

EXHIBIT A



STRUCTURAL CALCULATIONS

GLASS RESIDENCE
Retaining Wall Adjacent to East Foundation Wall

3333 Q Street NW
Washington, DC

RSA PROJECT NO. W2714
NOVEMBER 26, 2011

BY:
ROBERT SILMAN ASSOCIATES, PLLC
1053 31st Street, NW
Washington, DC 20007

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PLAN KEY	1
DETAIL	2
CALCULATIONS	3-7

Signed:



40'-5"±
WALL TYPE B

WALL TYPE B IS TO BE BUILT AS PREVIOUSLY
DESIGNED. VERIFY THAT EDGE OF WALL IS
BUILT ALONG PROPERTY LINE AND ALIGNS
WITH PROPOSED RETAINING WALLS. (TYPE A,B,C)

WALL TYPE C FOOTINGS ARE TO SIT AT
SAME ELEVATION AS FOOTINGS TO EXISTING
HOUSE (3329). VERIFY DEPTH OF EXISTING
FOOTINGS AND TIE INTO FOUNDATION WALL
FOOTINGS AS REQUIRED. (REFER TO SHEET A3.0E)

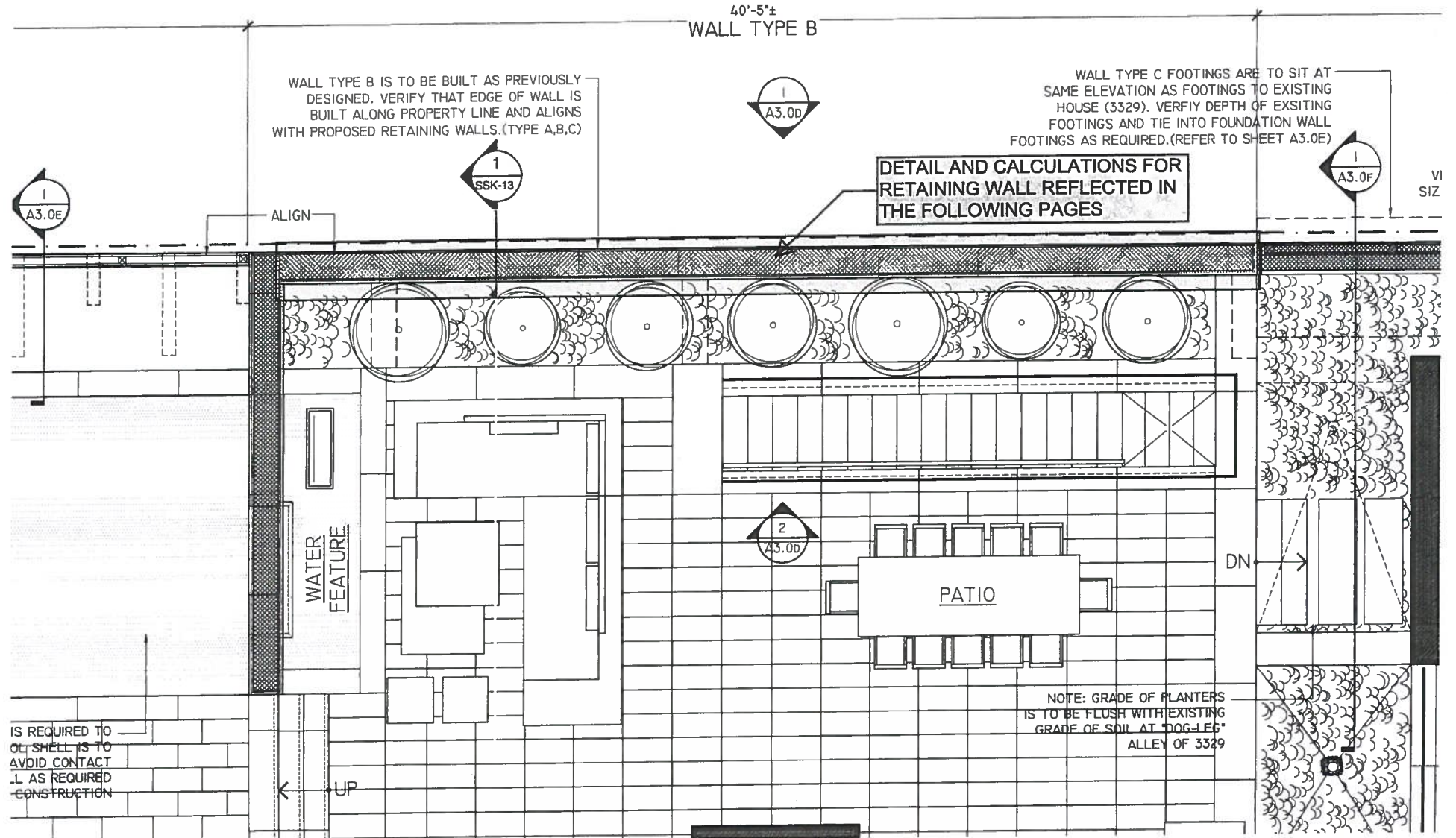
DETAIL AND CALCULATIONS FOR
RETAINING WALL REFLECTED IN
THE FOLLOWING PAGES

WATER
FEATURE

PATIO

NOTE: GRADE OF PLANTERS
IS TO BE FLUSH WITH EXISTING
GRADE OF SOIL AT "DOG-LEG"
ALLEY OF 3329

IS REQUIRED TO
ON SHELL IS TO
AVOID CONTACT
J.L. AS REQUIRED
CONSTRUCTION



**ROBERT SILMAN ASSOCIATES**

STRUCTURAL ENGINEERS

1053 31st Street, NW Washington, DC 20007

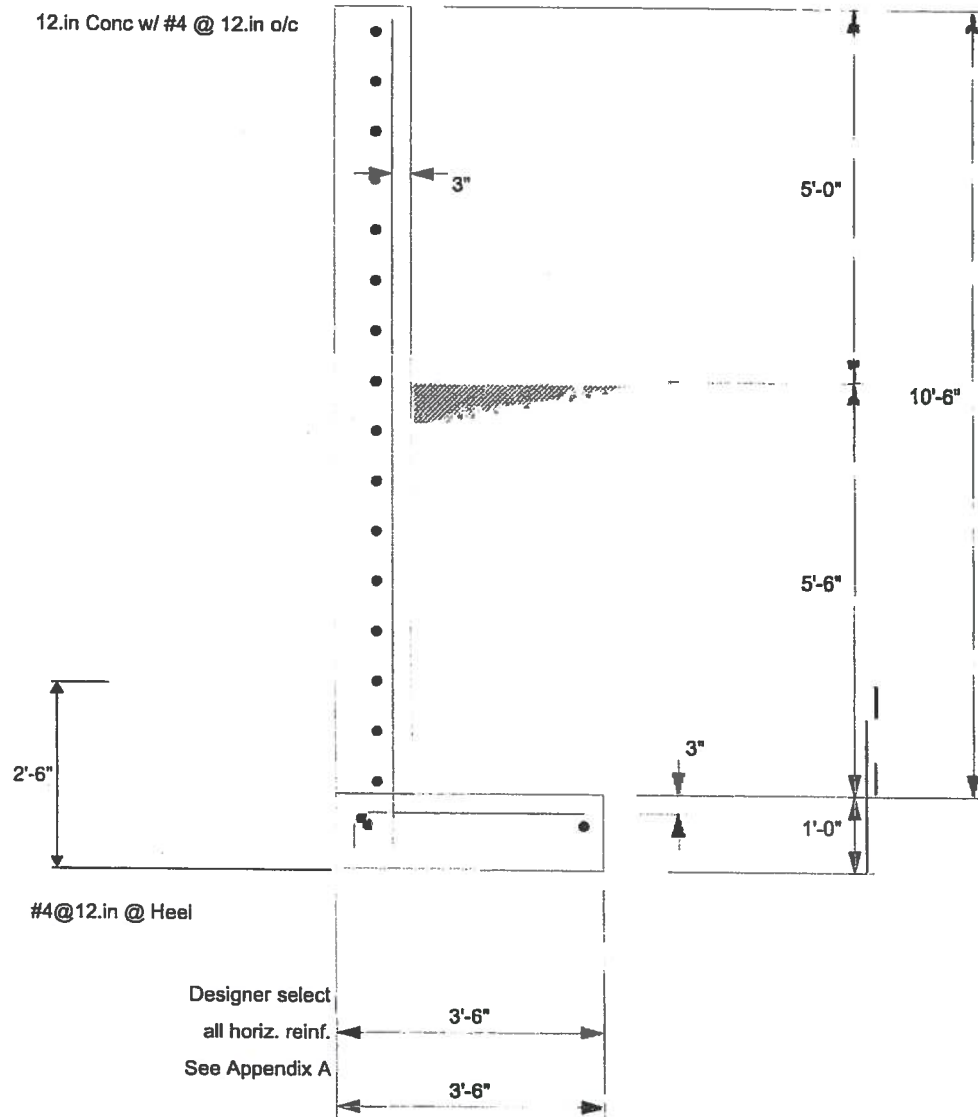
PROJECT GLASS RESIDENCE JOB NO. W2714 PAGE 3/7
SUBJECT RW ADJACENT TO EAST FOUNDATION WALL BY JA DATE 11.25.14

