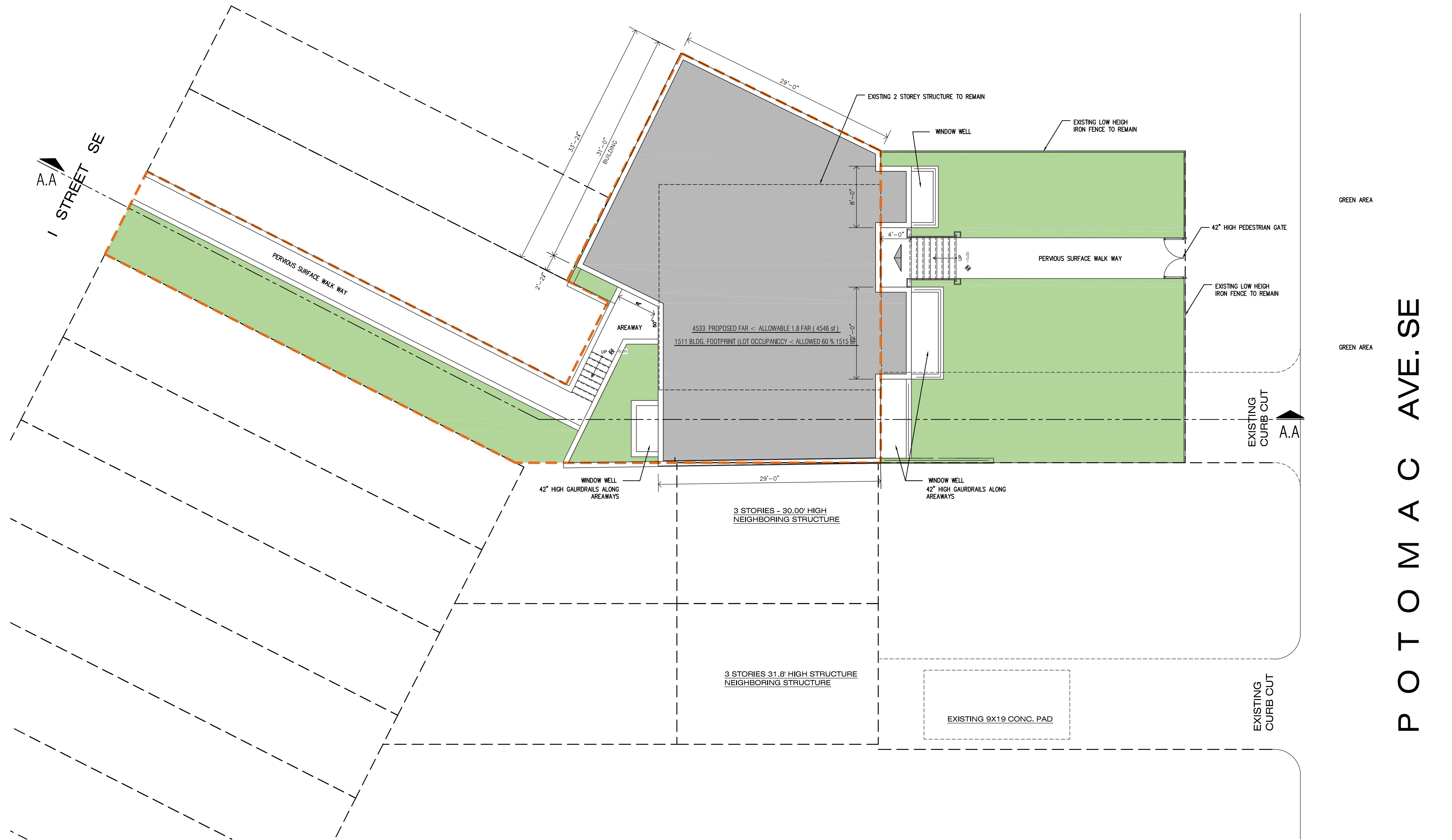




PROJECT DATA : 1220 POTOMAC AVE. SE

SITE DATA

LOCATION	SQUARE : 1021 LOT : 0040
ZONING :	R5B
LOT AREA	LOT AREA : 2525.81 SF
ALLOWABLE LOT OCCUPANCY	60.00% (1515.48 SF)
EXISTING LOT OCCUPANCY	40% (1013.60 SF)
PROPOSED LOT OCCUPANCY	59.8%
ALLOWABLE HEIGHT	50.00'
EXISTING HEIGHT	24.00' / 2 STORIES
PROPOSED HEIGHT	35.83 / 3 STORIES
REAR SETBACK	< 20'

PROPOSED BUILDING AREA

	GFA	EXEMPTIONS				FAR
		MECH. CLOSET CEILING - 6'6"	SHAFTS BEYOND LOT LINE	PROJECTIONS BEYOND LOT LINE	CELLARS	
CELLAR LEVEL	1595 SF	34 SF	4 SF	80 SF	1428 SF	49 SF
FIRST FLOOR	1595 SF	34 SF	4 SF	80 SF		1477 SF
SECOND FLOOR	1595 SF	34 SF	4 SF	80 SF		1477 SF
THIRD FLOOR	1595 SF	34 SF	4 SF	80 SF		1477 SF
TOTAL	6380 SF	136 SF	16 SF	320 SF	1428 SF	4480 SF

NOTE : CELLAR CEILING HEIGHT EXCEEDING 48" FROM ADJACENT GRADE - 5.7 % (8'2" / 162'4")
1515 SF X 94.3 % = 1428 SF

MAX FAR ALLOWED : (1.8) = 4546 SF

BUILDING DATA

OCCUPANCY	R-2
CONSTRUCTION TYPE	5A
ALLOWABLE AREA	
PROPOSED AREA	
ALLOWABLE # STOREY	
PROPOSED # STOREY	3
FIRE SUPPRESSION SYSTEM	FULLY SPRINKLED NFPA 13(R) DOMESTIC SPRINKLER SYSTEM

SCOPE OF WORK

A NEW CONSTRUCTION 8 UNIT APARTMENT BUILDING PROPOSED ON VACANT LOT AFTER RAZING EXISTING SINGLE FAMILY DETACHED DWELLING.

PROPOSED STRUCTURE IS COMPOSED OF 3 STOREY AND CELLAR WITH 2 ENTRANCES , MAIN ENTRANCE FROM POTOMAC AVE AND REAR ENTRANCE THRU BACKYARD ACCESSED FROM I STREET.

8 UNITS ARE SPREAD EVENLY AMONG NUMBER OF FLOOR WITH 2 UNITS PER FLOOR AND OFFERS 1 BEDROOM AND 2 BEDROOM APARTMENTS

