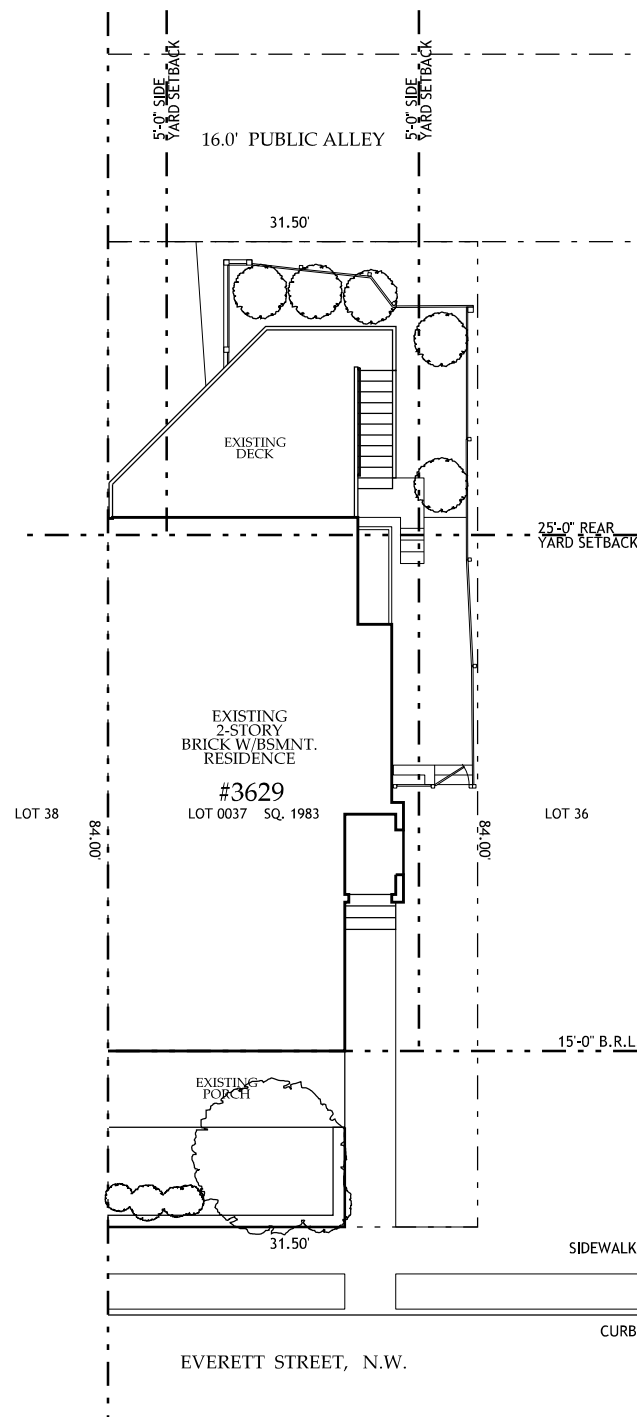


THE FIELD RESIDENCE

3629 EVERETT STREET, NW WASHINGTON, DC 20008

ZONING SUMMARY

LOT DESCRIPTION:	Lot 0037, Square 1983
	3629 Everett Street N.W. Washington, D.C. 20008
	Wakefield
ZONE:	R-1-B
400.1 BUILDING HEIGHT:	
ALLOWABLE:	40 feet, 3 stories, maximum.
ACTUAL:	Existing to remain, no change proposed.
402.4 FLOOR AREA RATIO:	None required.
403.2 LOT OCCUPANCY:	
ALLOWABLE:	40% maximum; 1,058.4 sq ft for Lot 37.
ACTUAL:	50%, 1323.00 sq ft (w/Deck) 38.99%, 1031.7 sq ft (w/o Deck)
404.1 REAR YARD SETBACK:	
ALLOWABLE:	25ft minimum.
ACTUAL:	6.4 ft. (w/Deck) 23.5 ft. (w/o Deck)



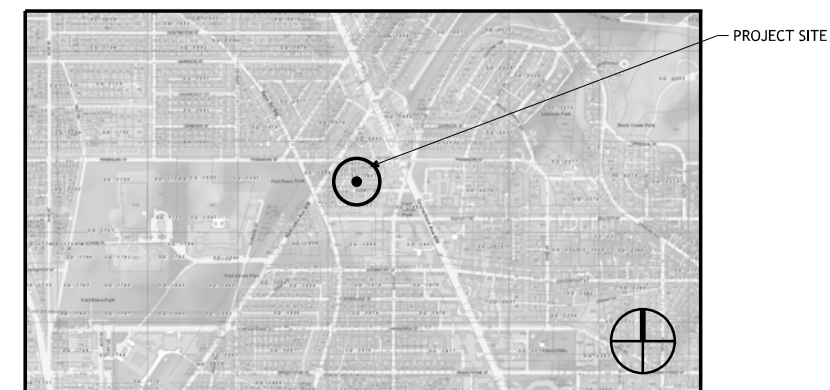
1
ECS-1.0

EXISTING SITE PLAN

SCALE: 1" = 10'- 0"

0 5 10 20 FT

VICINITY MAP



INDEX

ECS-1.0	Cover Sheet, Site Plan and Drawing Index
EX-1.0	Existing Basement Plan
EX-1.1	Existing First Floor Plan
EX-1.2	Existing Second Floor Plan
EX-2.0	Existing Elevations
EX-2.1	Existing Elevations
EX-2.2	Existing Elevations

