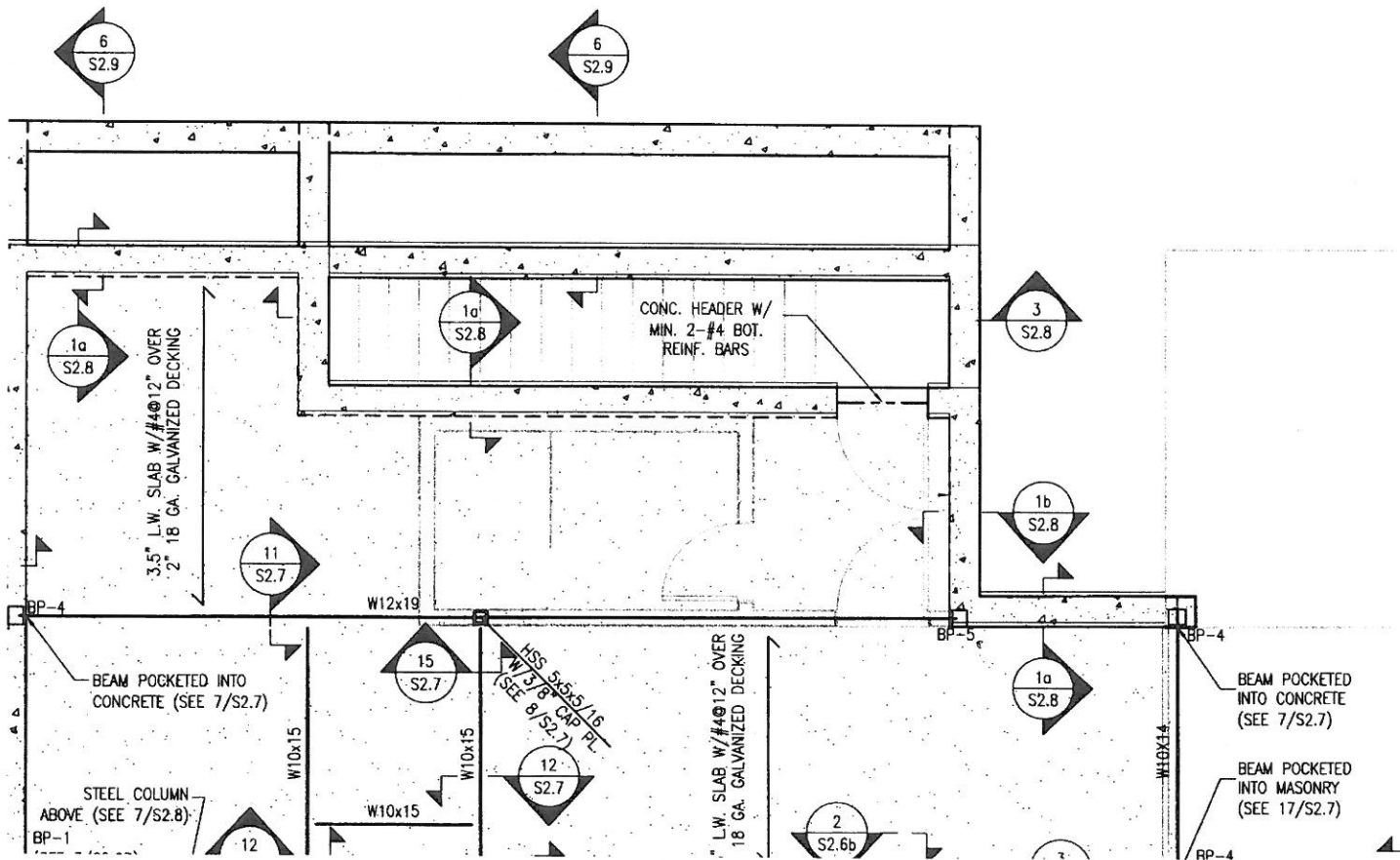
HP Letter to CFA, p. 35

Detail of Structural Plans for First Floor for 2011 Building Permit

FIRST-FLOOR STRUCTURAL PLAN

LEGEND

	EX. CONCRETE FOOTING
	CONCRETE FOOTING
	UNDERPINNING
	EX. BRICK MASONRY
	BRICK MASONRY
	CONCRETE MASONRY (CMU)
	EX. CONCRETE WALL
	CONCRETE WALL
	WOOD BEARING WALL (2x4 @ 2x6 @ 16" EXT. U.N.O.)
	BEARING WALL ABOVE
	WOOD RAFTER
	EX. WOOD JOIST



