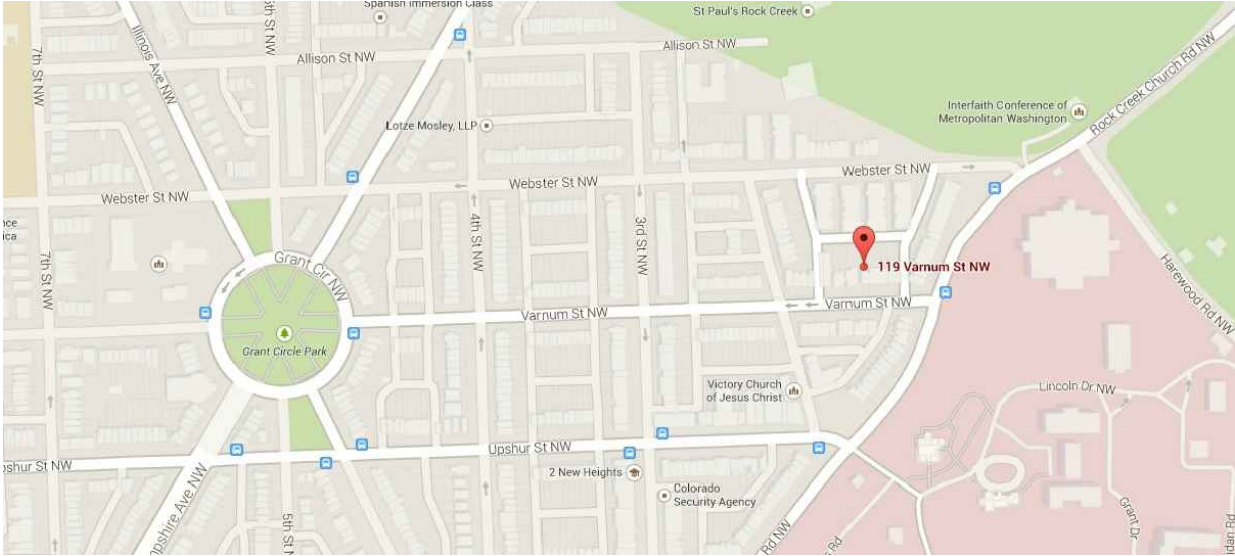


Sebastiani-Scott Residence

119 Varnum St. NW Washington, DC 20011



1 PROPERTY LOCATION
NTS



2 EXIST. FRONT ELEVATION
NTS



3 EXIST. REAR ELEVATION
NTS

DRAWING INDEX			GENERAL INFO		ZONING INFO	
C-1	COVERSHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX		OWNER: MICHAEL SEBASTIANI & PATRICK SCOTT 119 VARNUM ST. NW WASHINGTON DC, 20011 ARCHITECT: AGGREGATE, LLC 900 2ND ST NE, SUITE 218 WASHINGTON, DC 20002 PH: 202. 189. 0053 FAX: 202. 204. 5254		SQUARE: 3321 LOT: 0007 EXIST. USE: R-5-A PROPOSED USE: R-5-A EXIST. LOT AREA: 3,100 EXIST. FAR: 72% PROPOSED FAR: 83% MAX FAR: 90% EXIST. LOT OCC: 27.7% PROPOSED LOT OCC: 29.8%	
C-2	RENDERINGS OF PROPOSED ADDITION					
	PROPERTY PLAT					
D-1	BASEMENT DEMOLITION PLAN					
D-2	FIRST FLOOR DEMOLITION PLAN					
D-3	SECOND FLOOR DEMOLITION PLAN					
A-1	BASEMENT ARCHITECTURAL PLAN & NOTES					
A-2	FIRST FLOOR ARCHITECTURAL PLAN & NOTES					
A-3	SECOND FLOOR ARCHITECTURAL PLAN & NOTES					
A-4	EXTERIOR ELEVATION					
A-5	EXTERIOR ELEVATION					
A-6	SECTION					
A-7	PICTURES OF EXISTING HOUSE					

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., December 5, 2014

Plat for Building Permit of SQUARE 3321 LOT 7

Scale: 1 inch = 20 feet Recorded in Book 54 Page 41

Receipt No. 15-01340

Furnished to: MARK A. FREEMAN

Surveyor, D.C.

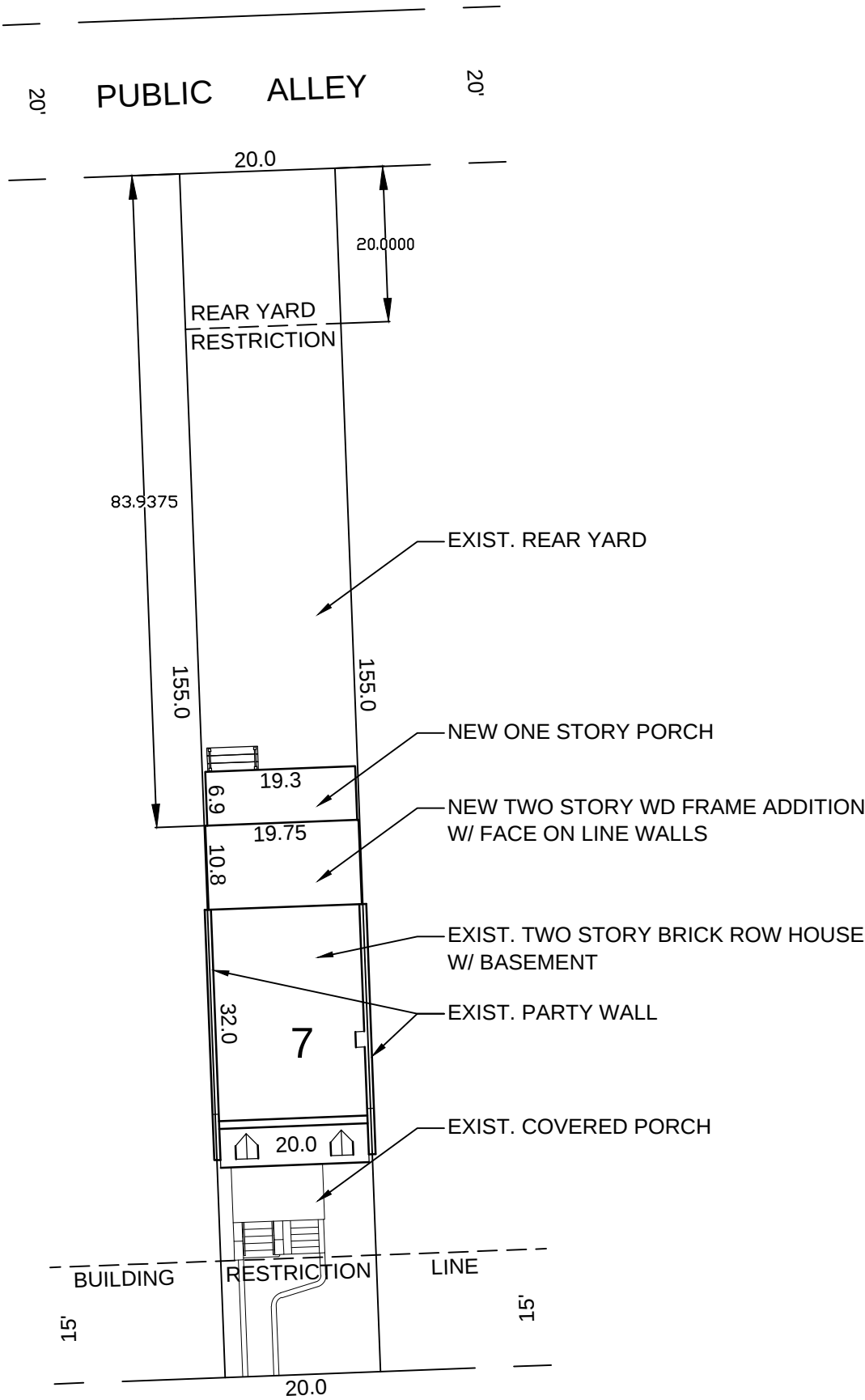
By: A.S.

