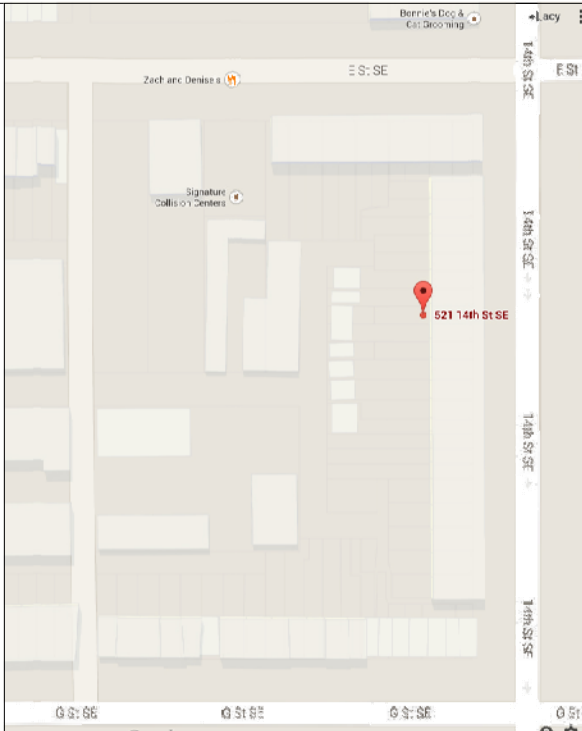
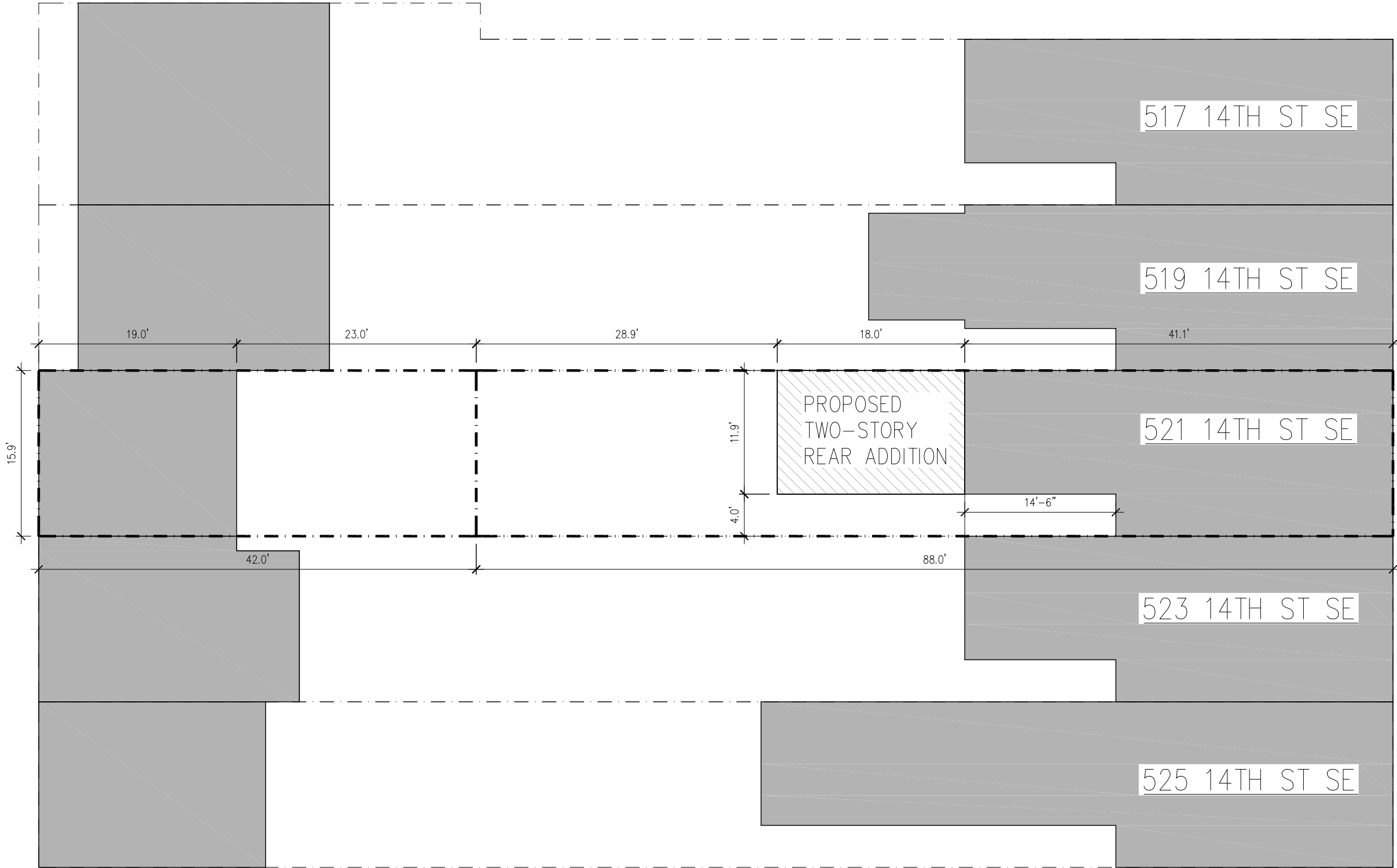