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Exhibit L

Plat signed February 16, 2012 and submitted as part of approved 2011 Building Permit

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., August 11, 2011

Building Permit of: SQUARE 1278 LOT 244

Scale: 1 inch = 20 feet

Recorded in Book 160 Page 41

Receipt No. 11-05158

Furnished to: MATEUSZ DZIERANOWSKI

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

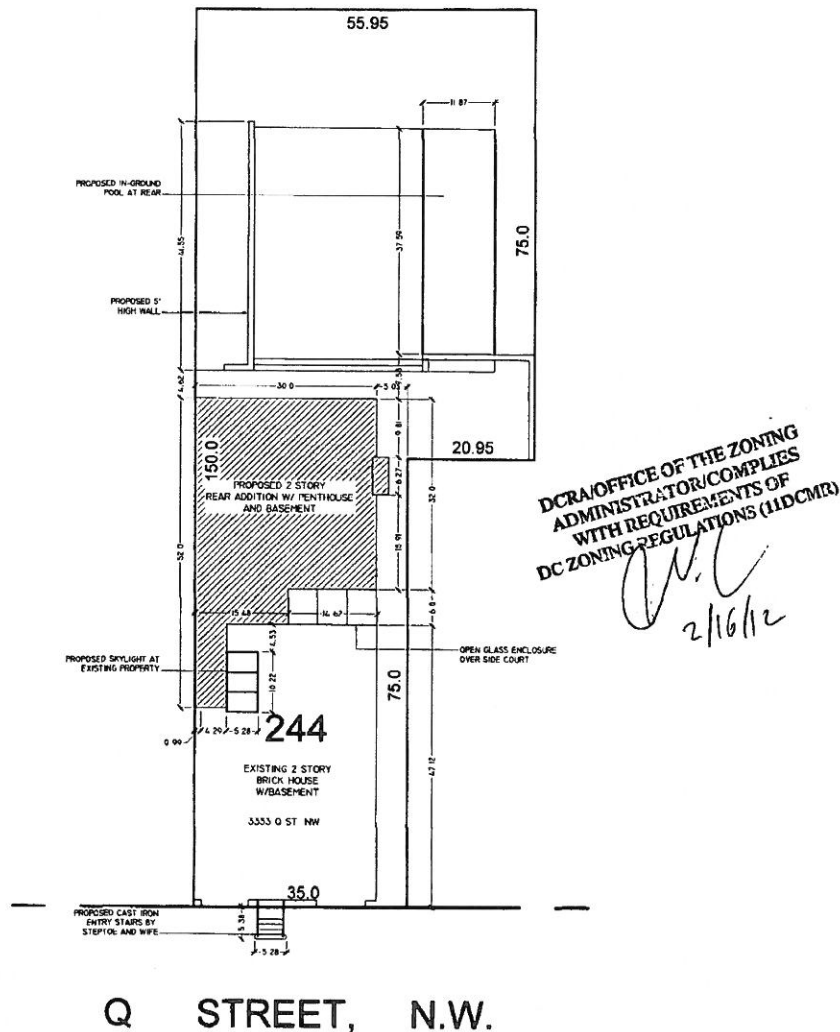
Date: 02/16/12

[Signature]
Surveyor, D.C.

By: A.S.B.M.

[Signature]
(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.



Q STREET, N.W.