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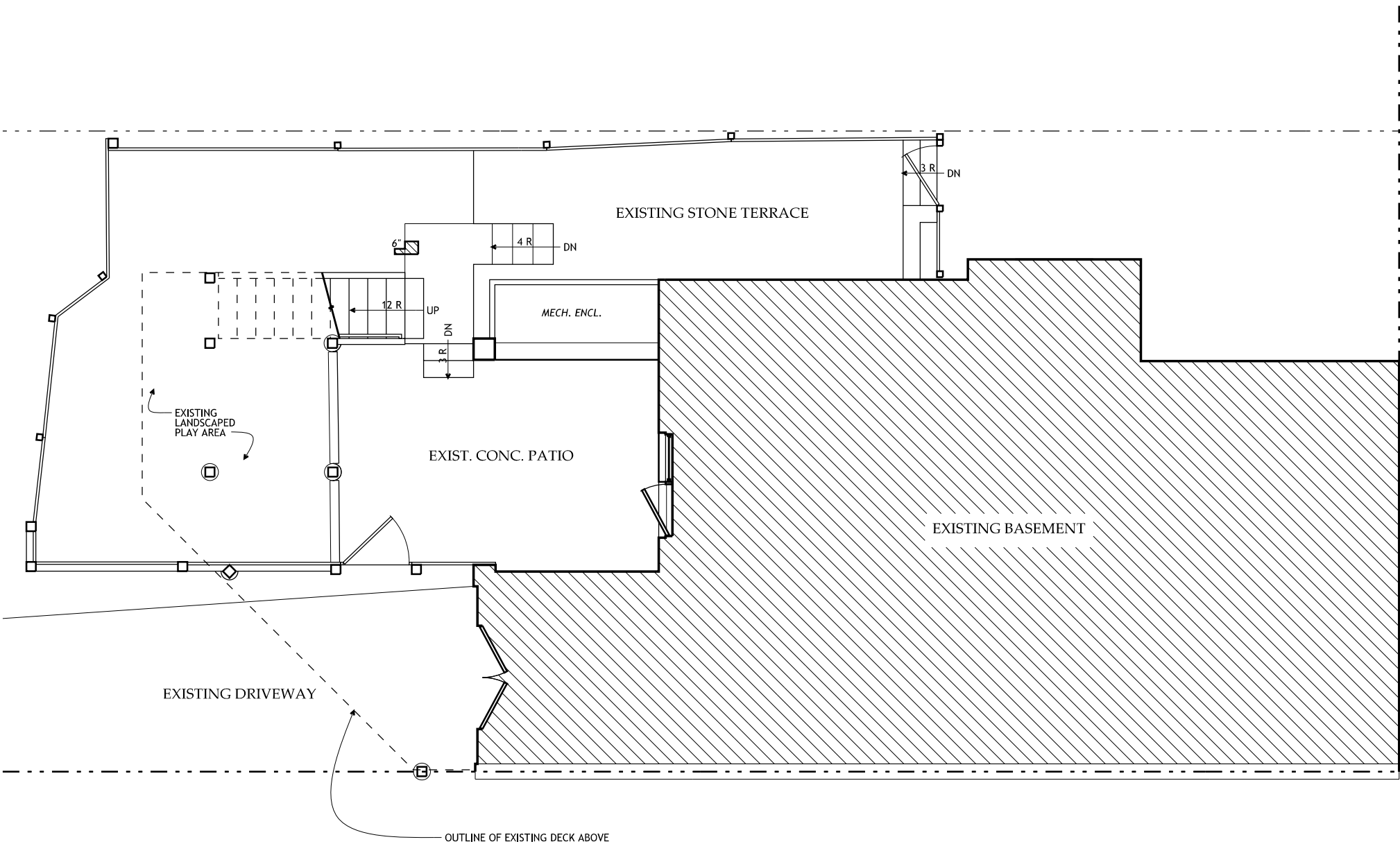
FIELD RESIDENCE
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BZA SUBMISSION
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COVER SHEET
SCALE: AS NOTED

Board of Zoning Adjustment
District of Columbia
CASE NO. 18959
EXHIBIT NO. 9

ECS-1.0



1
EX-1.0

EXISTING BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"

SHEET NO.

EX-1.0

FIELD RESIDENCE

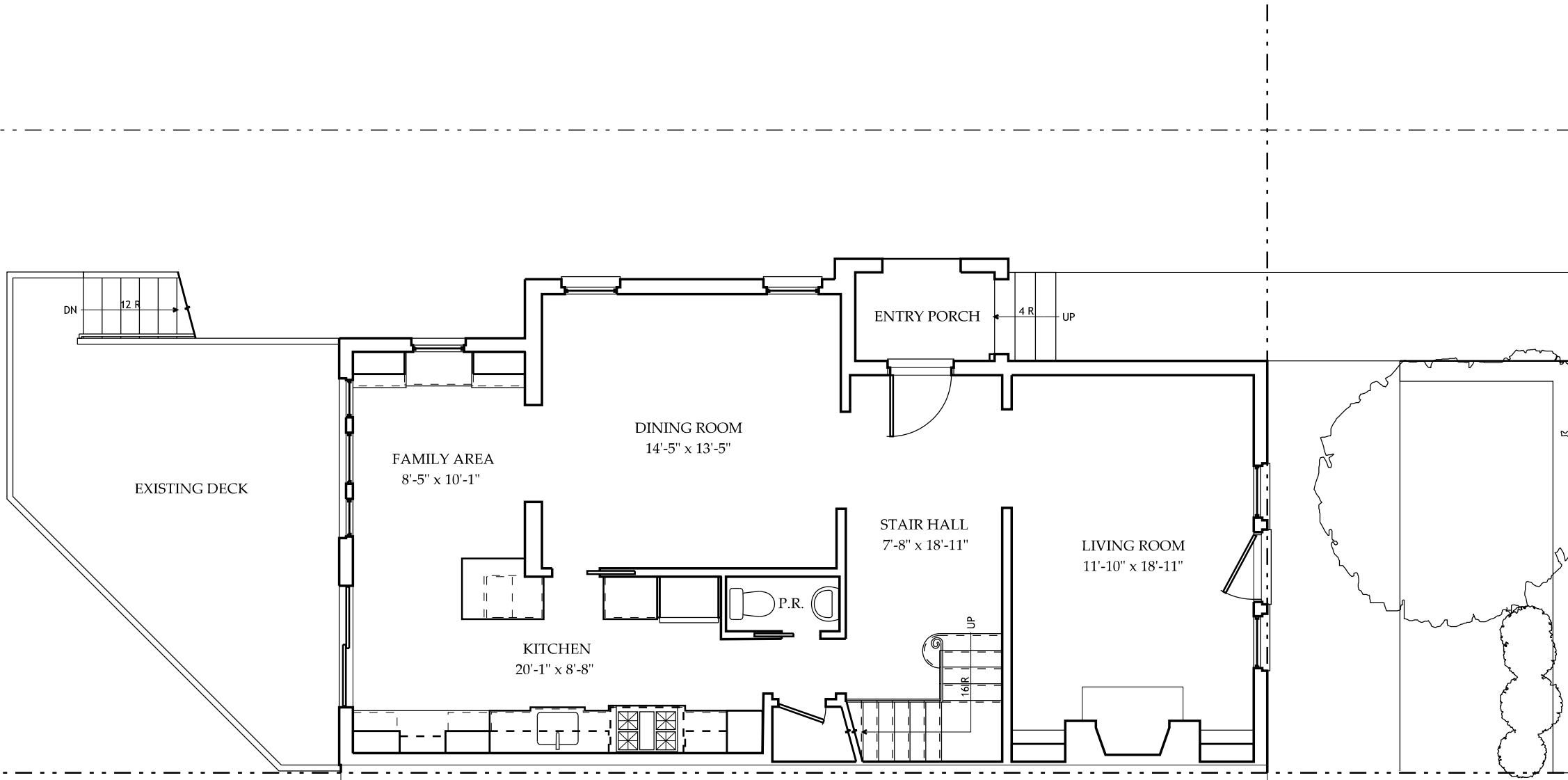
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1
EX-1.1

EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NO.