I hereby certify that all existing improvements shown thereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining Lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified that all Lot divisions or combinations pending at the Office of Tax & Revenue are correctly depicted, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and private restricted property.) Owner/Agent shall indemnify, defend, and hold the District, its officers, employees and agents harmless from and against any and all losses, costs, claims, damages, liabilities, and causes of action (including reasonable attorneys' fees and court costs) arising out of death of or injury to any person or damage to any property occurring on or adjacent to the Property and directly or indirectly caused by any acts done thereon or any acts or omissions of Owner/Agent; provided however, that the foregoing indemnity shall not apply to any losses, costs, claims, damages, liabilities, and causes of action due solely to the gross negligence or willful misconduct of District or its officers, employees or agents.

Date: _____

(Signature of owner or his authorized agent)

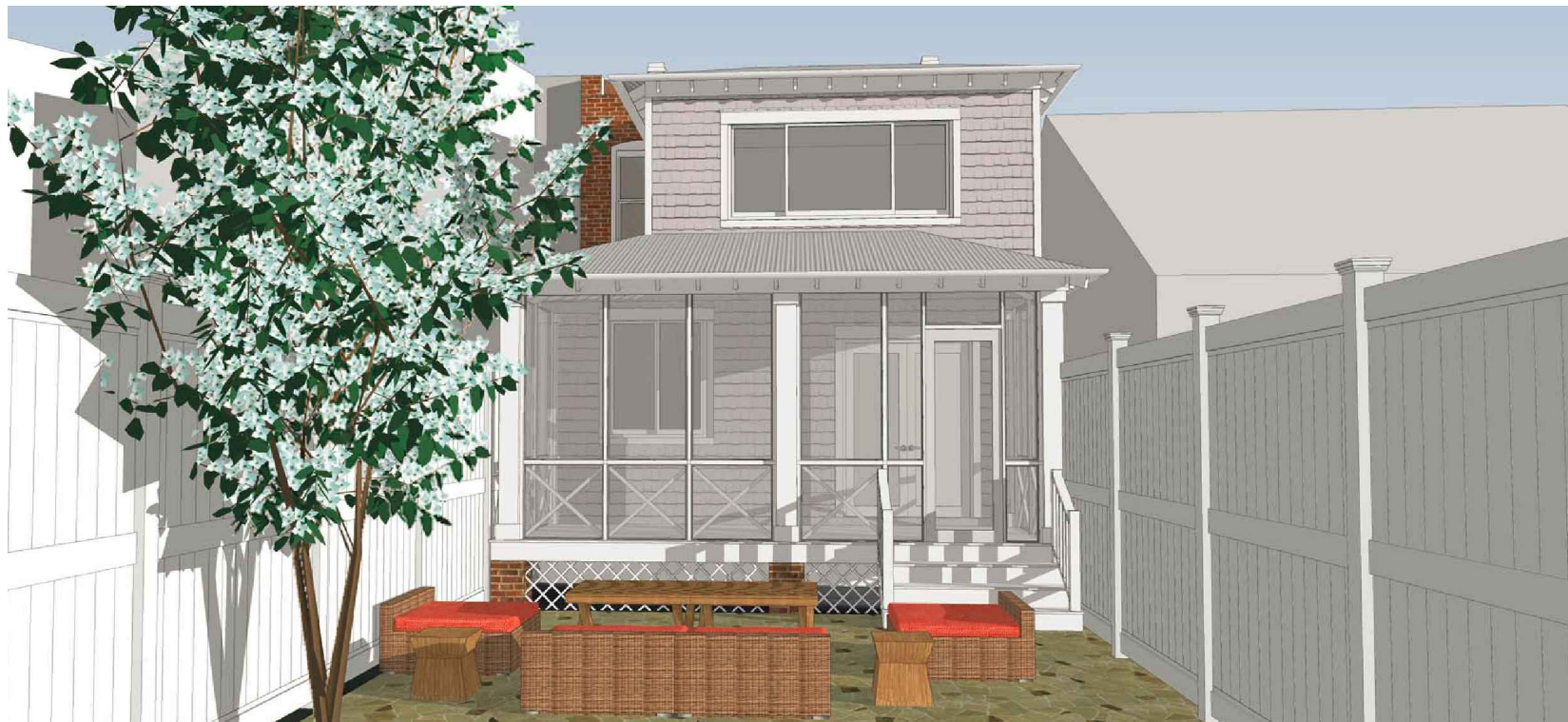
NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.