Exhibits to the Department of Consumer and Regulatory Affairs (DCRA)'s

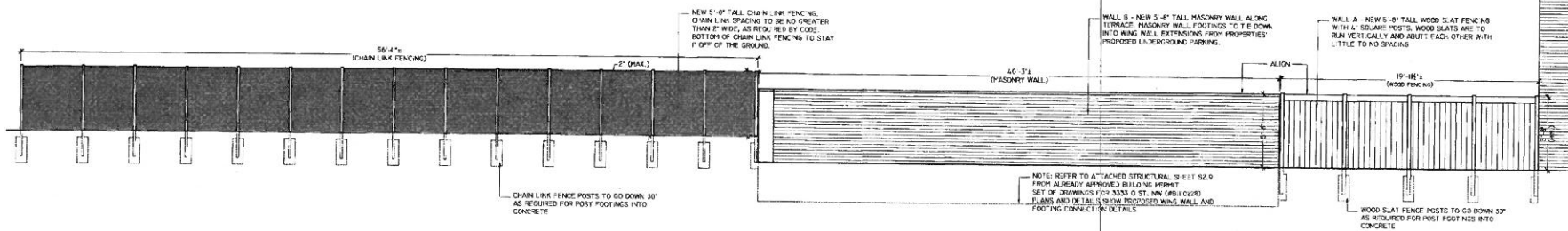
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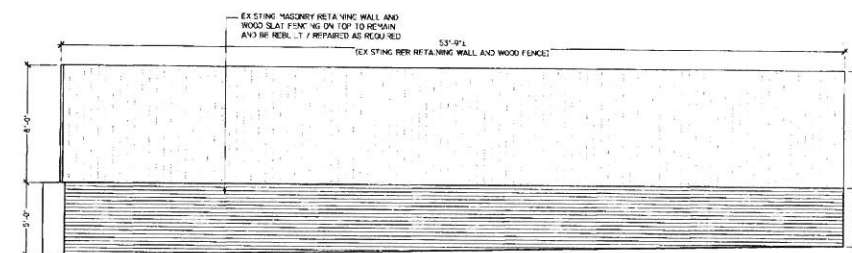
BZA Appeal No. 18965

Exhibit M

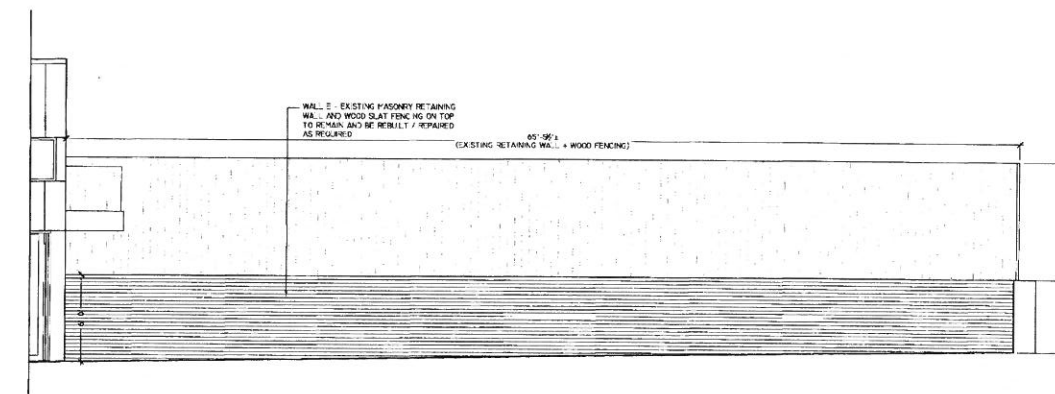
2012 Swimming Pool Permit, Sheets P3.1 and P3.2



ELEVATIONS: WALLS A, B, AND C



ELEVATIONS: WALL D



ELEVATIONS: WALL E

GENERAL NOTES:

1. ALL ELEVATIONS FOR WALLS/FENCING ARE SHOWN.
2. A STRUCTURAL SHEET DRAWINGS FROM AN ALREADY APPROVED BUILDING PERMIT SET OF DRAWINGS HAS BEEN ADDED TO SHOW FOOTING/FOUNDATION DETAILS FOR THE NEWLY PROPOSED MASONRY WALL.
3. ALL WALLS AND FENCING WILL ADHERE TO REQUIRED HEIGHTS, SIZINGS, AND CLEARANCES FOR POOL CODE SAFETY REQUIREMENTS.
4. FOR ANY FURTHER QUESTIONS OR CONCERNS, PLEASE CONTACT MATEUSZ D. @ THE OFFICE OF ROBERT GURNEY.