EX-1.1

FIELD RESIDENCE

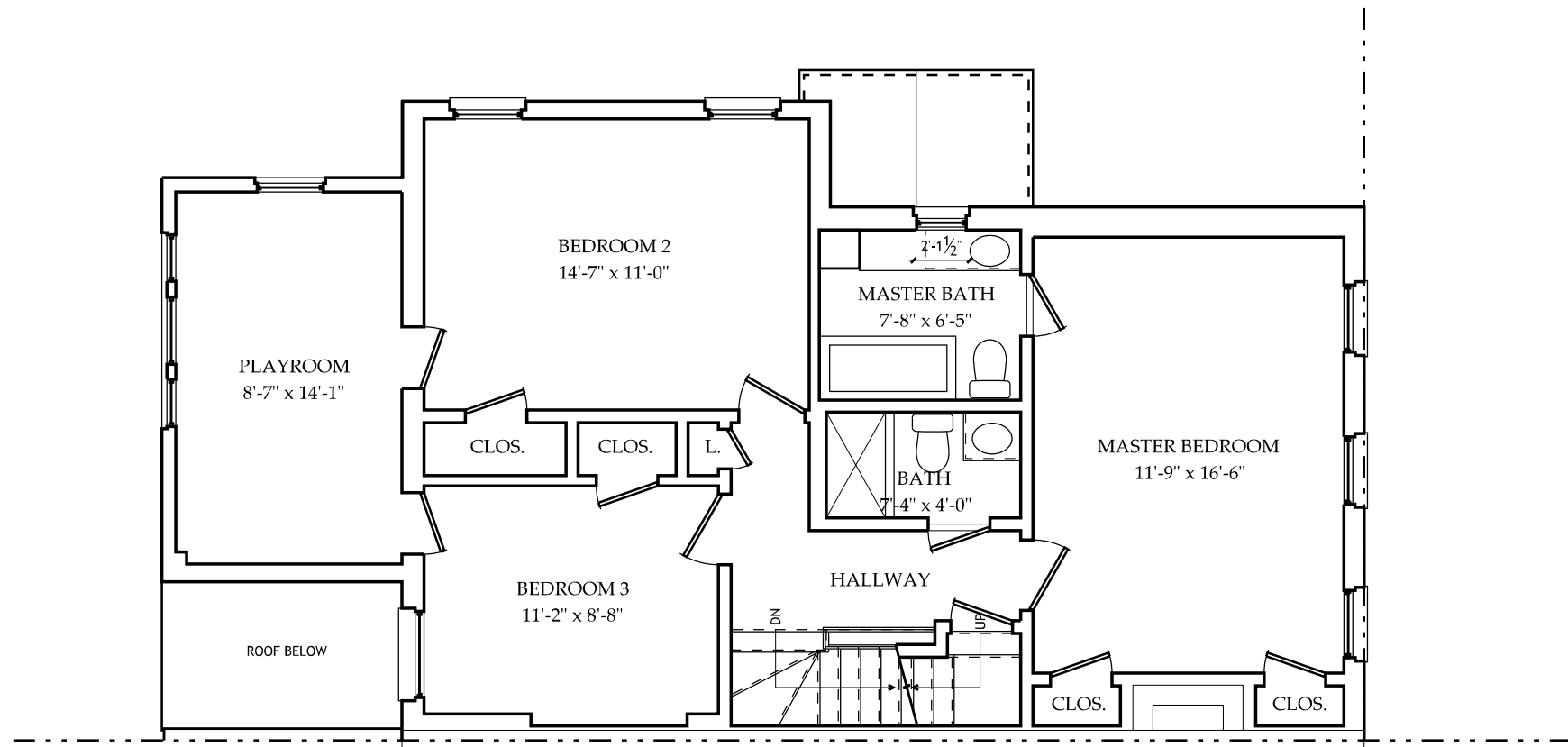
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1
EX-1.2

EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NO.

EX-1.2

FIELD RESIDENCE

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1
EX-2.0

EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NO.

EX-2.0

FIELD RESIDENCE

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1
EX-2.1

EXISTING SIDE ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NO.

EX-2.1

FIELD RESIDENCE

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1
EX-2.2

EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'- 0"



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EXISTING ELEVATIONS
SCALE: 1/4" = 1'-0"

SHEET NO.

EX-2.2

THE FIELD RESIDENCE

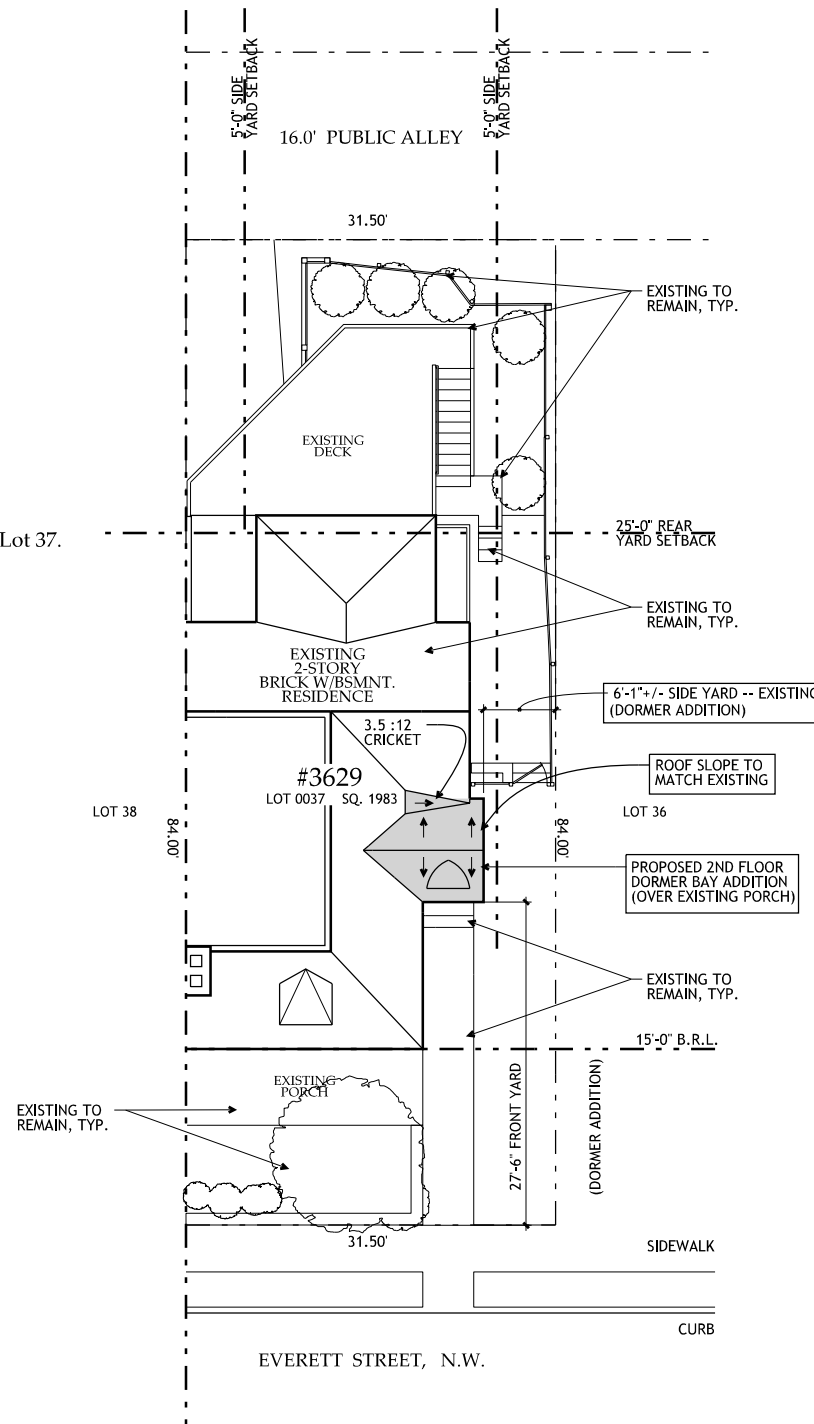
3629 EVERETT STREET, NW WASHINGTON, DC 20008