PROJECT DATA		GENERAL NOTES		Project			
SQUARE, LOT: 1043 0051 ZONE: R-4 LOT AREA: 1399SF TWO STORY PLUS CELLAR ROW DWELLING - SINGLE FAMILY EXISTING LOT COVERAGE: 653.9 SF = 46% PROPOSED LOT COVERAGE: 939.7SF = 67% EXISTING REAR YARD: 46.9' PROPOSED REAR YARD: 28.9' EXISTING HEIGHT: 22.8' PROPOSED HEIGHT: NO CHANGE EXISTING STORIES: UNCHANGED EXISTING HEIGHT: UNCHANGED PROJECT DESCRIPTION: UNDERPIN AND FINISH THE EXISTING BASEMENT AND ADD A TWO-STORY ADDITION. RENOVATE THE EXISTING INTERIOR.		 VICINITY MAP (NTS)		1. CONTRACTOR SHALL NOT SCALE DWGS. 2. ALL DIMENSIONS SHOWN ARE FROM FINISH FACE TO FINISH FACE U.N.O. OR SHOWN. 3. CONTRACTOR SHALL MAINTAIN A COMPLETE AND CURRENT SET OF WORKING DRAWINGS, CONSTRUCTION SKETCHES, AND SUB-CONTRACTOR SHOP DWGS. AT THE JOB SITE AT ALL TIMES. 4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, YET NECESSARY FOR PROPER CONSTRUCTION OF ANY PART FO THE WORK, SHALL BE INCLUDED IN THE WORK AND THE AGREED COST OF THE WORK AS IF THEY WERE INCLUDED IN THE DRAWINGS. 5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS AND PROVIDE SUITABLE WASTE CONTAINERS AT THE WORK SITE. ALL REFUSE SHALL BE IMMEDIATELY PLACED IN THESE CONTAINERS AND PROPERLY REMOVED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS AND APPLICABLE LAWS AND REGULATIONS. 6. THE CONTRACTOR SHALL SECURE ALL BUILDING MATERIALS AND FIXTURES DURING THE CONSTRUCTION PERIOD. 7. ALL PRECAUTIONS SHALL BE TAKEN TO MAINTAIN FIRE SAFETY AND SECURITY FROM UNAUTHORIZED PERSONS ENTERING THE BUILDING. 8. THE STRUCTUAL INTEGRITY OF THE BUILDING IS TO BE MAINTAINED AT ALL TIMES. 9. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE WASHINGTON DC BUILDING DEPARTMENT REQUIREMENTS AND ALL OTHER APPLICABLE LAWS AND LEGAL REQUIREMENTS. 10. THE CONTRACTOR IS TO FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK AS DESIGNATED BY DRAWINGS AND SPECIFICATIONS AND TO TURN OVER A COMPLETED PROJECT TO THE OWNER. 11. CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS AS REQUIRED BY STATE AND LOCAL LAWS PRIOR TO THE START OF WORK. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY BRACING AND PROTECTING ALL WORK AGAINST DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL WORK OF SUB-CONTRACTORS AND TRADES INVOLVED WITH THE JOB TO ENSURE SMOOTH AND CONTINUOUS ACCOMPLISHMENT OF THE WORK. 13. CONTRACTOR IS TO PROVIDE OWNER WITH ALL WARRANTIES, AND THE MANUALS FOR THE MAINTENANCE OF INSTALLED EQUIPMENT. 14. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP IN THE CONSTRUCTION FOR A PERIOD OF 2 YEARS FOLLOWING ITS SUBSTANTIAL COMPLETION AND SHALL REMEDY ANY DEFECTS IN SUCH WORK WHICH OCCURS DURING THAT PERIOD AT NO COST TO THE OWNER. 15. ALL WORK SHALL BE INSPECTED AND MUST BE APPROVED BY THE OWNER AND ARCHITECT BEFORE PAYMENT WILL BE AUTHORIZED.		Addition/ Renovation of the Anderson-White Residence 521 14th St. SE Washington, DC 20003 Architect Lacy Brittingham 1134 C St. NE Washington, DC 20002 T: 202.422.7372	
LIST OF DRAWINGS				ISSUES / REVISIONS			
A1PROJECT INFORMATION AND GENERAL NOTES A2SITE PLAN A3REMOVALS BASEMENT AND FIRST FLOOR A4REMOVALS SECOND FLOOR A5PROPOSED BASEMENT PLAN A6PROPOSED FIRST FLOOR PLAN A7PROPOSED SECOND FLOOR PLAN AND ROOF PLAN A8EXTERIOR ELEVATIONS				18 OCT 14 BZA			
				Seal			
				Drawing Title			
				PROJ. INFO AND GENERAL NOTES			
		Date		October 18, 2014			
		Scale		AS NOTED			
				Board of Zoning Adjustment District of Columbia CASE NO.18909 EXHIBIT NO.3 A1			