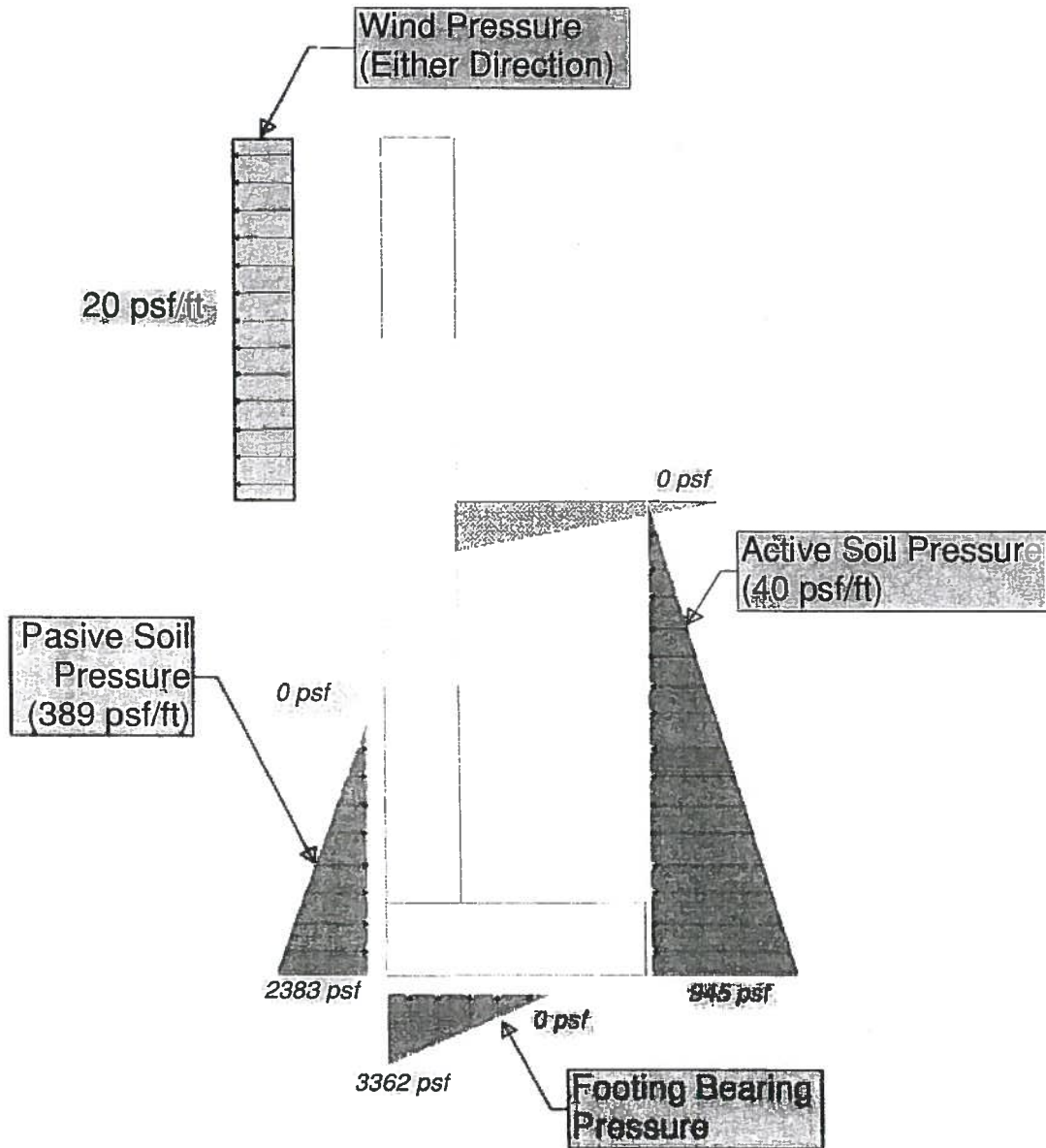
DESIGN RETAINING WALL AT EAST THAT WILL EXTEND ABOVE SOIL AND SERVE AS SITE WALL AS WELL

GIVENS

- RETAINER HEIGHT OF 5'-6"
- FOOTING BELOW LOW GRADE 2'-6" PER DCMR 12A FROST DEPTH REQUIREMENTS
- FOOTING WILL BE ECCENTRIC, WITH NO TOE (PROPERTY LINE CONSIDERATIONS PER ARCH.)
- WALL WILL EXTEND 5'-0" ABOVE HIGH GRADE, TO SERVE AS SITE WALL
- ACTIVE EARTH PRESSURE = 40 psf/ft.
PASSIVE EARTH PRESSURE = 200 psf/ft. } PER 11/14/11 GEOTECH REPORT
- ALLOWABLE BEARING PRESSURE = 4000 psf
- SLIDING COEFFICIENT, $M = 0.30$
- DENSITY OF SOIL = 130 pcf
- WIND PRESSURE OF 20 PSF PER DCMR 12A

SEE PAGE 4 FOR WALL GEOMETRY & REINFORCING
PAGE 5 FOR LOADING PARAMETERS
PAGE 6 FOR DESIGN SUMMARY SHOWING ADEQUACY OF WALL





RetainPro 10 (c) 1987-2012, Build 10.12.9.17

License : KW-06054563

License To : ROBERT SILMAN ASSOCIATES

Cantilevered Retaining Wall Design

Code: IBC 2006, ACI 318-05, ACI 530-05

Criteria

Retained Height	=	5.50 ft
Wall height above soil	=	5.00 ft
Slope Behind Wall	=	0.00 : 1
Height of Soil over Toe	=	30.00 in
Water height over heel	=	0.0 ft