ZONING SUMMARY

LOT DESCRIPTION:	Lot 0037, Square 1983
	3629 Everett Street N.W. Washington, D.C. 20008
	Wakefield
ZONE:	R-1-B
400.1 BUILDING HEIGHT:	
ALLOWABLE:	40 feet, 3 stories, maximum.
ACTUAL:	30.33 feet (+/-), 2.5 stories Existing to remain, no change proposed.
402.4 FLOOR AREA RATIO:	None required.
403.2 LOT OCCUPANCY:	
ALLOWABLE:	40% maximum; 1,058.4 sq ft for Lot 37.
ACTUAL:	50%, 1323.00 sq ft (w/Deck) 38.99%, 1031.7 sq ft (w/o Deck) Existing to remain, no change proposed.
404.1 SIDE YARD SETBACK:	
ALLOWABLE:	5ft minimum; per Section 405.8
ACTUAL:	6ft 1in +/- Existing to remain, no change proposed.

KEY TO MATERIALS AND SYMBOLS

	GRAVEL		RIGID INSULATION
	CONCRETE		CONTINUOUS WOOD FRAMING
	BRICK		WOOD BLOCKING
	CONCRETE MASONRY UNIT		FINISH WOOD
	WOOD FRAMED WALL		GYPSUM WALL BOARD
	BATT / SPRAYFOAM INSULATION		PLYWOOD
	WINDOW TYPE		REVISION NUMBER
	DOOR TYPE		DETAIL
	PLUMBING FIXTURE TYPE		SECTION
	INTERIOR ELEVATION		ELEVATION
	SMOKE DETECTOR		

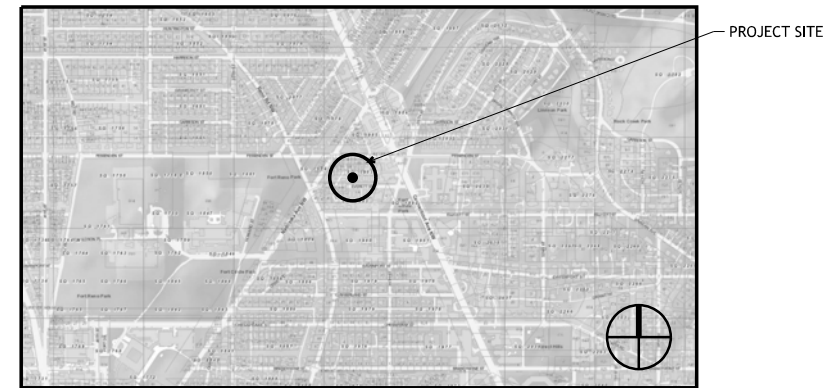


1 SITE / ROOF PLAN
CS-1.0 SCALE: 1" = 10'-0"

0 5 10 20 FT



VICINITY MAP



INDEX

CS-1.0	Cover Sheet, Site Plan and Drawing Index
A-1.1	Not Used
A-1.2a	Second Floor Plan
A-1.2	Partial Second Floor Plan, Demolition Plan, Electrical Plan and Schedules
A-2.1	Elevations and Wall Section
A-2.2	Elevations

PROJECT NARRATIVE

- 1-story wood frame addition over existing First Floor brick entry porch.
- Interior renovation of existing Hall Bath and Master Bath.

GENERAL NOTES

The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX on this sheet:

- Contractor to field verify all dimensions.
- DO NOT SCALE DRAWINGS to obtain dimensions.
- Dimensions shown are to face of structure (i.e. face of stud, masonry, or existing construction) unless noted otherwise on drawings.
- All construction resulting from execution of this work shall conform to the current District of Columbia building code, incorporation with current International Residential Code with any supplements.
- All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes
- The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
- Contractor shall comply with current requirements for District of Columbia for radon mitigation.

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FIELD RESIDENCE
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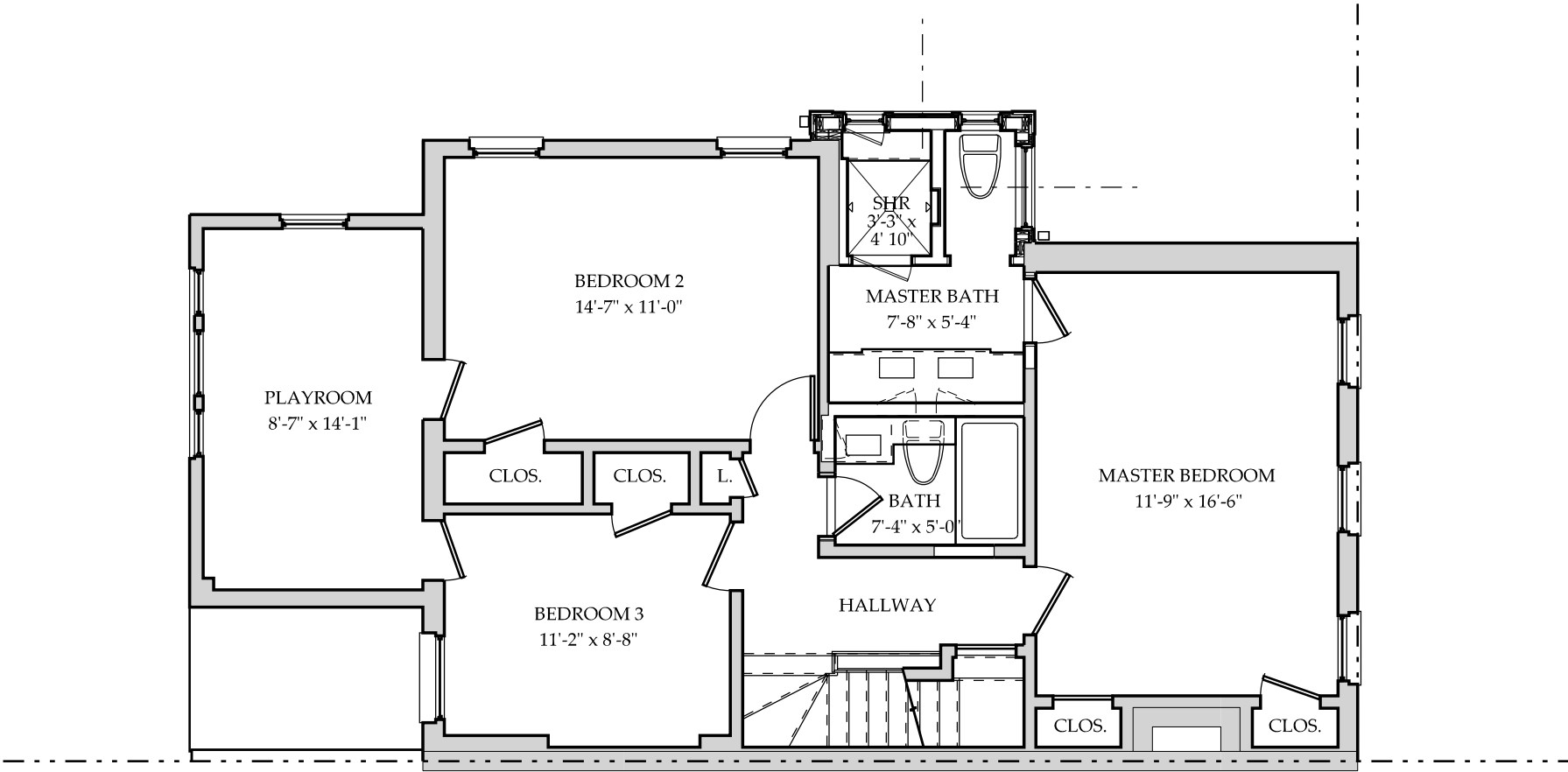
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COVER, SITE PLAN AND INDEX
SCALE: AS NOTED

SHEET NO.