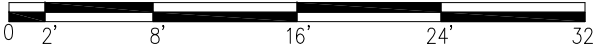
PUBLIC ALLEY



1

Site Plan

Scale: 3/32" = 1'-0"



Project

Addition/
Renovation
of the
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Residence

521 14th St. SE
Washington, DC 20003

Architect

Lacy Brittingham

1134 C St. NE
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ISSUES / REVISIONS

18 OCT 14 BZA

Seal

Drawing Title

SITE PLAN

Date October 18, 2014

Scale AS NOTED

A2

Project

**Addition/
Renovation
of the
Anderson-White
Residence**

521 14th St. SE
Washington, DC 20003

Architect

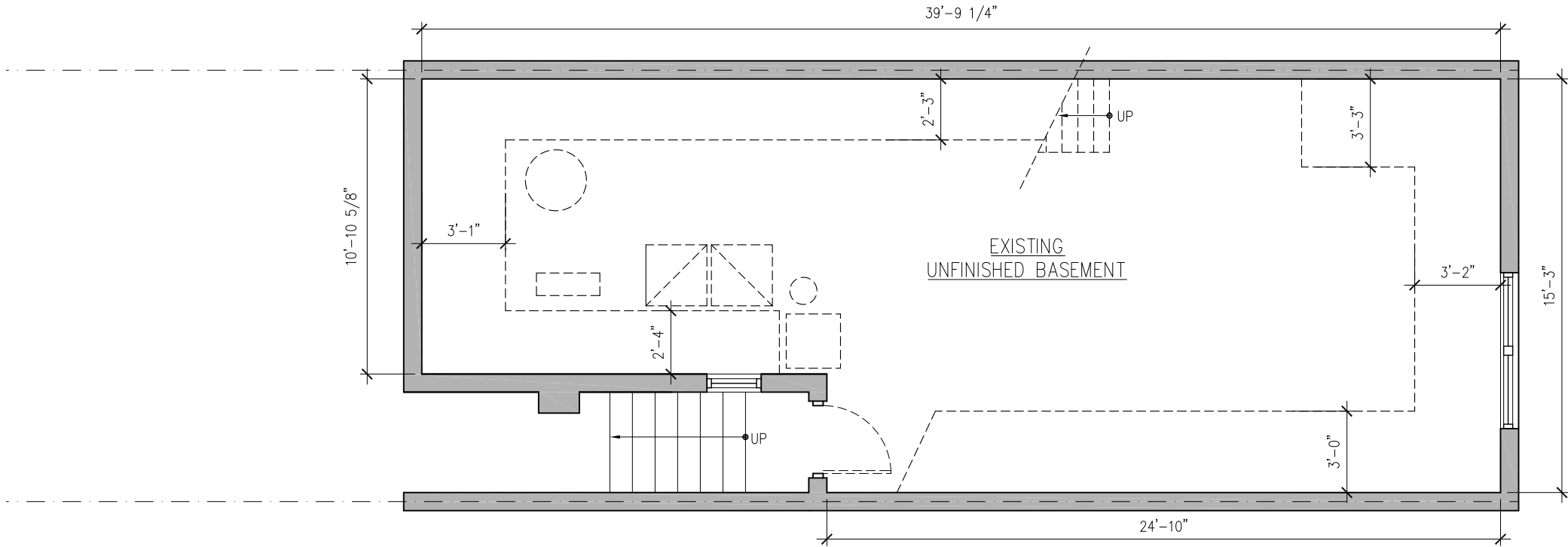
Lacy Brittingham
1134 C St. NE
Washington, DC 20002
T: 202.422.7372