Soil Data

Allow Soil Bearing	=	4,000.0 psf
Equivalent Fluid Pressure Method		
Heel Active Pressure	=	40.0 psf/ft
Passive Pressure	=	389.0 psf/ft
Soil Density, Heel	=	130.00 pcf
Soil Density, Toe	=	0.00 pcf
Footings/Soil Friction	=	0.300
Soil height to ignore for passive pressure	=	0.00 in

Surcharge Loads

Surcharge Over Heel	=	0.0 psf
Used To Resist Sliding & Overturning		
Surcharge Over Toe	=	0.0 psf
Used for Sliding & Overturning		

Axial Load Applied to Stem

Axial Dead Load	=	0.0 lbs
Axial Live Load	=	0.0 lbs
Axial Load Eccentricity	=	0.0 in

Lateral Load Applied to Stem

Lateral Load	=	20.0 #/ft
...Height to Top	=	10.50 ft
...Height to Bottom	=	5.50 ft
The above lateral load has been increased by a factor of		1.60
Wind on Exposed Stem	=	0.0 psf

Adjacent Footing Load

Adjacent Footing Load	=	0.0 lbs
Footing Width	=	0.00 ft
Eccentricity	=	0.00 in
Wall to Ftg CL Dist	=	0.00 ft
Footing Type		Line Load
Base Above/Below Soil at Back of Wall	=	0.0 ft
Poisson's Ratio	=	0.300

Design Summary

Wall Stability Ratios		
Overturning	=	2.10 OK
Sliding	=	3.76 OK
Total Bearing Load	=	3,888 lbs
...resultant ecc.	=	11.75 in
Soil Pressure @ Toe	=	3,861 psf OK
Soil Pressure @ Heel	=	0 psf OK
Allowable	=	4,000 psf
Soil Pressure Less Than Allowable		
ACI Factored @ Toe	=	4,034 psf
ACI Factored @ Heel	=	0 psf
Footing Shear @ Toe	=	0.0 psi OK
Footing Shear @ Heel	=	0.7 psi OK
Allowable	=	88.7 psi
Strain Ratio (Vertical Component NOT Used)		
Lateral Sliding Force	=	945.0 lbs
less 100% Passive Force	=	- 2,382.6 lbs
less 100% Friction Force	=	- 1,166.3 lbs
Added Force Required	=	0.0 lbs OK
...for 1.5 : 1 Stability	=	0.0 lbs OK

Stem Construction

Design Height Above Ftg	ft =	0.00
Wall Material Above "Ht"	=	Concrete
Thickness	=	12.00
Rebar Size	=	# 4
Rebar Spacing	=	12.00
Rebar Placed at	=	Edge

Design Data

fb/FB + fa/Fa	=	0.324
Total Force @ Section	lbs =	1,068.0
Moment....Actual	ft-# =	2,574.7
Moment....Allowable	=	7,948.3
Shear.....Actual	psi =	10.4
Shear.....Allowable	psi =	88.7
Wall Weight	=	150.0
Rebar Depth 'd'	in =	9.00
LAP SPLICE IF ABOVE	in =	15.82
LAP SPLICE IF BELOW	in =	
HOOK EMBED INTO FTG	in =	6.00

Top Stem

Stem OK

Masonry Data

f'm	psi =	
Fs	psi =	
Solid Grouting	=	
Use Half Stresses	=	
Modular Ratio 'n'	=	
Short Term Factor	=	
Equiv. Solid Thick.	=	
Masonry Block Type	=	Medium Weight
Masonry Design Method	=	ASD

Concrete Data

f'c	psi =	3,500.0
Fy	psi =	60,000.0

Hook embedment reduced by stress ratio

Load Factors

Building Code	IBC 2006, ACI
Dead Load	1.200
Live Load	1.600
Earth, H	1.600
Wind, W	1.600
Seismic, E	1.000

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Cantilevered Retaining Wall Design

Code: IBC 2006, ACI 318-05, ACI 530-05

Footing Dimensions & Strengths

Toe Width	=	0.00 ft
Heel Width	=	3.50
Total Footing Width	=	3.50
Footing Thickness	=	12.00 in
Key Width	=	0.00 in
Key Depth	=	0.00 in
Key Distance from Toe	=	0.00 ft
f'c =	3,500 psi	Fy = 60,000 psi
Footing Concrete Density	=	150.00 pcf
Min. As %	=	0.0018
Cover @ Top	3.00	@ Btm = 3.00 in

Footing Design Results

	Toe	Heel
Factored Pressure	= 4,034	0 psf
Mu' : Upward	= 0	658 ft-#
Mu' : Downward	= 0	3,244 ft-#
Mu: Design	= 0	2,586 ft-#
Actual 1-Way Shear	= 0.00	10.70 psi
Allow 1-Way Shear	= 0.00	88.74 psi
Toe Reinforcing	= # 4 @ 12.00 in	
Heel Reinforcing	= # 4 @ 12.00 in	
Key Reinforcing	= None Spec'd	