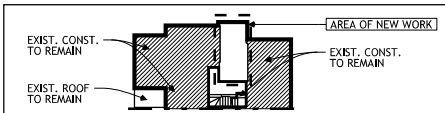
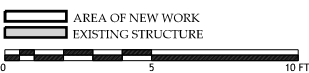
CS-1.0



1
1.2a

SECOND FLOOR PLAN

SCALE: 1/4" = 1'- 0"



KEY PLAN
SCALE: N.T.S.



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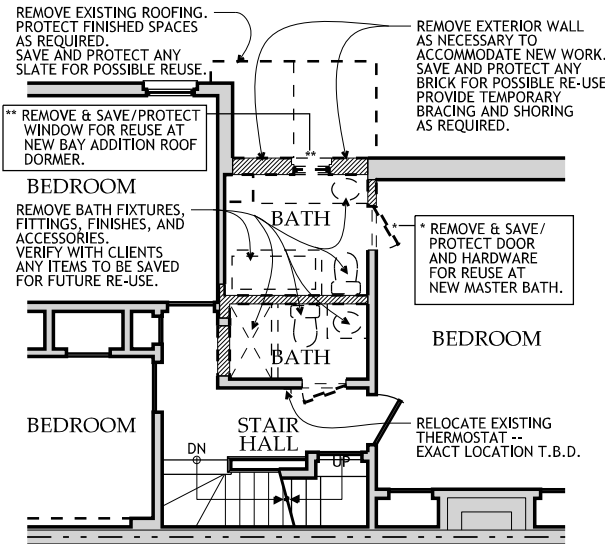
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET NO.

A-1.2a



- GENERAL NOTES:
1. REMOVED DOTTED AND/OR HATCHED PORTION OF EXISTING CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW WORK, TYPICAL.
 2. SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
 3. SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING VEGETATION SCHEDULED TO REMAIN, TYPICAL.
 4. VERIFY WITH OWNERS ITEMS TO BE SALVAGED/SAVED FOR RE-USE, TYPICAL.
 5. ANY PORTION OF THE HOUSE EXPOSED BY REMOVAL OF EXISTING WORK SHALL BE PATCHED TO MATCH ADJACENT EXISTING OR NEW SURFACE AS REQUIRED.
 6. SALVAGE EXISTING FRONT ENTRY PORCH LIGHT FIXTURES TO BE REUSED/RELOCATED IN FIELD.

2 SECOND FLOOR DEMOLITION PLAN
A-1.2 SCALE: N.T.S.

FINISH SCHEDULE							
FLOOR	ROOM #	LOCATION	FLOOR	WALL	CEILING	CL. HT.	REMARKS
SECOND FLOOR	200	HALL BATH	TILE	PTD. WP. GYP.	PTD. WP. GYP.	8'-0"	NOTES 2 & 3
	201	MASTER BATH	TILE	PTD. WP. GYP.	PTD. WP. GYP.	8'-0"	HIGH DORMER AT WC CEILING PROVIDE STONE SLAB AT SHOWER DOOR SILL.

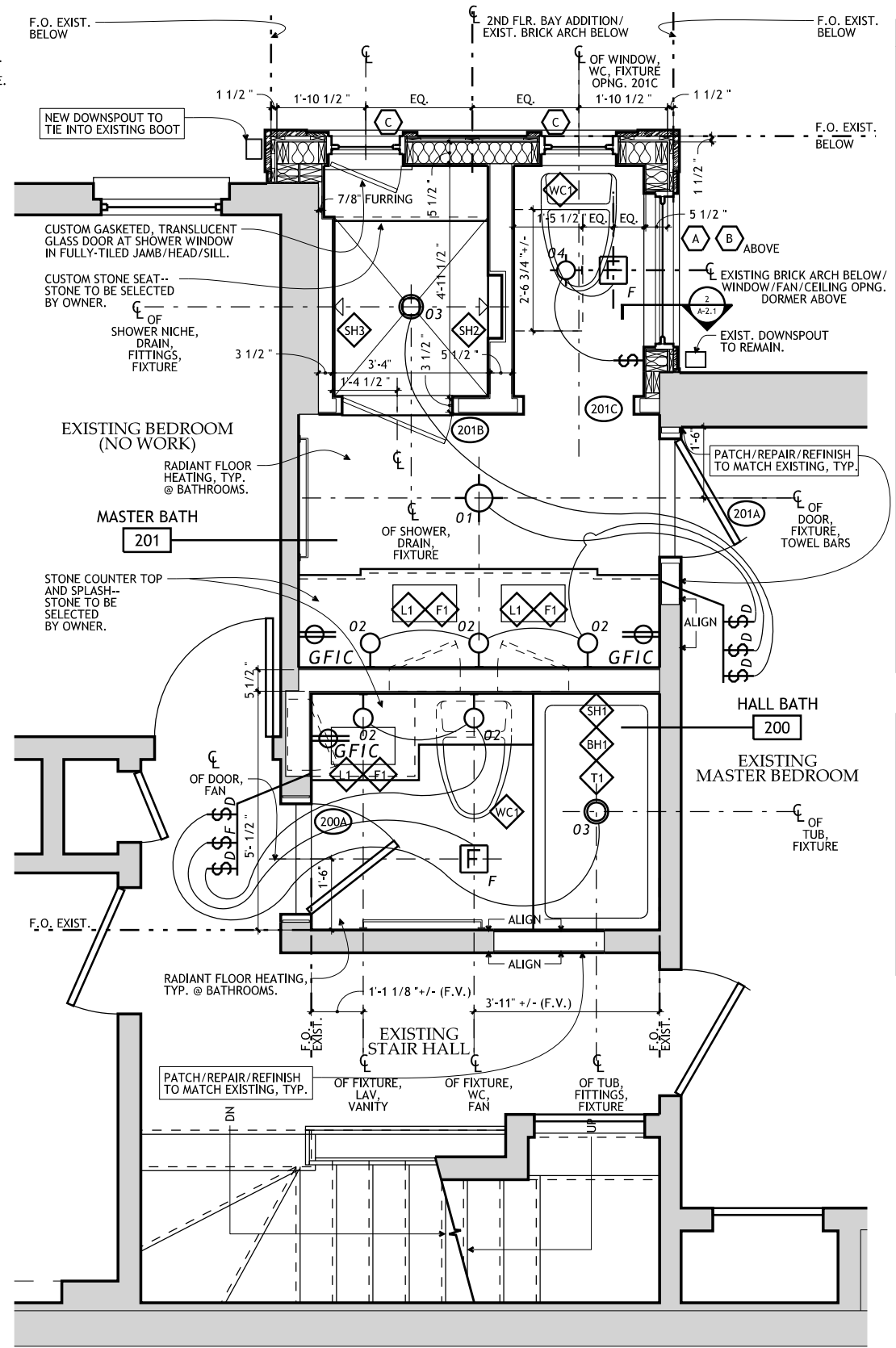
- GENERAL NOTES (FINISH SCHED.)
1. CONTRACTOR TO PROVIDE MOCK UP OF TRIM FOR CLIENT/ARCHITECT APPROVAL.
 2. PATCH/REPAIR, EXISTING FINISHES AS REQUIRED, TYP.
 3. PATCH/REPAIR, REPAINT EXISTING WALLS/CEILING TO ACCOMMODATE NEW WORK.