ISSUES / REVISIONS	
18 OCT 14	BZA

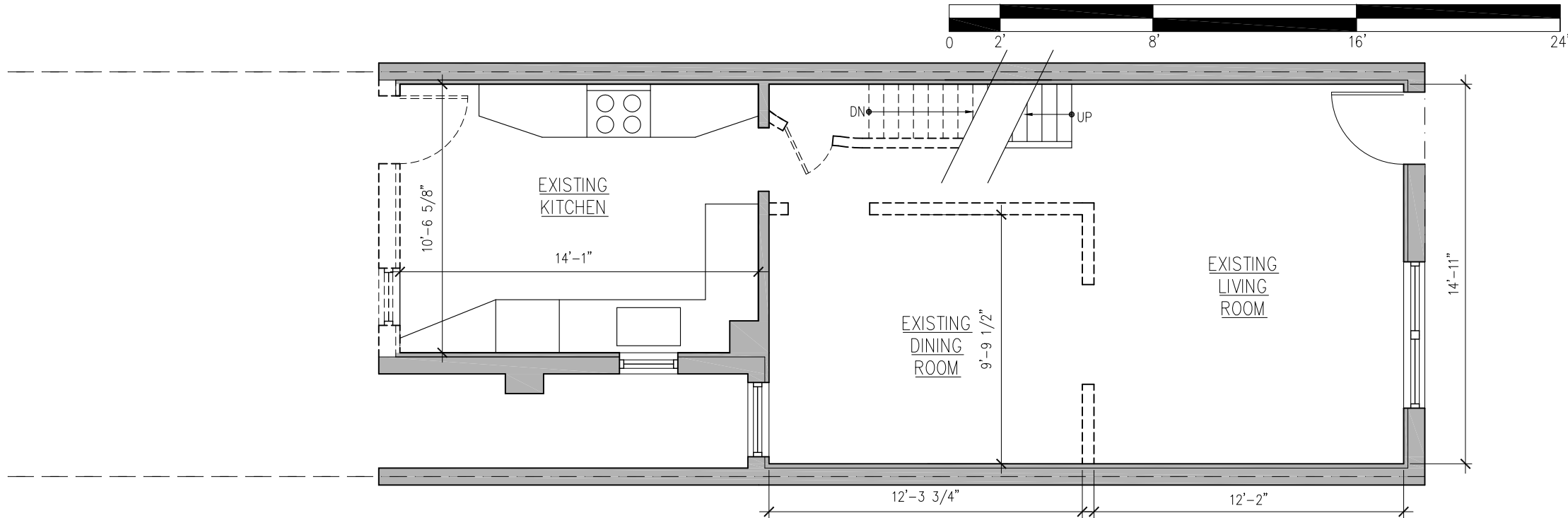
Seal

Drawing Title	
REMOVALS BASEMENT AND FIRST FLOOR	
Date	October 18, 2014
Scale	AS NOTED