Other Acceptable Sizes & Spacings

Toe: Not req'd, Mu < S * Fr

Heel: Not req'd, Mu < S * Fr

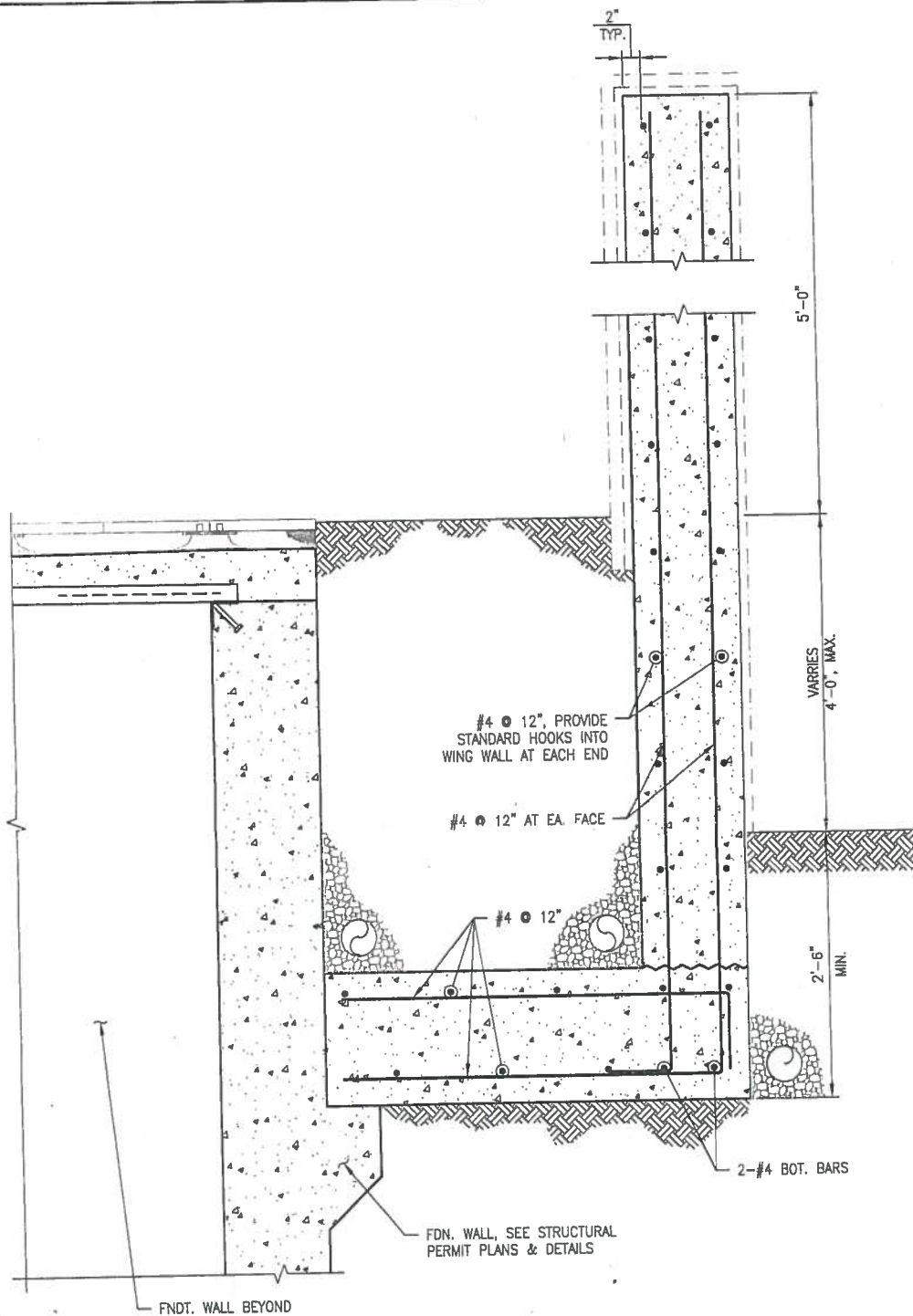
Key: No key defined

Summary of Overturning & Resisting Forces & Moments

Item	OVERTURNING.....				RESISTING.....		
	Force lbs	Distance ft	Moment ft-#		Force lbs	Distance ft	Moment ft-#
Heel Active Pressure	= 845.0	2.17	1,830.8	Soil Over Heel	= 1,787.5	2.25	4,021.9
Surcharge over Heel	=			Sloped Soil Over Heel	=		
Surcharge Over Toe	=			Surcharge Over Heel	=		
Adjacent Footing Load	=			Adjacent Footing Load	=		
Added Lateral Load	= 100.0	9.00	900.0	Axial Dead Load on Stem	=		
Load @ Stem Above Soil	=			* Axial Live Load on Stem	=		
				Soil Over Toe	=		
				Surcharge Over Toe	=		
Total	945.0	O.T.M.	2,730.8	Stem Weight(s)	= 1,575.0	0.50	787.5
				Earth @ Stem Transitions	=		
Resisting/Overturning Ratio			2.10	Footing Weight	= 525.0	1.75	918.8
Vertical Loads used for Soil Pressure	=	3,887.5 lbs		Key Weight	=		
				Vert. Component	=		
				Total =	3,887.5 lbs R.M. =		5,728.1

* Axial live load NOT included in total displayed, or used for overturning resistance, but is included for soil pressure calculation.