ELEVATIONS OF FENCING

ROBERT M. GURNEY, FAIA
ARCHITECT

P3.2

WASHINGTON DC 20007

GLASS RESIDENCE

3333 Q STREET NW

WASHINGTON DC 20007

5110 1/2 MOUNTAIN BOULEVARD NW WASHINGTON DC 20014 1-202-237-0806 1-202-237-0807

APRIL 05, 2012

Exhibits to the Department of Consumer and Regulatory Affairs (DCRA)'s

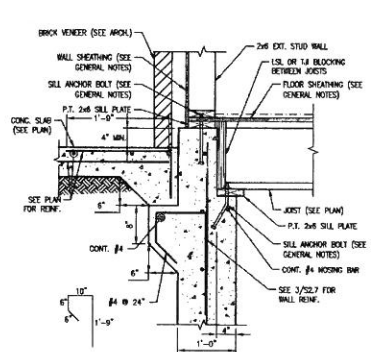
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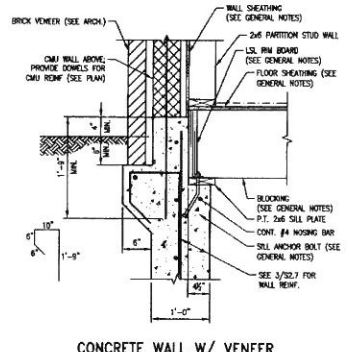
BZA Appeal No. 18965

Exhibit N

2012 Swimming Pool Permit, Sheet S2.9

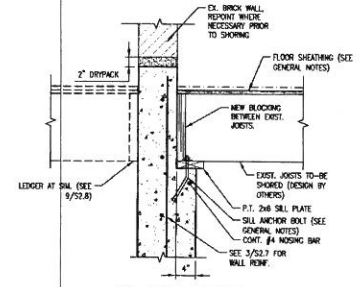


1 JOIST BEARING ON CONCRETE WALL W/ VENEER AND STUD WALL ABOVE
S2.9 SCALE: 1" = 1'-0"

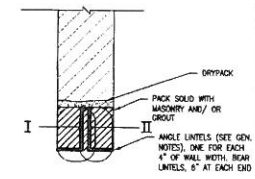


2 CONCRETE WALL W/ VENEER AND MASONRY ABOVE
S2.9 SCALE: 1" = 1'-0"

3 NOT USED
S2.9 SCALE: 1" = 1'-0"

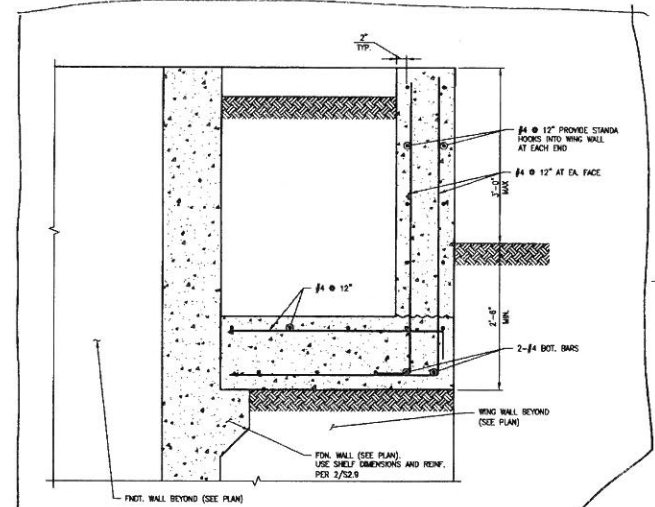


4 EX. JOIST BEARING ON EX. BRICK WALL
S2.9 SCALE: 1" = 1'-0"



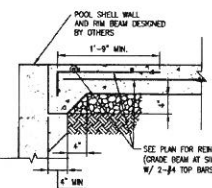
5 TYP. LINTEL INSTALLATION
S2.9 SCALE: N.T.S.

- SEQUENCE OF CONSTRUCTION
1. CHASE OUT EXISTING MASONRY AT I AND INSTALL NEW LINTEL BEAM I.
 2. PACK SOLID WITH MASONRY AND/OR GROUT.
 3. PROVIDE CONTINUOUS DRYPACK ABOVE LINTEL.
 4. AFTER DRYPACK AT I HAS SET REPEAT STEPS 1 THRU 3 FOR LINTEL BEAM II.
 5. REMOVE WALL BELOW LINTEL AT NEW OPENING.