A3

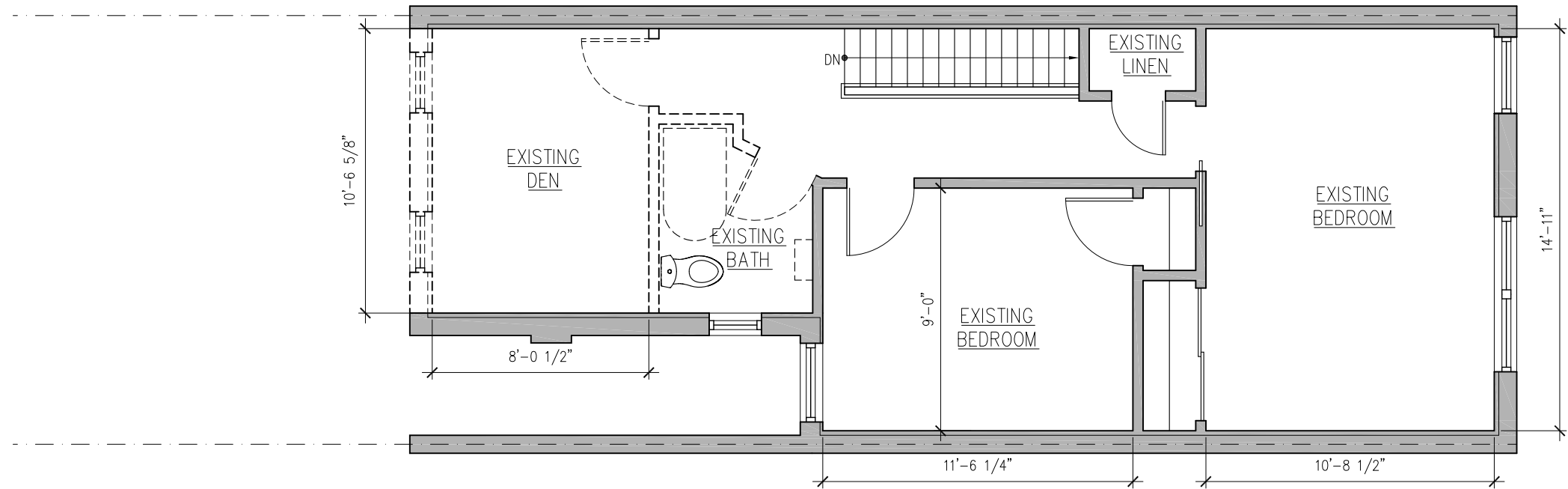


1 Removals Basement Plan
Scale: 3/16" = 1'-0"



2 Removals First Floor Plan
Scale: 3/16" = 1'-0"

NOTE: - SOLID FILL INDICATES WALLS TO REMAIN, TYP.
- DASHED LINES INDICATE ELEMENTS TO BE
REMOVED, TYP.

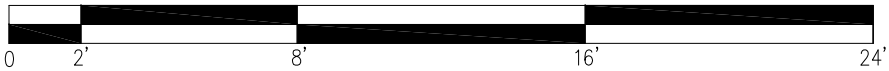


1

Removals Second Floor Plan

Scale: 3/16" = 1'-0"

NOTE: - SOLID FILL INDICATES WALLS TO REMAIN, TYP.
-DASHED LINES INDICATE ELEMENTS TO BE REMOVED, TYP.