DOOR SCHEDULE				
DOOR #	LOCATION	DESCRIPTION	SIZE	REMARKS
200A	HALL BATH	WD. 6-PANEL DOOR T.M.E.	2'-4" x 6'-8"	PRIVACY HARDWARE T.M.E. NOTE 3
201A	MASTER BATH	EXIST. WD. 6-PANEL DOOR	2'-6" x 6'-8" +/- (F.V.)	PRIVACY HARDWARE T.M.E. NOTE 3
201B	MASTER BATH	GLASS DOOR - FRAMELESS	2'-4" x 5'-8" PANEL	SHOWER DOUBLE-ACTING SWING
201C	MASTER BATH	CASED OPENING	2'-4" x 6'-8" C.O.	---

- GENERAL NOTES (DOOR SCHED.)
1. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PLACING ORDER, TYP.
 2. PROVIDE TEMPERED GLASS GLAZING WHERE REQUIRED BY CODE.
 3. REUSE EXISTING HARDWARE WHERE POSSIBLE.

WINDOW SCHEDULE				
SYMBOL	DESCRIPTION	SIZE	LITE CUT	REMARKS
A	MARVIN - WOOD ULTIMATE DOUBLE HUNG	WUDH 36xx CUSTOM WINDOW	8 over 8	PTD. WD. PANEL BELOW AT EXTERIOR CUSTOM WINDOW --SEE ELEVATIONS
B	EXISTING WINDOW	EXISTING 2-7 1/2" +/- DIA. ROUND WINDOW (F.V.)	EXISTING	EXIST. RELOCATED WINDOW -- SEE ELEVATIONS
C	MARVIN - WOOD ULTIMATE DOUBLE HUNG	WUDH 16xx CUSTOM WINDOW	4 over 4	PTD. WD. PANEL BELOW AT EXTERIOR CUSTOM WINDOW --SEE ELEVATIONS

- GENERAL NOTES (WINDOW SCHED.)
1. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PLACING ORDER, TYP.
 2. PROVIDE TEMPERED GLASS GLAZING WHERE REQUIRED BY CODE.
 3. MATCH EXISTING CASING, SILL & TRIM PROFILES.
 4. PROVIDE INSECT SCREENING FOR ALL OPERABLE WINDOWS.
 5. ALL NEW WINDOWS TO HAVE NEW CASING, TYP. -- SEE DETAIL 1/A-4.0



- MECHANICAL
NOTE: MODIFY EXISTING MECHANICAL AS REQUIRED TO ACCOMMODATE NEW WORK -- NO INCREASE IN LOAD.
- PLUMBING
NOTE: MODIFY EXISTING PLUMBING AS REQUIRED TO ACCOMMODATE NEW WORK -- NO INCREASE IN FIXTURE COUNT.

1 PROPOSED SECOND FLOOR PLAN
A-1.2 SCALE: 1/2" = 1'-0"

DIMENSIONS ARE TO FACE OF MASONRY, FACE OF EXISTING WALLS, AND FACE OF NEW STUDS UNLESS NOTED OTHERWISE.

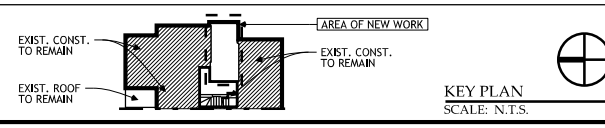
PLUMBING SCHEDULE				
LOCATION	MARK	FIXTURE	FINISH	REMARKS
200 BATH	L1	KOHLER, LADENA, K-2214	WHITE	1'-9" VANITY
	F1	WATERWORKS, HIGHGATE HGLS01	POLISHED NICKEL	---
	WC1	TOTO, CAROLINA II MS644114 CCFG	01 COTTON	---
	SH1	WATERWORKS, HIGHGATE PRESSURE BALANCE WITH DIVERTER TRIM SHOWER VALVE AND TRIM SET w/HANDSHOWER	POLISHED NICKEL	---
		WATERWORKS, HIGHGATE SHOWERHEAD		
201 MASTER BATH	T1	KOHLER, BELLWETHER, K-875	WHITE	---
	BH1	WATERWORKS, HIGHGATE WALL MOUNTED TUB FITTING HGTS81	POLISHED NICKEL	
	L1	KOHLER, LADENA, K-2214	WHITE	2'-0" VANITY
	F1	WATERWORKS, HIGHGATE HGLS01	POLISHED NICKEL	
	WC1	TOTO, CAROLINA II MS644114 CCFG	01 COTTON	---
	SH2	WATERWORKS, HIGHGATE THERMOSTATIC CONTROL VALVE VOLUME CONTROL SHOWER VALVE AND TRIM SET	POLISHED NICKEL	COORDINATE PLUMBING AT SHOWER NICHE LOCATION AS REQUIRED.
		WATERWORKS, HIGHGATE SHOWERHEAD		
	SH3	WATERWORKS, HIGHGATE VOLUME CONTROL SHOWER VALVE AND TRIM SET	POLISHED NICKEL	COORDINATE PLUMBING AS REQUIRED.
		WATERWORKS, HIGHGATE SHOWERHEAD		