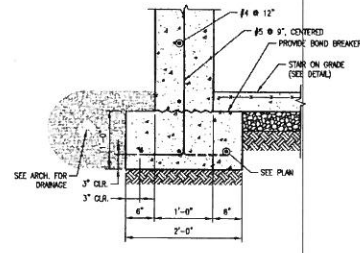


6 STAIR RETAINING WALL & WING WALL W/ RETAINING WALL CONNECTION
S2.9 SCALE: 1" = 1'-0"

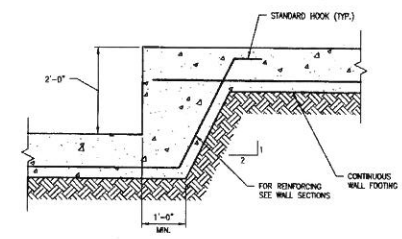
Wing Wall Detail for Proposed Terrace Masonry Wall



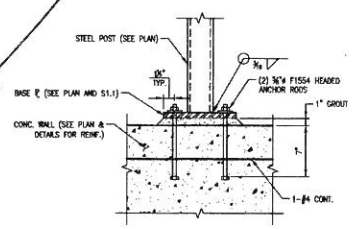
7 TERRACE SLAB
S2.9 SCALE: 1" = 1'-0"



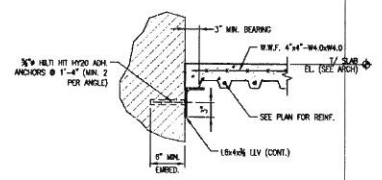
8 SECTION @ 12\"/>



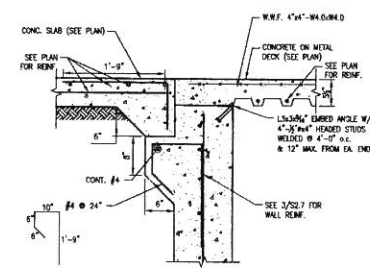
9 STEPPED WALL FOOTING
S2.9 SCALE: 3/4\"/>



10 STEEL POST ON CONC. WALL
S2.9 SCALE: N.T.S.



11 TYPICAL SLAB EDGE SUPPORT
S2.9 SCALE: N.T.S.



12 DECK & SLAB BEARING ON FOUNDATION WALL
S2.9 SCALE: 1" = 1'-0"

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Exhibit O

March 4, 2012 email of Appellant acknowledging receipt of Permit Holder's February 21, 2012 email with attached electronically-completed DCRA notification of pool fence near property line; with hard copy of DCRA notification form

Tondro, Maximilian

From: Sean Glass [seanpglass@gmail.com]
Sent: Friday, April 10, 2015 1:14 PM
To: Tondro, Maximilian
Subject: Fwd: DCRA NOTIFICATION LETTER - 3327 Q St

----- Forwarded message -----

From: Peter Minshall <pminshall@washcapllc.com>
Date: Sunday, March 4, 2012
Subject: Re: DCRA NOTIFICATION LETTER - 3327 Q St
To: Sean Glass <seanpglass@gmail.com>

Please indicate if the proposed work is considered structural or non structural.

Peter C Minshall
Managing Partner
Washington Capitol Partners
1101 30 th Street suite 210
Washington D C 20007
202-625-5001 phone
202-625-1101 fax
301-346-8618 mobile
Pminshall@washcapllc.com

On Feb 21, 2012, at 8:55 AM, "Sean Glass" <seanpglass@gmail.com> wrote:

> Peter,
> Please see below. You can return your acceptance or denial via email or hard copy to 3329 Q St.
>
> Thanks,
> Sean
>
> Begin forwarded message:
>
>> From: Sean Glass <seanpglass@gmail.com>
>> Subject: DCRA NOTIFICATION LETTER - 3327 Q St
>> Date: February 21, 2012 10:54:00 AM EST
>> To: Sean Glass <SeanPGlass@gmail.com>
>>
>>
>>
>> Sent from Softsign
>>
>>
>>
>>