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ISSUES / REVISIONS

18 OCT 14	BZA
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Seal

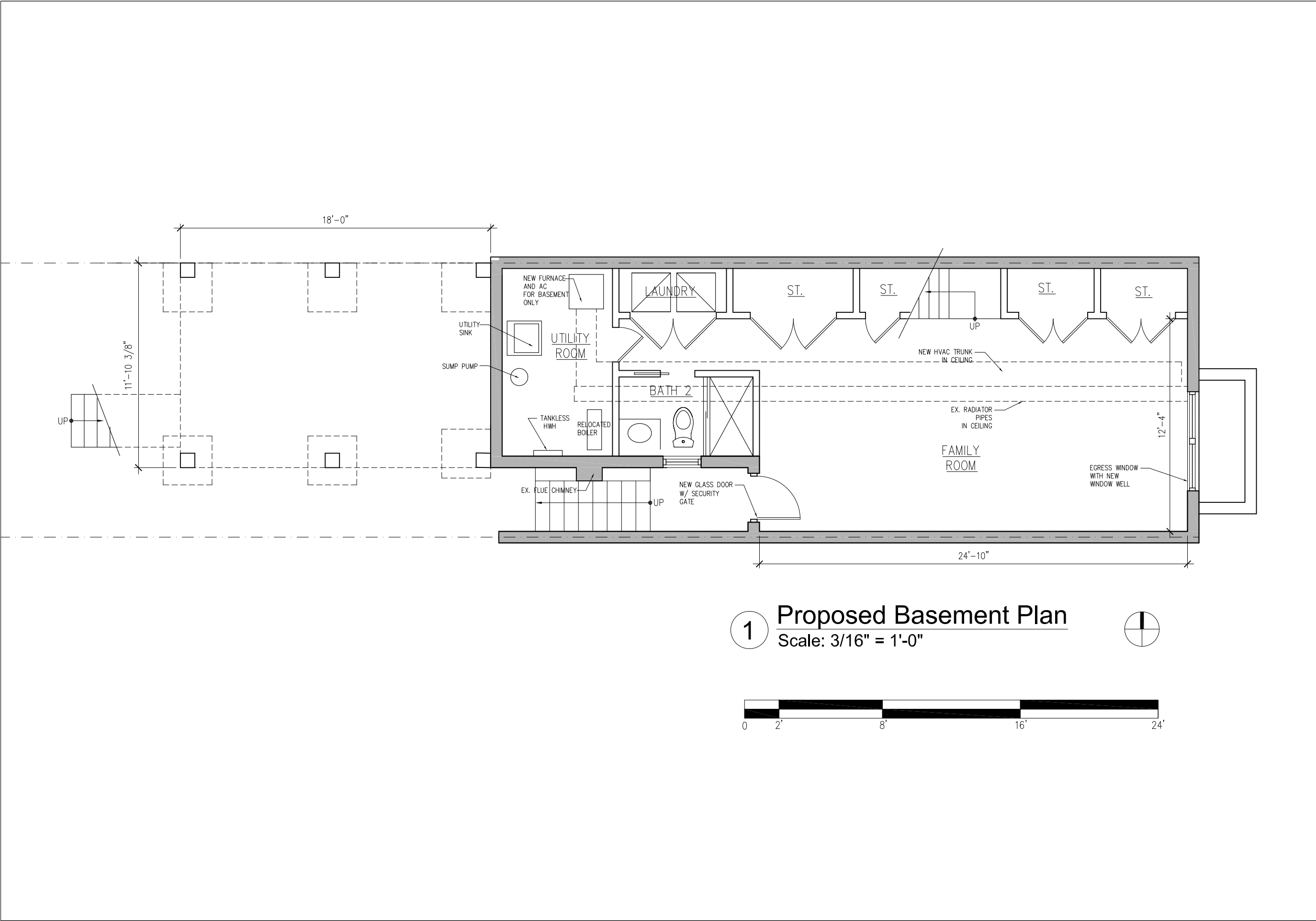
Drawing Title

REMOVALS
SECOND
FLOOR

Date	October 18, 2014
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Scale	AS NOTED
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A4



Project

**Addition/
Renovation
of the
Anderson-White
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521 14th St. SE
Washington, DC 20003