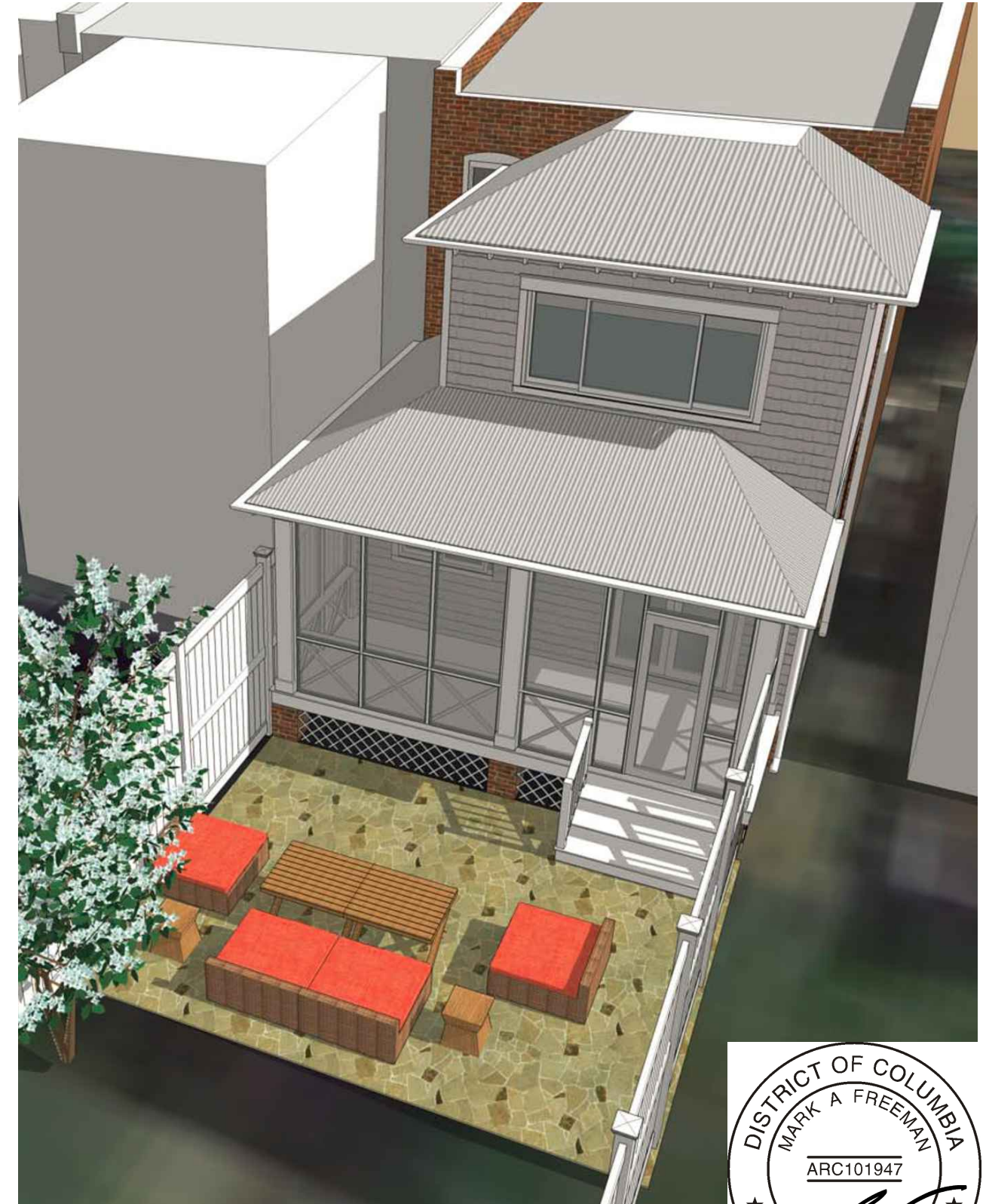
ALL DIMENSIONS TO BE FIELD VERIFIED



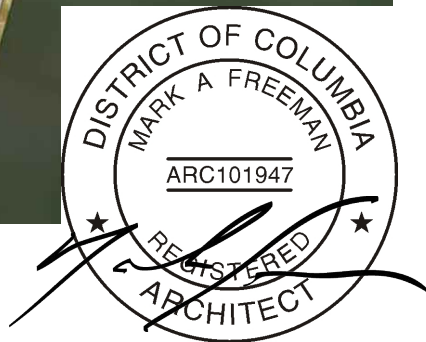
1 REAR ADDITION RENDERING - VIEW 1
NTS



2 REAR ADDITION RENDERING - VIEW 2
NTS

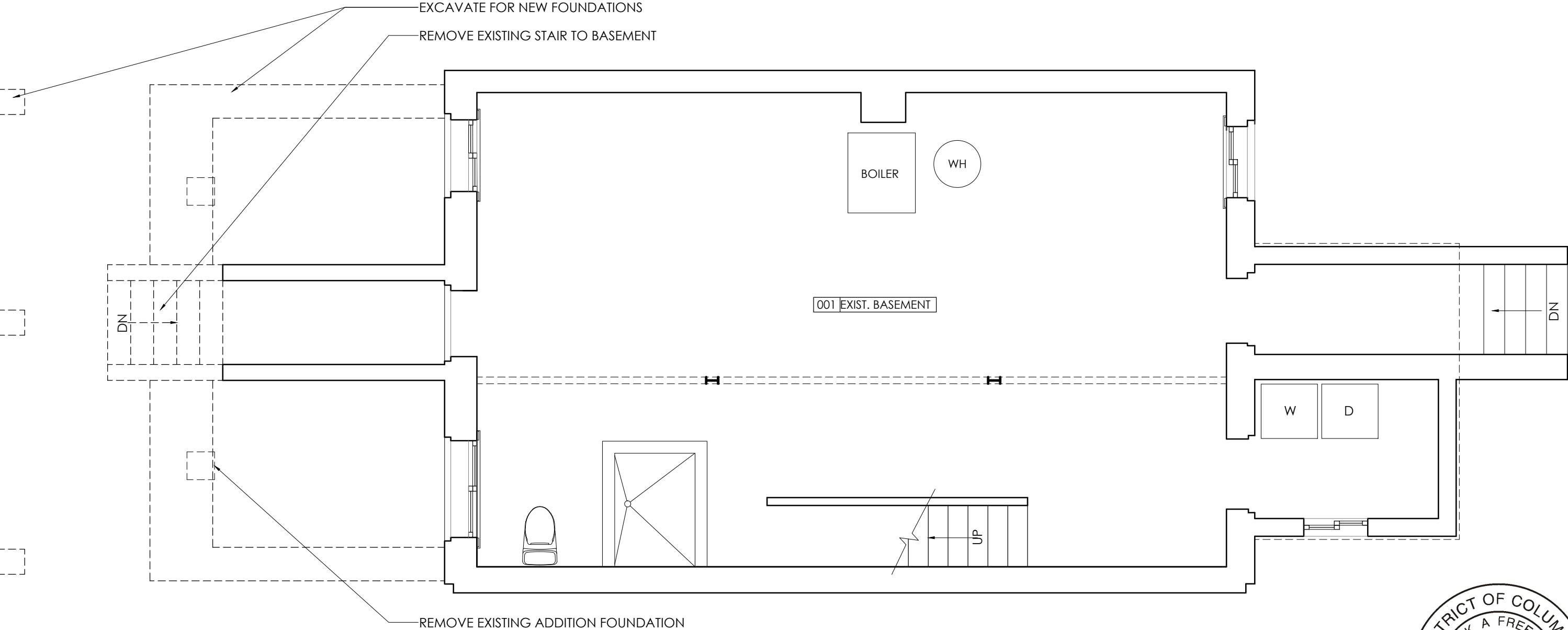


3 REAR ADDITION RENDERING - VIEW 3
NTS

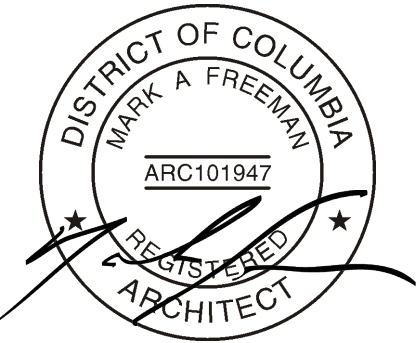


ALL DIMENSIONS TO BE FIELD VERIFIED