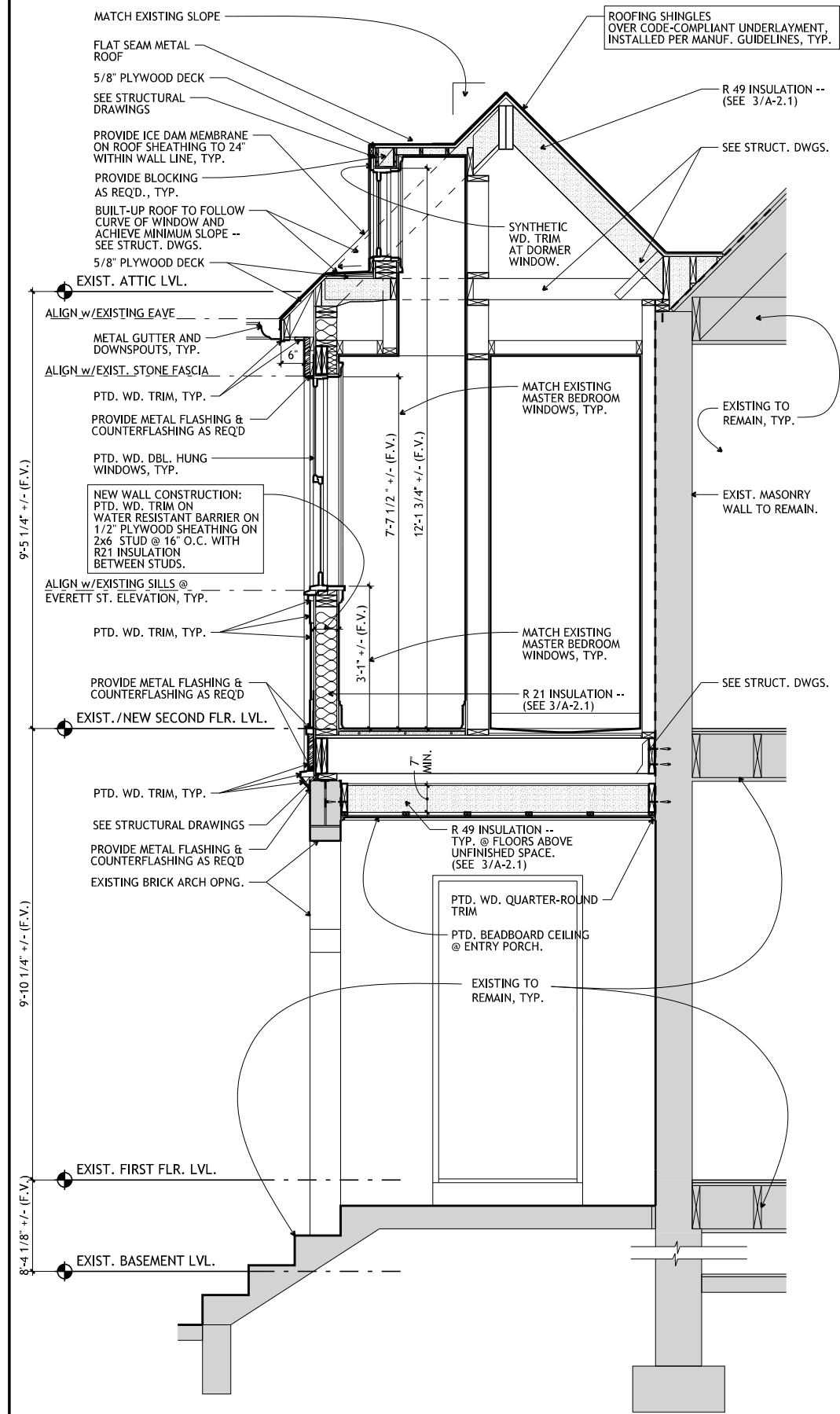
LIGHT FIXTURE SCHEDULE						
SYMBOL	FIXTURE	MANUFACTURER	MODEL	COLOR	LAMP	REMARKS
01	PENDANT FIXTURE	-	-	-	-	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
02	BATH SCONCE	-	-	-	-	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
03	4.5 INCH RECESSED ADJ. DOWNLIGHT; WET LOCATION	LIGHTOLIER	EVOLUTION GLASSLITE C4MRGA	WHITE	50W MR16 NFL 40 DEG. FLOOD	---
04	T.B.D.	-	-	-	-	PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
F	BATH EXHAUST FAN	PANASONIC	WHISPER FIT FV-11VF2	-	N/A	PROVIDE DUCTING AND BLOCKING AS NEEDED

ELECTRICAL SYMBOL SCHEDULE		
SYMBOL	DESCRIPTION	REMARKS
\$	Single Pole Switch	NOTE:
\$D	Dimmer Switch	
Φ	Duplex Outlet	
ΦGFCI	Duplex Outlet Ground Fault Circuit Interrupt	Remote circuit breakers at main electrical panel -- PLACE CENTERED HORIZONTALLY @ BACKSPLASH.

LIGHTING SYMBOL SCHEDULE		
SYMBOL	DESCRIPTION	REMARKS
⊙	Ceiling mounted light fixture	NOTE:
⊙	Wall mounted light fixture	Exact location of all fixtures to be determined by Architect
○	Recessed light fixture	
⦿	Recessed waterproof light fixture	

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL QUANTITIES BEFORE PLACING ORDER, TYP.
 2. REPLACE ALL SWITCHES WITH TOGGLE-TYPE DIMMER SWITCHES, TYP.
 3. REPLACE DAMAGED ELECTRICAL OUTLETS, TYP.
 4. REPLACE ALL SWITCH AND OUTLET PLATES WITH NEW FIELD PAINTED PLATES, TYP.
 5. ALL NEW LAYOUTS OF OUTLETS AND SWITCHES TO MEET CURRENT/APPLICABLE CODE(S).
 6. RELOCATE IN FIELD EXISTING FRONT ENTRY PORCH LIGHT FIXTURES.





2
A-2.1

TYPICAL WALL SECTION

SCALE: 1/2" = 1'- 0"