Architect

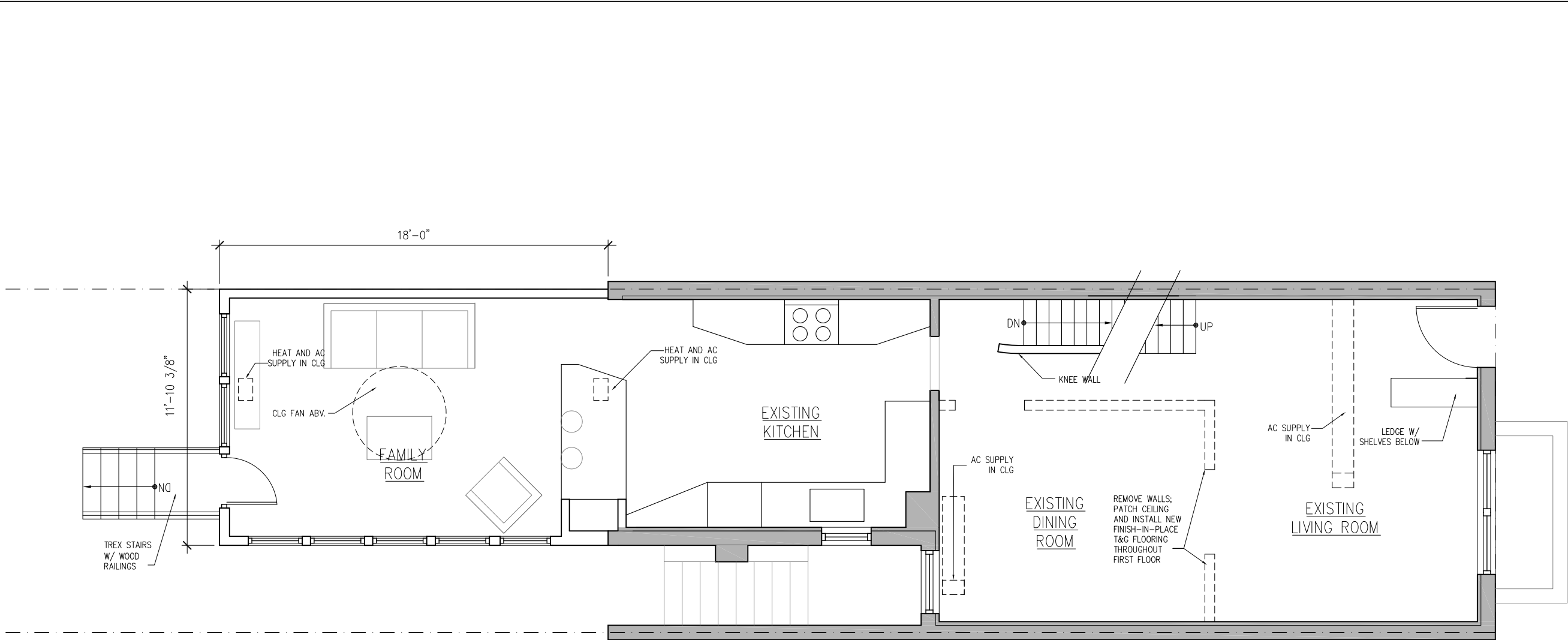
Lacy Brittingham
1134 C St. NE
Washington, DC 20002
T: 202.422.7372

ISSUES / REVISIONS	
18 OCT 14	BZA

Seal

Drawing Title	
PROPOSED BASEMENT PLAN	
Date	October 18, 2014
Scale	AS NOTED

A5



1 Proposed First Floor Plan
Scale: 3/16" = 1'-0"



Project
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ISSUES / REVISIONS

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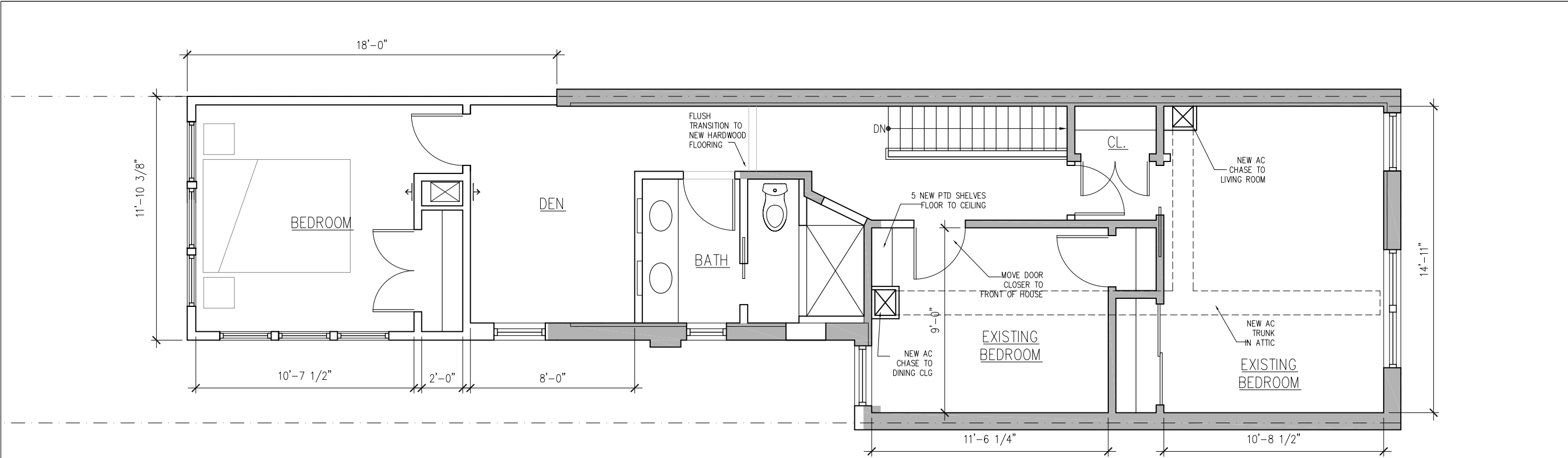
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Drawing Title