>>

>> Sent from my iPad

>

> <DCRA NOTIFICATION LETTER - 3327 Q St.pdf>

>>

>>

>> Sent from my iPad

>

--

Sent from Gmail Mobile

NOTIFICATION FORM



DATE: February 16, 2012

OWNER: Sean P. Glass

ADDRESS: 3333 Q. St. NW

Washington, DC, 20007

TEL: (305) 395-1857

E MAIL: seanpglass@gmail.com

ADJACENT OWNER: Mr. Peter C. Minshall

ADDRESS: 3327 Q. St. NW

Washington, DC, 20007

TEL: (202) 625-5001

E MAIL: Pminshall@washcapllc.com

SCOPE OF WORK:

- ☒ 1. WORK ALONG PROPERTY LINE (NS)
- ☐ 2. ADDITION OF STRUCTURE ALONG PARTY LINE, (NS)
- ☐ 3. WORK AFFECTING PARTY WALL. (NS)

- ☐ 4. UNDERPINNING OF FOUNDATION (S)
- ☐ 5. ADDITION OF STRUCTURE ON PARTY WALL (S)

OTHER, SPECIFY Required Pool Fence Near Property Line

(NS) NON-STRUCTURAL (S) STRUCTURAL

Dear Mr. Peter Minshall

My name is Sean P. Glass (I am/we are) the owner of the property located at 3333 Q. St. NW which adjoins your property. (I am/We) are proposing to carrying out the job indicated in the scope of work above which may have an impact on your building or structure.

The District of Columbia Building Code, DCMR 12 A (2008), Section 3307.2 further requires that (I/we) notify you. This notification together with copies of all the documents filed with the District for the necessary permit for the proposed work shall be delivered to the adjoining property owner, and a copy submitted to the code official, not less than thirty (30) days prior to the proposed starting date. If the work is non-structural, notification shall not be less than ten (10) business days prior to the scheduled starting date of the work.

Consequently, (I am/we are) hereby providing you (my/our) written 30 or 10 days notice, of the proposed work specified above and (I am/we are) also requesting your permission to enter your property, to perform the related work, at my expense, necessary to preserve and protect your building from damage, disruption or personal injury.

The Building Code also requires that you provide written permission or denial to this request.

Please note, if the necessary permission is not granted, the Building Code, Section 3307.2 also provides that it shall then be your duty and at your expense to preserve and protect your building and property. In like manner you are hereby granted permission to enter my property at reasonable times, if necessary, to take cognizance of the situation.

Please provide your response by signing the appropriate line below which will be accepted as your written permission or denial. Your response must be provided not more than 30 days of receipt of this letter.

If you have any questions or concerns, please do not hesitate to contact me from the information above.

Sincerely,

Signature of Owner [Signature]

Adjoining Owner's Permission Granted _____ Denied X Signature _____

(Owner did not respond beyond required 30 days. Assume DENIAL)

DATE _____

[Signature] 4/5/12



NOTIFICATION FORM

DATE: February 16, 2012

OWNER: Sean P. Glass

ADDRESS: 3333 Q St NW

Washington DC 20007

TEL: (305) 395-1867

E MAIL: seanpglass@gmail.com

ADJACENT OWNER: Mr. Peter C. Minshall

ADDRESS: 3327 Q St NW

Washington DC 20007

TEL: (202) 625-5001

E MAIL: pminshall@washcapllc.com

SCOPE OF WORK:

- ☐ 1. WORK ALONG PROPERTY LINE (NS)
- ☐ 2. ADDITION OF STRUCTURE ALONG PARTY LINE, (NS)
- ☐ 3. WORK AFFECTING PARTY WALL. (NS)

- ☐ 4. UNDERPINNING OF FOUNDATION (S)
- ☐ 5. ADDITION OF STRUCTURE ON PARTY WALL (S)

OTHER, SPECIFY Required Pool Fence Near Property Line
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Please provide your response by signing the appropriate line below which will be accepted as your written permission or denial. Your response must be provided not more than 30 days of receipt of this letter.

If you have any questions or concerns, please do not hesitate to contact me from the information above.