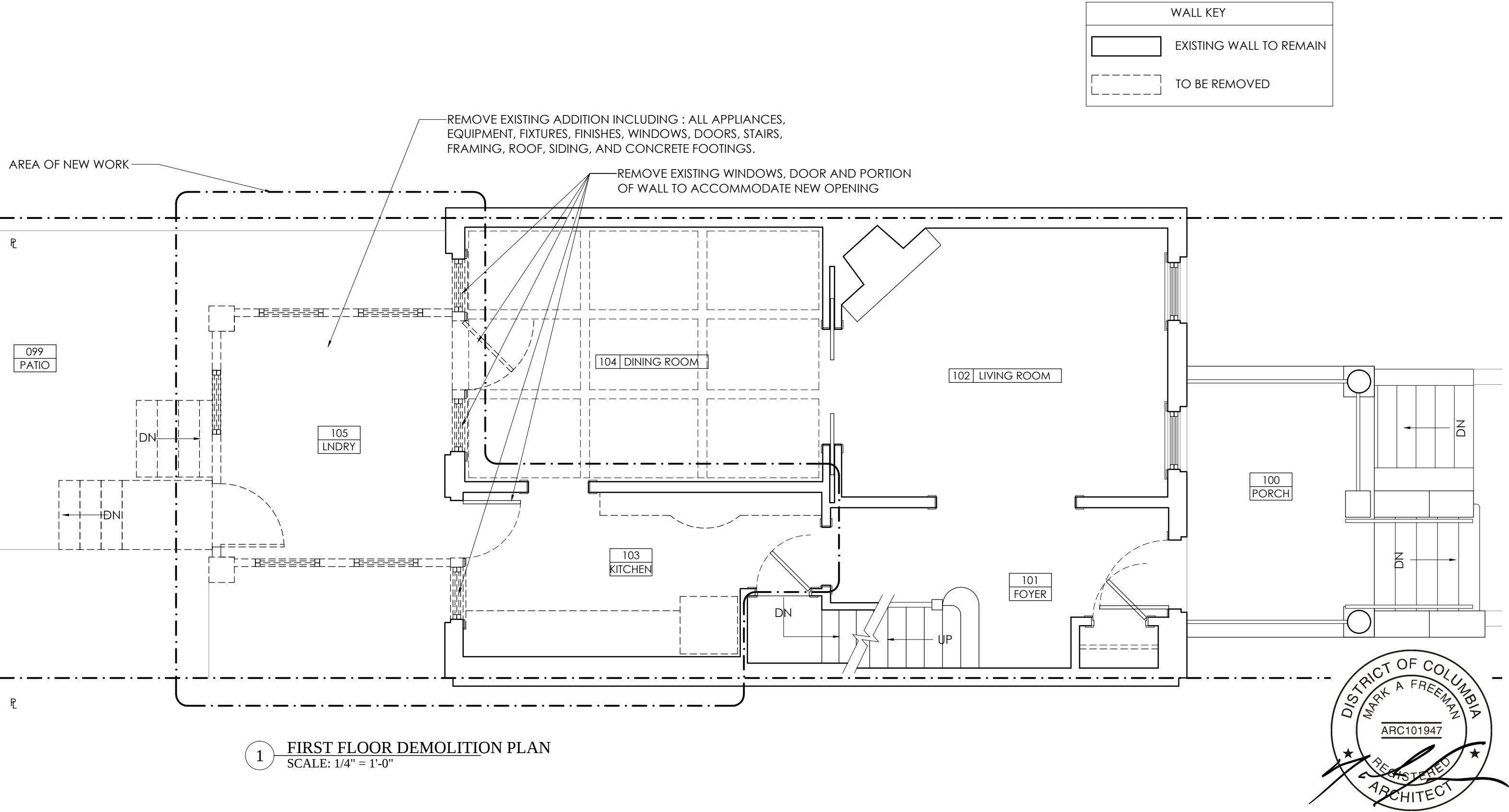
WALL KEY	
	EXISTING WALL TO REMAIN
	TO BE REMOVED



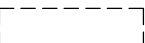
1 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

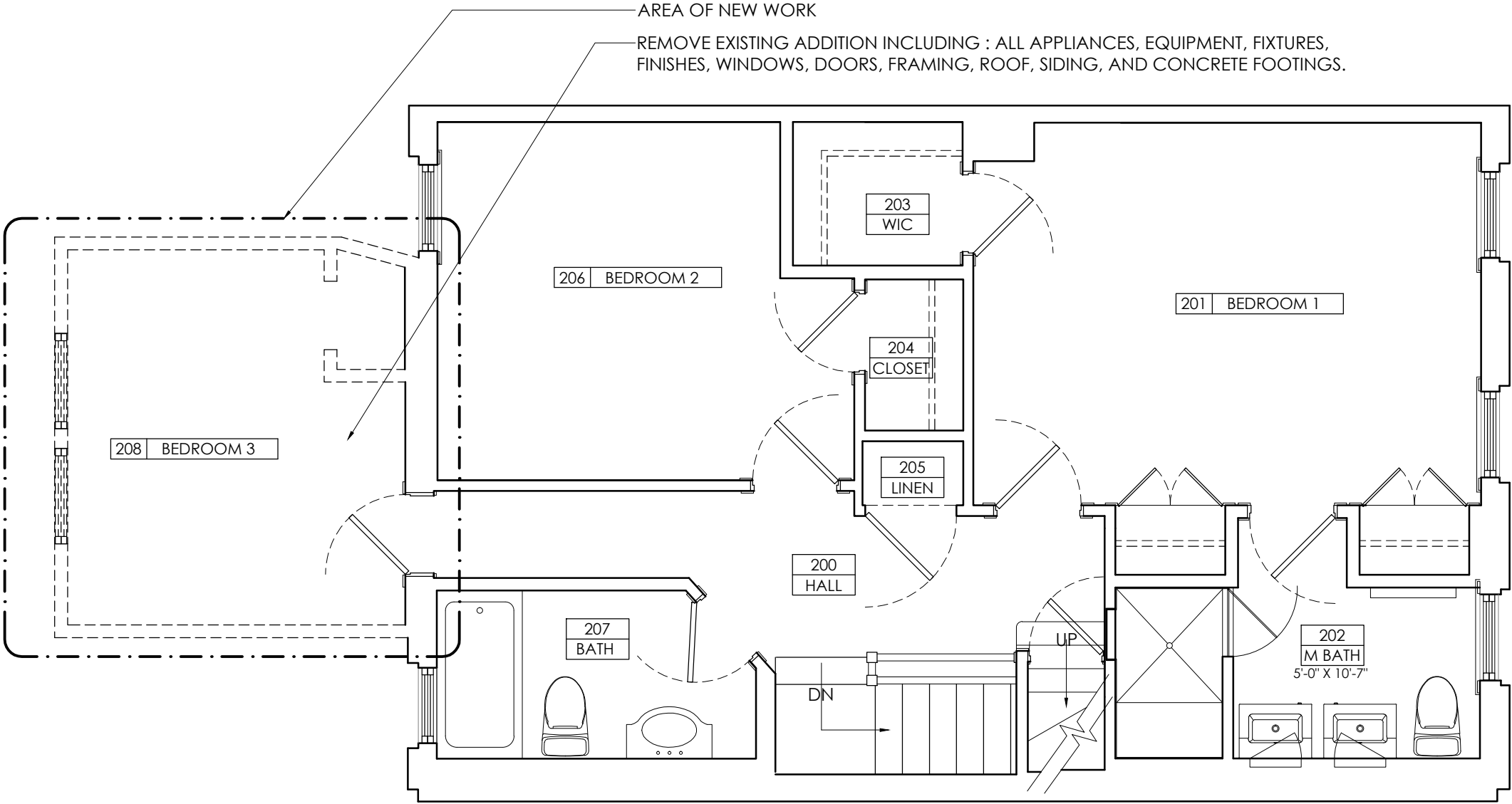


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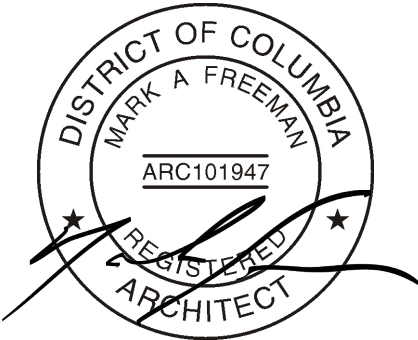