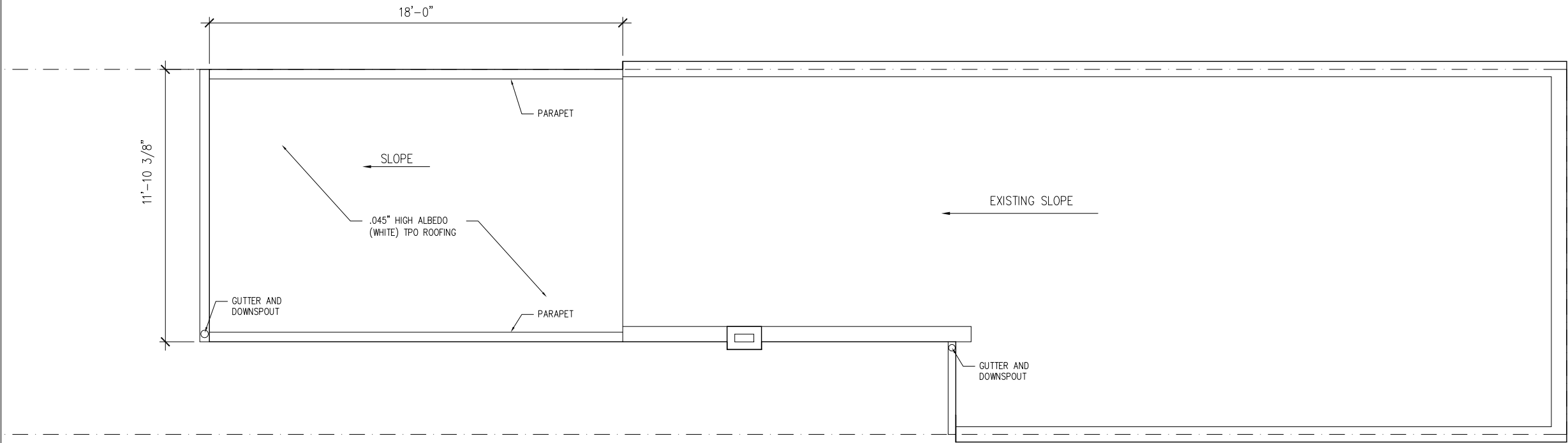
**PROPOSED
FIRST FLOOR
PLAN**

Date	October 18, 2014
Scale	AS NOTED

A6



1 **Proposed Second Floor Plan**
Scale: 3/16" = 1'-0"



2 **Proposed Roof Floor Plan**
Scale: 3/16" = 1'-0"

Project

**Addition/
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ISSUES / REVISIONS	
18 OCT 14	BZA

Seal

Drawing Title

**PROPOSED
SECOND FLOOR
AND ROOF
PLANS**

Date	October 18, 2014
Scale	AS NOTED

A7



1 North / Side Elevation
Scale: 3/16" = 1'-0"

2 West / Rear Elevation
Scale: 3/16" = 1'-0"

3 South / Side Elevation
Scale: 3/16" = 1'-0"

Project
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ISSUES / REVISIONS

18 OCT 14	BZA

Seal

Drawing Title

**EXTERIOR
ELEVATIONS**

Date	October 18, 2014
Scale	AS NOTED

A3