DESIGNER NOTES:



NOTE:

- SEE ARCHITECTURAL PLANS FOR DRAINAGE
- DETAIL IS A REVISION TO DETAIL 6/S2.9 FROM DECEMBER 6, 2011 STRUCTURAL PERMIT PLANS.



RETAINING WALL SECTION

SCALE: 1" = 1'-0"

Date: 11.26.2014

Drawn: SEE DETAIL

Job Number: W2714

Title: RETAINING WALL ADJACENT TO EAST FOUNDATION WALL

Job Title:
Glass Townhouse
3333 Q St. NW
Washington, DC 20007



ROBERT SILMAN ASSOCIATES
STRUCTURAL ENGINEERS
1053 31st Street NW
Washington, DC 20007
P 202.333.6230 F 202.318.3015

SSK-13

EXHIBIT B



Department of Consumer and Regulatory Affairs

Permit Operations Division
1100 4th Street SW
Washington DC 20024
Tel. (202) 442 - 4589 Fax (202) 442 - 4862



Received: Plans Application
Date: 8/13/2014

Engineering

Sheronne Mason

Applicant/Agent: Sean Glass

Phone 2022370925

Job WT

Job No:

Address of Project:

3329 Q ST NW

B1410905

Existing Use: Single Family Dwelling - R-3

Existing No. of Stories:

Proposed Use: Single Family Dwelling - R-3

Prop no of Stories:

Permit Type: Alteration and Repair

SSL: 1278 0266

Description of Work:

NEW WOOD SLAT FENCE PER DRAWINGS. PER DC CODE. APPLY STUCCO TO EXISTING RETAINING WALL AND LOWER EXISTING FENCE.

Required Reviews: (Checked boxes only)	Reviewer:	Completion Time:	Review Status:		
☐ Fine Arts:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☒ Historic:		☐ AM ☐ PM	☒ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Public Space/DDOT:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☒ Zoning: R-3	8/13/14	☐ AM ☒ PM	☒ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Soil Erosion/DDOE:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ DC Water:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Mechanical:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Plumbing:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Health/DOH:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Electrical:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Elevator:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Fire Protection:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☒ Structural: 11/26	10/20/14 MM	☐ AM ☒ PM	☒ Approved	☒ HFC	☐ Conf. w/Applicant
☐ Green Review:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
☐ Chinatown Review:		☐ AM ☐ PM	☐ Approved	☐ HFC	☐ Conf. w/Applicant
New/ Addl Cost	Alt/Rpr Cost	Total Cost	Volume of New Bldg, or Addl Cubic ft.		
\$0.00	\$6,000.00	\$6,000.00			

Alter/Repair FEE	New Const. FEE	Filing FEE	Enhancement FEE	Green FEE:	Total Permit FEE
150.00		-173.58	15.78	7.80	0.00

- PROVIDE WALL SECTIONS FROM A STRUCTURAL PE IN WASH. DC AND SUBMIT CALCULATIONS.
- REVISE SCOPE OF WORK IN THE APPLICATION TO INCLUDE ROT-WITHS

COMPLETE ROT. WITH SECTION OF APPLICATION

EXHIBIT C

District of Columbia Office of Planning



June 12, 2014

Old Georgetown Board
U.S. Commission of Fine Arts
401 F Street NW, Suite 312
Washington, D.C. 20001

Dear Members of the Board:

In accordance with the Old Georgetown Act of 1950, the District of Columbia is referring for Commission review an after-the-fact application to construct a wall and fences along the east property line of the rear yard of 3329 Q Street NW. As can be seen from the photograph on page 13, some of the fencing and wall is visible from Q Street.

This case is unusual in that the District is referring the matter directly for comment and a recommendation, because the fence/wall has already been constructed generally in accordance with a permit issued by the Department of Consumer and Regulatory Affairs.

Background

In September 2011, the Commission of Fine Arts recommended in favor of issuance of a permit to construct a rear addition, an underground garage, a pool and stone terrace, and several alterations at 3329-3333 Q Street NW. The main permit application (B1110228, including addition, pool, "5 exterior stone walls" and basement and garage) was issued March 23, 2012, and the drawings were stamped by both the Commission of Fine Arts staff and the Historic Preservation Office staff. It is not clear which walls were intended by the "5 exterior stone walls," as the elevation drawings within the set indicate that the pool and some associated walls would be submitted under a separate permit application.

The drawings themselves appear to depict a vertical plank fence along the east property line (page 32), but a site plan drawing shows some unannotated fencing and a wall in that location (page 31), without specifying height or material, or whether it is new or existing. In each case, it is possible that a preexisting fence and retaining wall were meant (see photographs on pages 4-7). The site plan submitted to indicate the proposed finished condition of the property does not depict walls or fences near the property line except for a "PROP. RETAINING WALL (DESIGN BY OTHERS, TYP.)," suggesting that this wall was to come in under a separate permit application. Structural site plans for the basement level and first floor level of the houses (pages 34 and 35) do depict a footing and some kind of concrete wall in that vicinity, but no measurements. Structural sections of various walls and footings do not depict anything of the

height of the wall that was constructed, and the structural plans indicate that the "pool wall" was to be designed by others (page 34).