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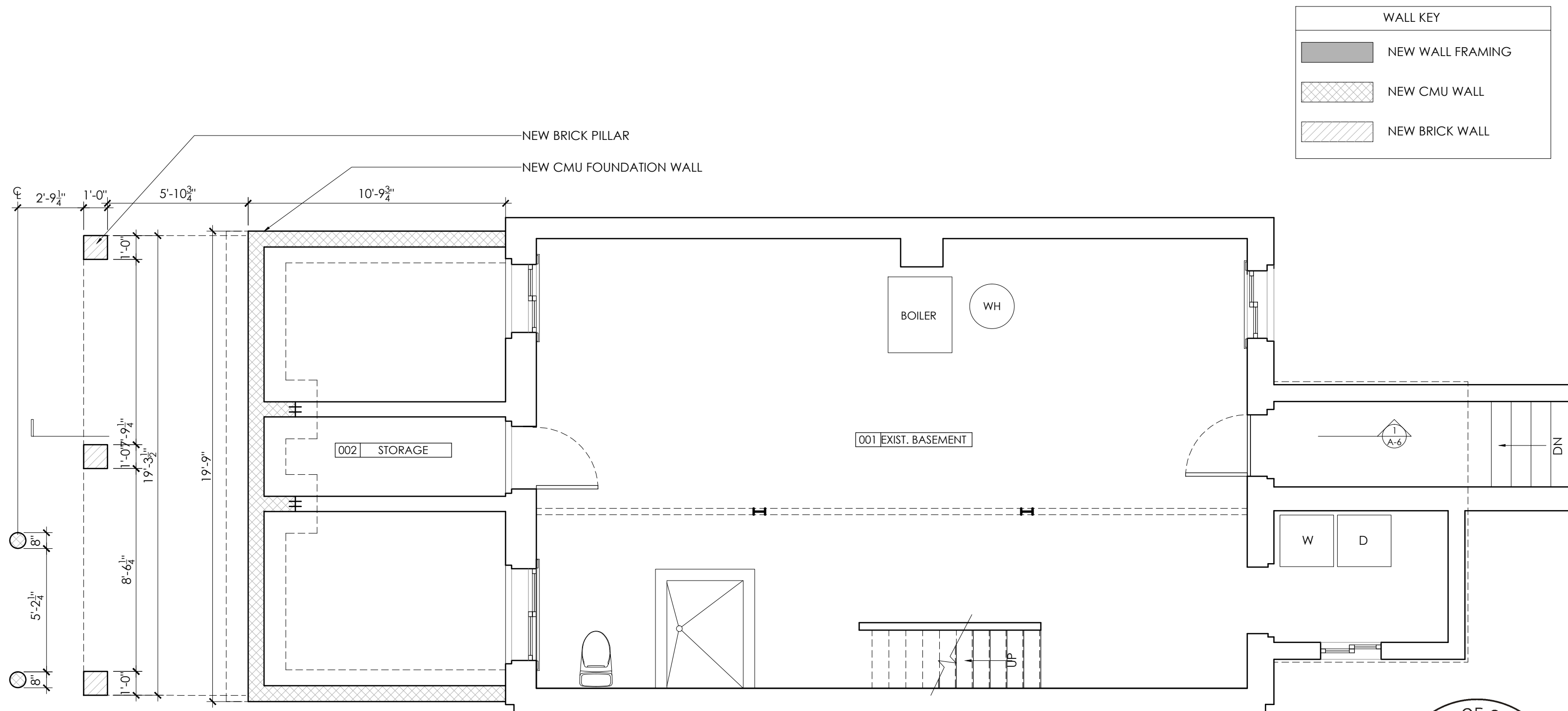
WALL KEY	
	EXISTING WALL TO REMAIN
	TO BE REMOVED



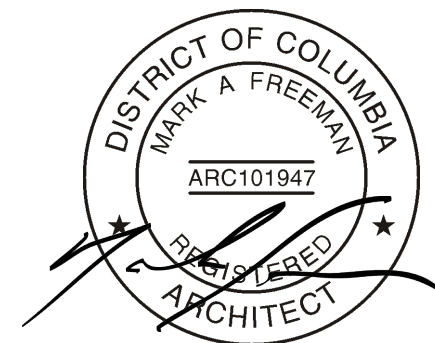
1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



ALL DIMENSIONS TO BE FIELD VERIFIED

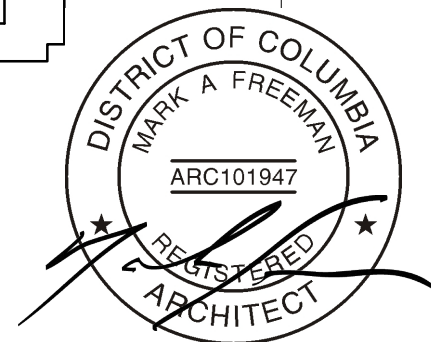
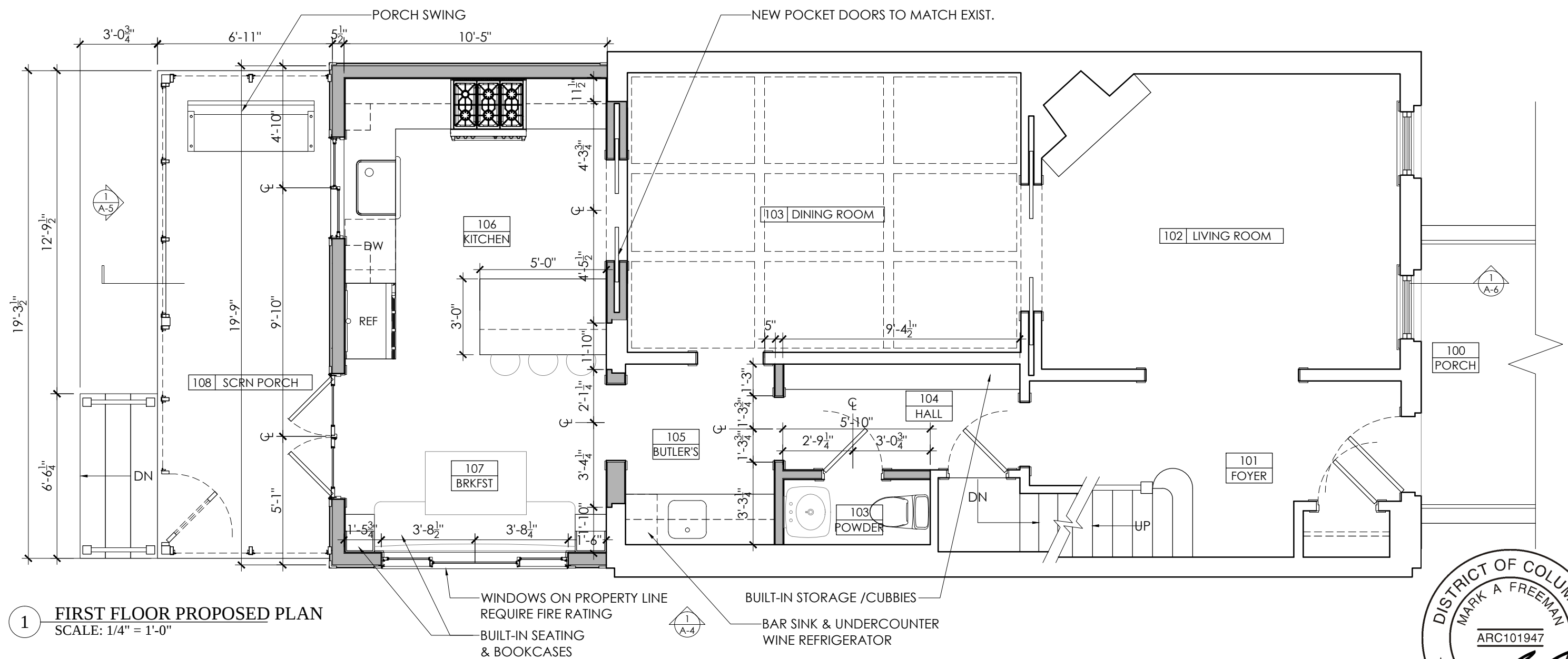