Sincerely,

Signature of Owner 

Adjoining Owner's Permission Granted Denied Signature

DATE 02/21/2011

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Exhibit P

DCRA Permit Status Tracking website for 2012 Swimming Pool Permit

[Ask the Mayor](#) | [Subscribe to Emails](#) | [Agency Directory](#) | [311 Online](#) | [Closures](#)[311 Online](#)[District Residents](#)[Businesses](#)[Visitors](#)[Media](#)[Online Services](#)[DC Home](#) > [DCRA Home](#)

Track Status of Building Permit Application

To review the status of an application, enter the Application ID or Property Address below and click find to continue. Please note that the application status is refreshed every night at **3.00 AM** so the status you see below reflects the updates from the day before.

Search By:

Application ID

Property Address

Enter the ApplicationID to review Application Status:

ApplicationID*:

Application Status:

Please see the table below for review statuses. The table is not shown if the reviews have not been identified. A blank Status date means that the initial review has not been completed.

ApplicationID	Date Filed	Full Address		Agent Name	Phone Number
☒ SP1200001	10/11/2011	3333 Q ST NW		JERON OEBERWEIN	703-333-3000
Discipline	Review Status	Status Date	Review Comment	Reviewer Name	Reviewer Email
File Room	Plans to File Room	10/14/2011		Arlette Howard	Arlette.Howard@dc.gov
Electrical Review	Electrical Review Approved	10/17/2011		David Njafuh	Yebila.Njafuh@dc.gov
Mechanical Review	Mechanical Review Approved	10/31/2011		Harrison Shelton	harrison.shelton@dc.gov
Zoning Review	Zoning Review Approved	11/08/2011	(r3) app for construction of inground pool (12x34') in rear yard of existing semidetached sfd	Justin Bellow	Justin.Bellow@dc.gov
DDOE Review	DDOE Review Rejected	11/14/2011	please provide better quality erosion/sediment control plans for approval.	Charles Edwards	Charles.Edwards@dc.gov
File Room	Plans to File Room	12/01/2011	jeron oeberwien was notified on november 30, 2011 regarding hfc-comments.	Joyce Smith	Joycea.Smith@dc.gov
File Room	HFC Pick Up	12/05/2011	jeron oeberwein picked up application and plans to make corrections on december 2, 2011.	Joyce Smith	Joycea.Smith@dc.gov
Structural Review	Structural Review - HFC	12/15/2011	see file room comment	Robert Chen	Robert.chen@dc.gov
File Room	DDOE Plans Checked Out	04/10/2012	charles checked out plans and application.	Keith Slade	keith.slade@dc.gov
File Room	HFC Re-Submitted	04/10/2012	jerry eberwein resubmitted plans and application.	Keith Slade	keith.slade@dc.gov
File Room	Structural Plans Checked Out	04/25/2012	bihon checked out the plans and application	Keith Slade	keith.slade@dc.gov
File Room	DDOE Plans Checked In	04/25/2012	charles checked in the plans and application	Keith Slade	keith.slade@dc.gov
File Room	Plans to File Room	05/14/2012	jerry eberwein was called regarding hfc-comments.	Joyce Smith	Joycea.Smith@dc.gov
File Room	Plans to File Room	05/14/2012	bihon checked-out application and plans	Joyce Smith	Joycea.Smith@dc.gov
Structural Review	Structural Review - HFC	05/15/2012	address comments attached to the application.	Bihon Debessai	Bihon.Debessai@dc.gov
File Room	HFC Pick Up	05/15/2012	jerry eberwein retrieved plans and application to revise the comments.	Arlette Howard	Arlette.Howard@dc.gov
Structural Review	Structural Review Approved	05/18/2012	all issues addressed. refer to b1110228	Bihon Debessai	Bihon.Debessai@dc.gov
File Room	Ready for Issuance	05/18/2012	jeron eberwein picked up application and plans to obtain a building permit.	Joyce Smith	Joycea.Smith@dc.gov
HPRB Review	HRPB Review Approved	05/25/2012		Brendan Meyer	Brendan.Meyer@dc.gov
CFA Review	CFA Review - Approved	05/25/2012		Brendan Meyer	Brendan.Meyer@dc.gov
Issue Permit	Permit Issued	05/25/2012		Stacie Williams	stacie.williams@dc.gov

Tell us what you think

Send us an [email](#) with your comments. We'll respond within two business days.