A separate application SP1200001, to "construct [an] inground pool 12x34 w/ attached spa and water feature per plans," was submitted in October 2011 and issued in May 2012. As the pool and stone terrace were already reviewed and recommended by the Commission, this application was not referred to the Commission. This permit's description of work does not mention new or replacement walls or fences, and the permanent set of drawings does not contain the Historic Preservation Office (HPO) stamp, so we cannot say what was in the drawings, aside from the pool/spa/water feature, when HPO staff reviewed the project. This set reuses the "proposed" plat/site plan from the earlier permit, which depicts only a retaining wall "by others" near the east property line. But the record set of drawings does show an elevation of (only) the west side of a masonry wall and fencing along the east property line (page 39). This drawing deviates somewhat from what was built, discussed below.

It is for the reason that the fencing and walls were not reviewed by the Commission, and there has been a complaint from a neighbor about their height, that the District government is referring the attached information about the structures.

Deviations from the plans

As built, the fences and wall do not conform entirely to the approved set of plans, in some probably positive ways, as well as some probably negative. First, the rearmost sections of fence are constructed of horizontal wood slats on both sides of supporting posts. In the opinion of the HPO, this is more compatible than the chain-link fencing depicted in the drawings, a fence type generally considered incompatible with the character of the historic districts (and another indication that HPO may not have seen the elevation drawings).

The heights of the finished wall and fencing are shown in the inspection photographs on pages 20, 22 and 23. The photos indicate that the nearly 57-foot-long rearmost portion of fencing is shorter than the chain-link fencing depicted in the drawings, and the masonry wall is seven inches shorter than drawn.

But the wood fence immediately behind the house is 7'11" tall, 27 inches higher than proposed in the pool drawings (see pages 38 and 39). Comparing the "before" photo on page 4 with the "after" photo in the upper left on page 15, the present fence appears to reach a height of as much as 23 inches taller than the stockade fence that previously stood there (based on where the top of the two fences met/meet the house's siding and an understanding of the present fence measurement compared with the typical six-foot height of stockade fencing). This fence is now eleven inches taller than fences near a property line are permitted to be without the consent of the abutting property owner. (*District of Columbia Codes Supplement of 2013*, 12 DCMR § 3112.3.3)

The principal source of complaint about the fence/wall has been its height relative to the back yard and back wing of the house at 3327 Q. But the grade at 3329 appears always to have been

higher, retained by concrete and stone and even lumber walls in recent decades (see pages 4-7). The building code is clear that "The measurement of the height of a fence shall be made from the top of the fence to grade, on the side of the fence where grade level is higher." (12 DCMR § 3112.1.3) It has been asserted that the top of the concrete wall measures ten and a half feet above the neighbor's rear-yard grade, a measurement that is probably about right, at least from the level of the yard next to the house, as opposed to the level of the raised beds adjacent to the wall. But a reduction of the height by three and a half feet—so that it stands only seven feet above the neighbor's yard—would put the top of the wall nineteen inches above the level of the subject property's pool terrace.

It is clear that the rear-yard grade has been raised somewhat at 3329, in fact, stepped up toward the rear, yet that is not contrary to the building code, and it appears that the Board, the Commission and HPO did review that aspect of the project, recommending in favor of the underground garage, as well as the pool, its terrace and appurtenances.

Preservation issues

We see two issues with the fence/wall. First, we try to be consistent about maintaining the height limit of seven feet, and we believe that the 7'11"-tall section of the fence should be lowered by at least eleven inches, if not to the originally proposed height, something that its construction would seem to admit readily. At that height, it would stand a foot taller than the stockade fence that preceded it.

Second, as the legitimacy and the height of the concrete wall have been disputed, its east side has not been completed and faced with a compatible material. Exposed walls of bare, poured concrete are typically considered inconsistent with the character of the historic district, and this one should be faced with stone, like the inward side, or with a stucco parge, a trellis, etc.

Other code issues

It is also disputed whether a portion of the fence/wall extends beyond the property line onto the property at 3327 Q Street. Wall surveys have been supplied by owners on both sides of the line (see pages 25 and 27), and they indicate that the above-ground portions are within the subject property. The neighbor's wall survey suggests that the wall's footing, however, extends between one and nine inches across the property line. The District's Office of the Surveyor offers a third take (page 28). Such an amount of deviation is something that probably cannot be determined definitively without a fresh survey from a known datum.

The extent of encroachment of a below-ground footing itself is not a preservation issue, but something to be determined by surveyors, the Department of Consumer and Regulatory Affairs, and perhaps a court. The encroachment of a portion of the footing might be cause for enforcing a strict interpretation of the party-line fence provision (12 DCMR § 3112.2), which would require the wall to be of an open design, despite the visible portion being set back a few inches. But again, that is a matter to be settled outside preservation design review, and only an issue for the Old Georgetown Board and the Commission if an alternative design is later proposed.