1 FOUNDATION/ BASEMENT PROPOSED PLAN
SCALE: 1/4" = 1'-0"



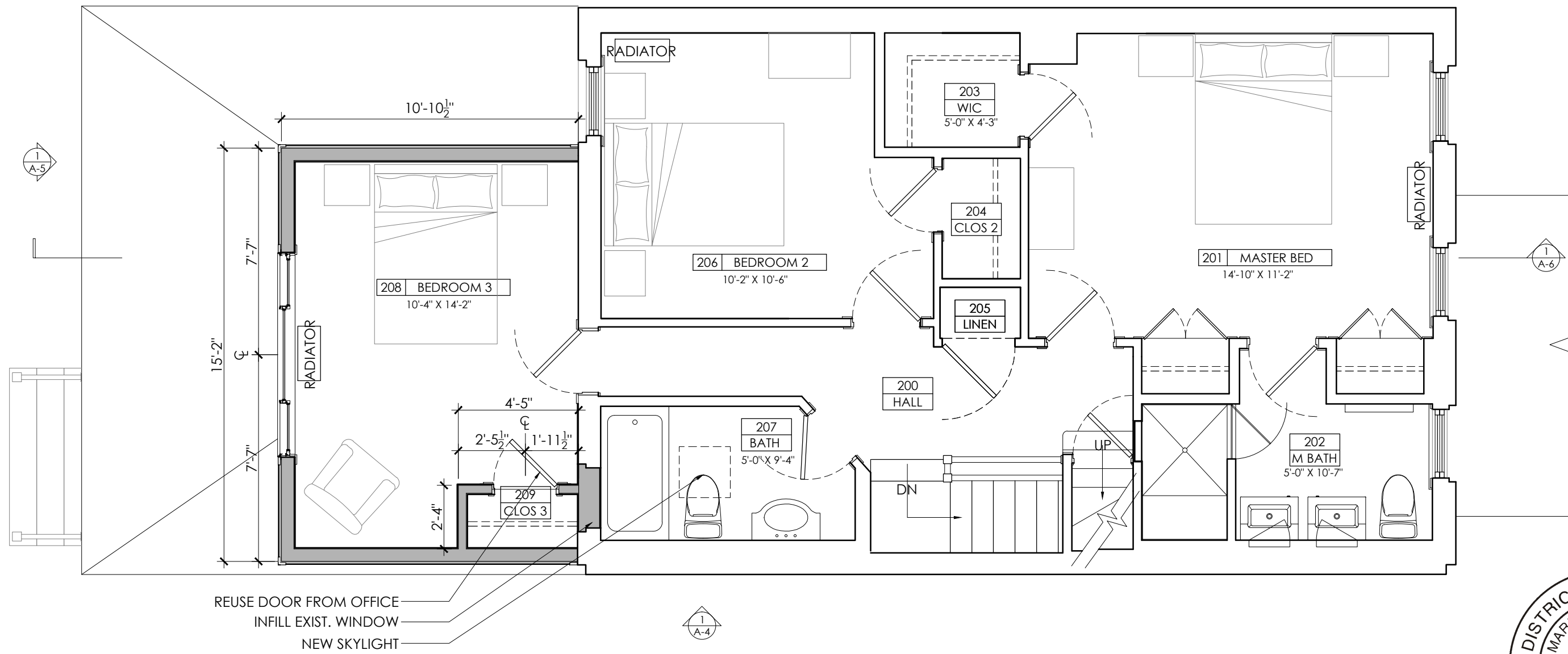
ALL DIMENSIONS TO BE FIELD VERIFIED

WALL KEY	
	NEW WALL FRAMING
	NEW CMU WALL
	NEW BRICK WALL

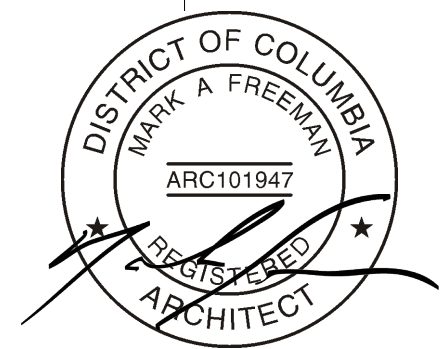