INSULATION SCHEDULE

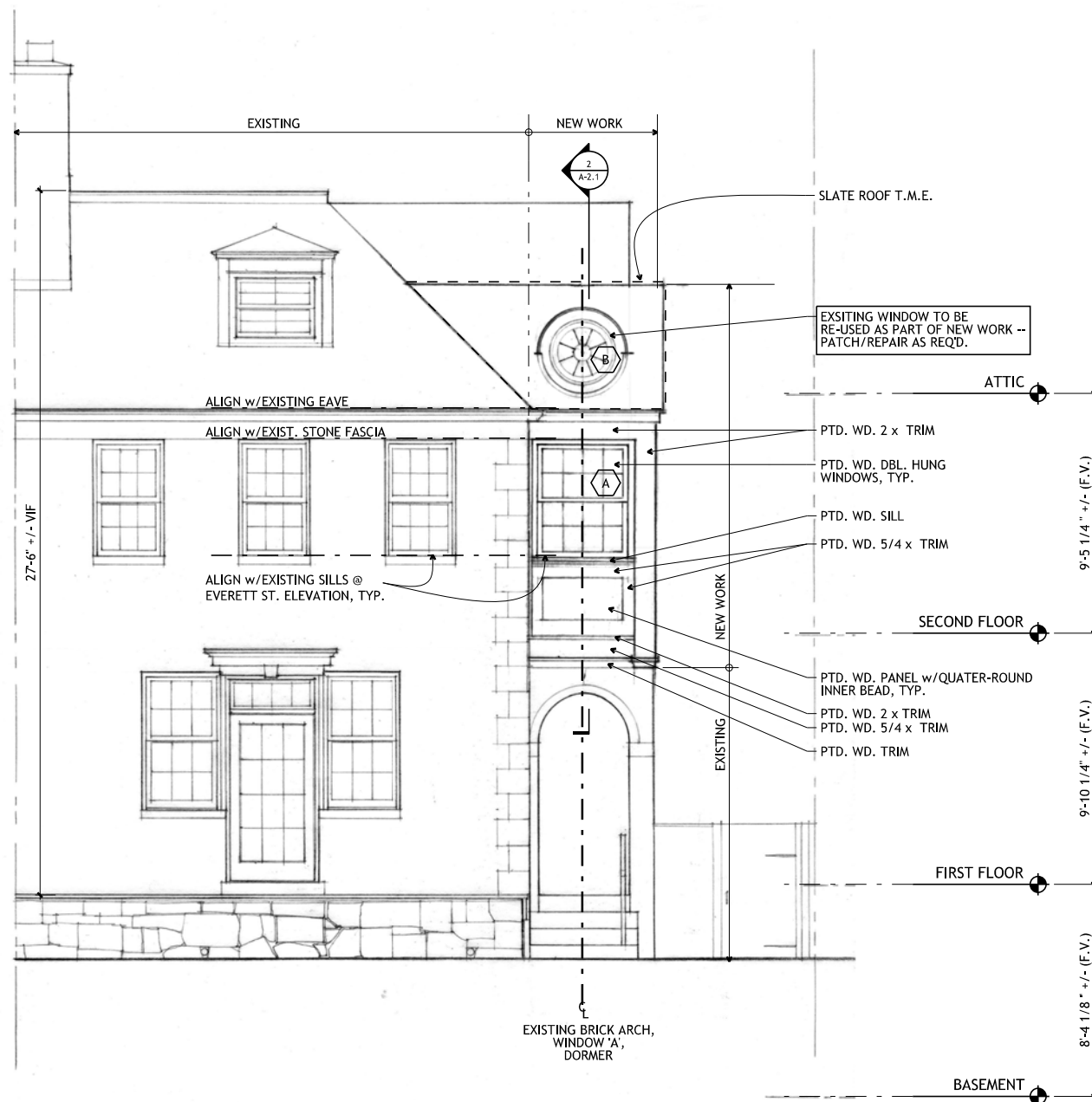
Thermal Envelope	Fenestration U-factor	Ceiling	2x6 Wood frame wall	Floor	2x4 Wood frame wall	Slab & Depth	Basement Wall
R-Value	< 0.35	49	21	21	21	10, 2 ft min.	13
Insulation type	Insulating glass Low-E Argon gas	2.4 lb. closed cell spray applied polyurethane foam	Fiberglass batt	Fiberglass batt	2.4 lb. closed cell spray applied polyurethane foam	2" THK. Rigid insulation board	Fiberglass batt
Manufacturer	Marvin	Icyene	Owens Corning	Owens Corning	Icyene	Owens Corning	Owens Corning
Product	Wood-Ultimate doors & windows	Proseal (7" thickness)	Eco-touch Pink Fiberglass insulation	Eco-touch Pink Fiberglass insulation	Proseal (3" thickness)	FOAMULAR 250 Extruded Polystyrene	Eco-touch Pink Fiberglass insulation

NOTES:

- Approved equal conforming to R-values and note #2 may be substituted by general contractor.
- All insulation shall have a flame spread index not to exceed 25, and a smoke-developed index not to exceed 450. Foam plastic insulation shall have a flame spread index not to exceed 75. (At crawl spaces, provide 3/8" gypsum board or other code-compliant ignition barrier if flame spread index requirement is not met for foam plastic insulation.)

3
A-2.1

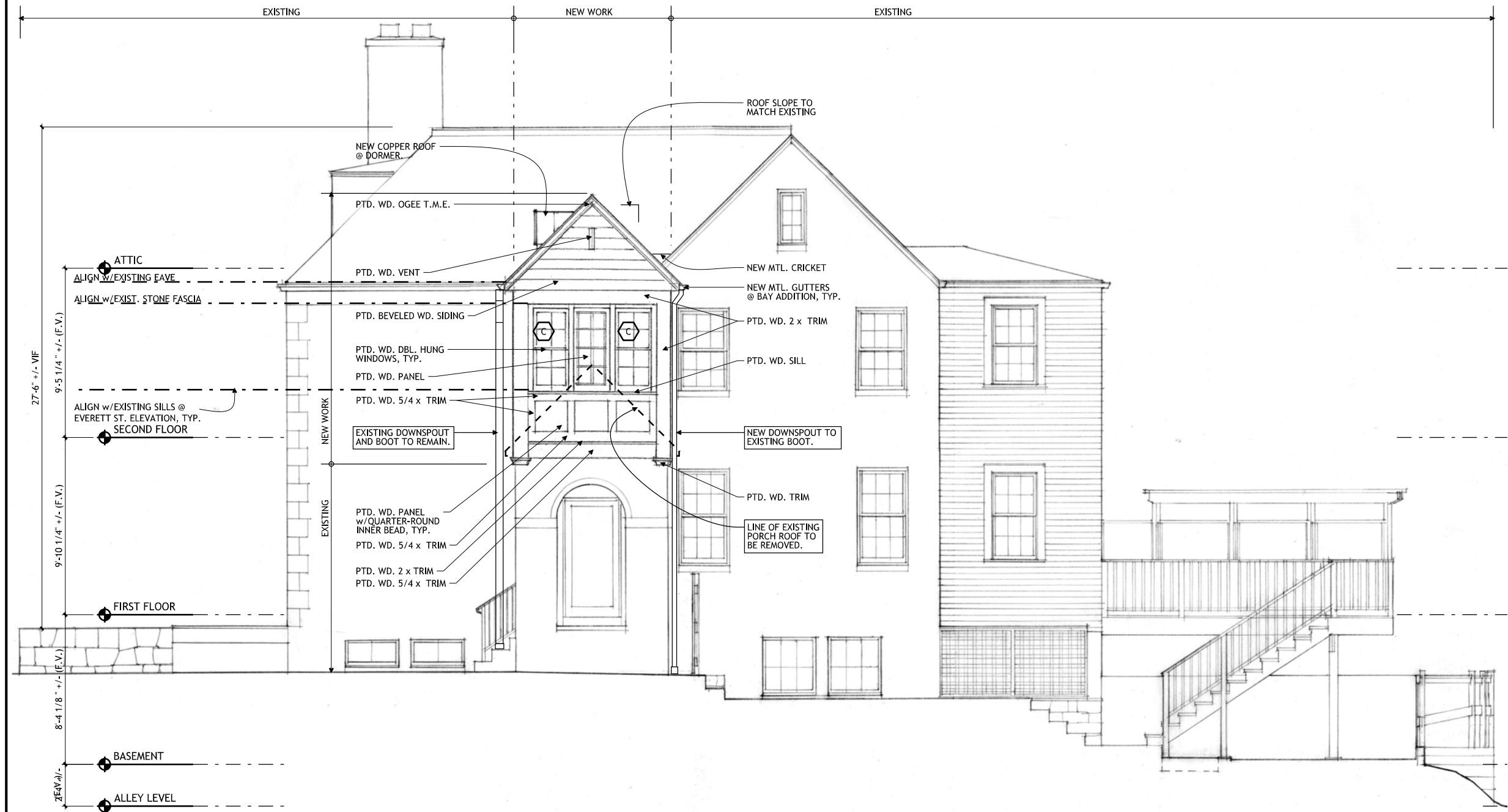
INSULATION SCHEDULE



1
A-2.1

PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'- 0"



1
A-2.2

PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NO.

A-2.2