The Government of the District of Columbia requests the comments of the Old Georgetown Board and the recommendation of the Commission of Fine Arts regarding the wall and fences as they have been constructed along the east property line of 3329 Q Street.

Sincerely,

A handwritten signature in black ink, appearing to be 'Tim Dennee', with a stylized, cursive script.

Tim Dennee

EXHIBIT D

Giefer, Edward (OP)

From: Dennee, Timothy (OP) <timothy.dennee@dc.gov>
Sent: Monday, February 24, 2014 4:45 PM
To: georgetown@cfa.gov
Subject: FW: 3333 and 3329 Q Street Stop Order
Attachments: Plat for 3329 Q St..pdf; photo 4 (2).JPG

FYI. The war of the wall, Part I (there's more, of course). They are appealing the stop-work order and saying that the main permit covers the rear wall and fence on the east side of the property.

Tim Dennee
District of Columbia Historic Preservation Office
1100 4th Street, SW
Suite E650
Washington, D.C. 20024
202-442-8847
fax 202-442-7638
timothy.dennee@dc.gov
www.planning.dc.gov/hpo

From: Dennee, Timothy (OP)
Sent: Thursday, February 20, 2014 7:49 PM
To: 'Robert Gurney'
Subject: 3333 and 3329 Q Street Stop Order

Bob,



I understand that our inspector stopped work on the above job because of the rear-yard wall.

 I just took a look at the plans, and I'd have to agree that, whatever the intention, they don't seem to authorize that wall, even if they might suggest it was contemplated.

What I mean is, there is a single site plan (Sheet A3.0) that shows a wall in that location, and the first-floor plan (A3.2) is similar, but neither has labels or notes as to whether that wall is existing or proposed, or what is to be built beyond the house itself. There is no drawing anywhere depicting such a wall in elevation or section, to indicate its height, material or structural make-up. Indeed, the wood fence nearer the house does not appear in the plans either. A structural plan on Sheet S2.1 shows a perpendicular "pool wall" near the back of the houses, but it is said to be "design[ed] by others." The west elevation (Sheet A4.2) shows what appears to be a vertical plank fence, but it is not clear if that is existing, proposed, or the neighbor's.

Looking through all the structural details, I see that they relate to only the house(s), the areaway behind, and to the pool itself. *Except*, there is a drawing on S2.1---which are structural drawings that we and CFA typically do not review or stamp unless a lot of demolition is involved---that has dashed lines that are notated "wall above spanning between wing walls." This is shown on the following sheet, the first-floor framing plan, but it appears to be tied in with below-grade wing walls and could be interpreted as a foundation or retaining wall rather than a freestanding one. There are no section drawings for this elsewhere in the structural sheets.

Your office apparently sent the attached plat to our inspector, but it is not included in the record set of drawings, and it indicates shows a five-foot-tall stone wall. Assuming that stray drawing has some kind of force, I wouldn't consider a concrete wall that is faced on one side to constitute a stone wall. I don't know that we would be sticklers about the

EXHIBIT E

Giefer, Edward (OP)

From: Parker-Woolridge, Doris (DCRA) <doris.parker-woolridge@dc.gov>
Sent: Tuesday, March 25, 2014 1:13 PM
To: Lambert, Keith (OP)
Subject: RE: 3329-3333 Q St NW - wall/fence

Keith,

Please give me a call.

Thanks.

Doris A. Parker-Woolridge, Esq.
Office of the General Counsel
Department of Consumer and Regulatory Affairs
1100 4th Street, S.W.
Suite 5266
Washington, D.C. 20024
Telephone #: (202) 442-8407
Fax #: (202) 442-9447
doris.parker-woolridge@dc.gov

From: Lambert, Keith (OP)
Sent: Tuesday, March 18, 2014 2:38 PM
To: Parker-Woolridge, Doris (DCRA)
Subject: FW: 3329-3333 Q St NW - wall/fence
Importance: High

Hey Doris,

You were our counsel for the infamous 1909 12th St. NW case involving Brian Ortiz where he raised the height of one of his properties near U Street NW. Marty Sullivan I believe was his attorney. I am sure you have had to deal with him. It appears that Mr. Minshall and his daughter the owner of 3327 Q St. NW have retained Mr. Marty Sullivan in their case about this fence wall between 3372 and 3329 Q St. NW since they copied him on the matter. At the SWO hearing the owners, including the architect convinced Ferdinand that the pool drawings and associated documents where they have a "proposed" fence schedule were proof that this fence was approved. I maintain no such fence/wall approval exist but since it was the general consensus of this office that they should be allowed to work on 3333 Q St. NW I didn't have an issue with the dismissal action at the hearing. I hope this doesn't become another mess.

✖

Keith Lambert
Enforcement Officer
D.C. Historic Preservation Office/Office of Planning
1100 4th Street SW, Suite E650
Washington, D.C. 20024
202-442-8837 direct
202-442-7638 fax