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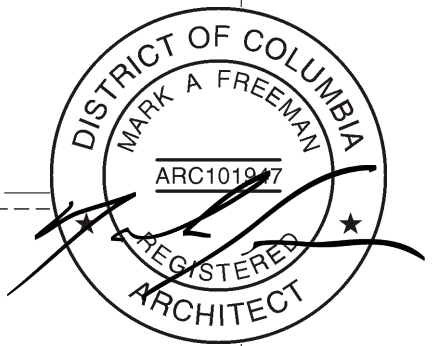
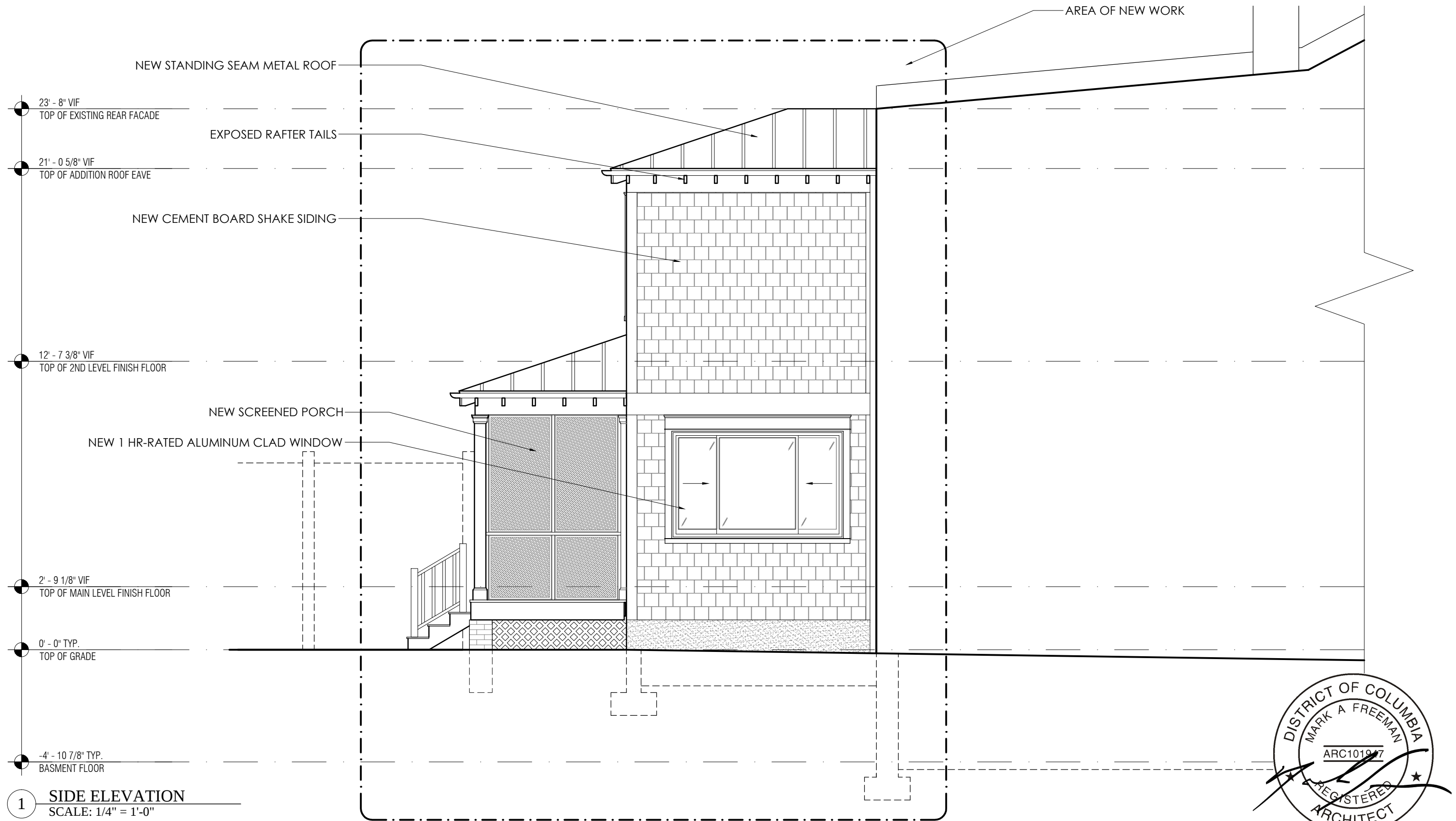
WALL KEY	
	NEW WALL FRAMING
	NEW CMU WALL
	NEW BRICK WALL



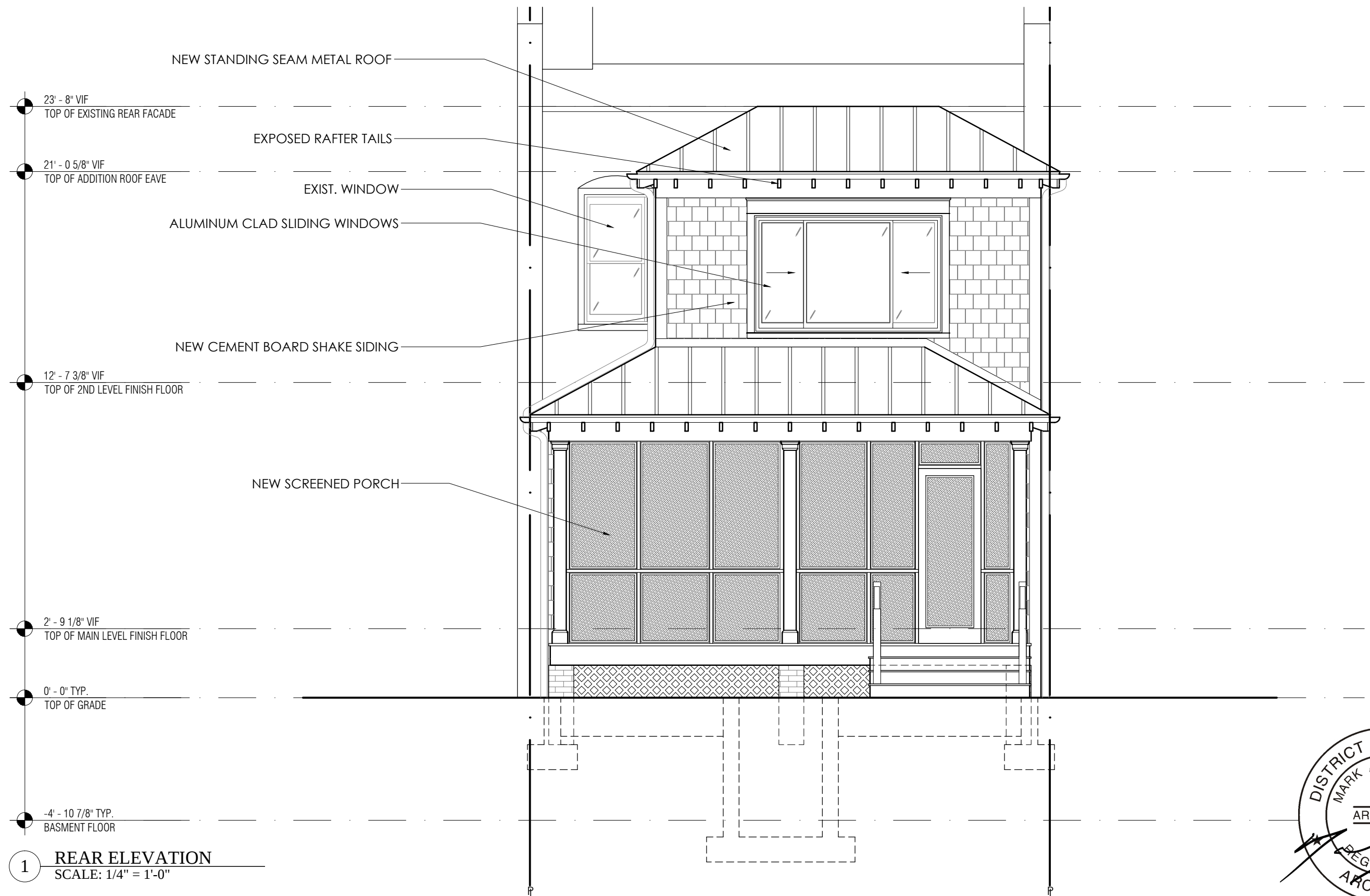
1 SECOND FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"



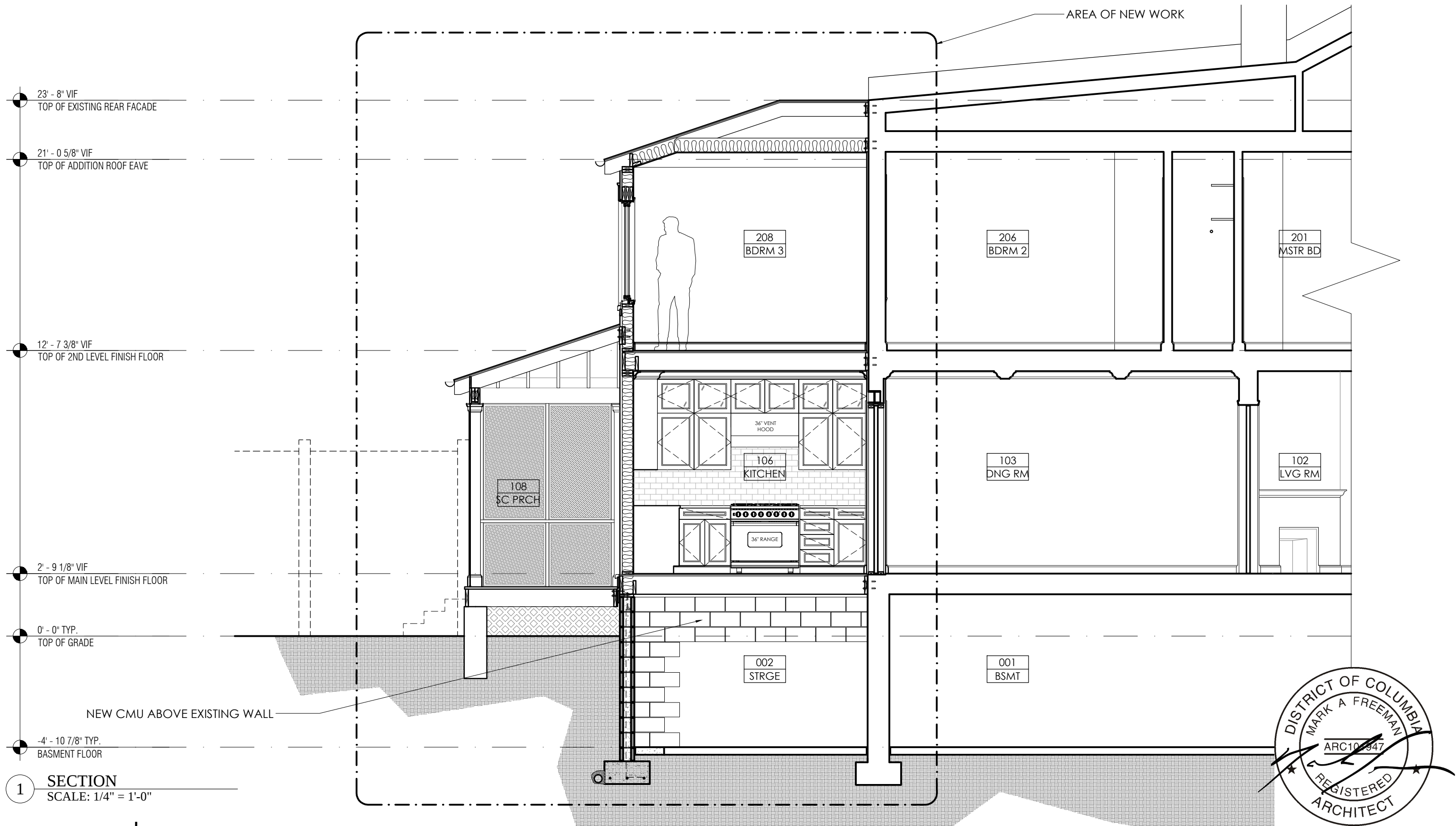
ALL DIMENSIONS TO BE FIELD VERIFIED



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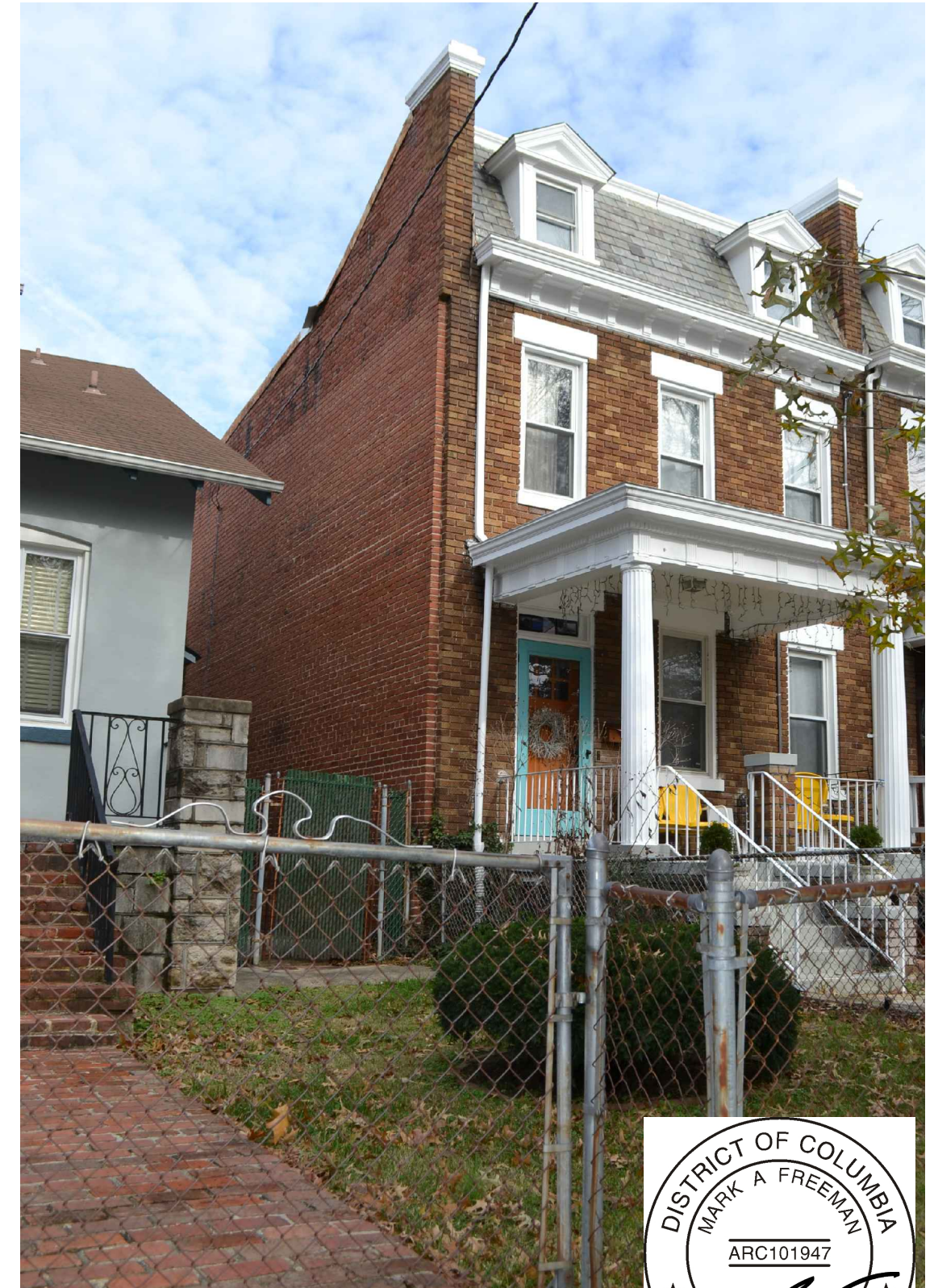
ALL DIMENSIONS TO BE FIELD VERIFIED



ALL DIMENSIONS TO BE FIELD VERIFIED



① EXISTING REAR ADDITION
NTS



② EXISTING FRONT ELEVATION
NTS

