

RESIDENCE
Of
Dana and Walt Lukken
Enclosed Porch Addition

GENERAL DESCRIPTION OF PROPOSED WORK:

Construct covered porch over existing wood deck framing
Retain existing deck footings, piers, and floor framing
Remove and replace existing stairs to terrace/patio
Construct wall framing and shed roof with three sky lights
Replace existing deck floor with membrane over 1/2-inch plywood
Install tongue and groove flooring – to be painted, per owner's option
Install screens and glass windows and door in new openings
Provide bead board ceiling and two ceiling fans; recessed lighting
Provide four new 12-inch diameter footings and 4x4 PT posts to support new stair landing
Dry storage under porch: Install 4-inch concrete slab over 4-inch washed gravel to create
pad under porch deck; enclose with plywood and siding – unfinished interior with approximately 5-
ft headroom; one interior light fixture

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PERMANENT FILE

LUKKEN – Dana and Walt
660 Massachusetts Avenue, NE
Washington, DC 20002
Lot 0090; Square 0865
202-329-1007 Dana; 202-251-9562 Walt
danalukken@verizon.net

RESIDENTIAL CONCEPTS, INC.

4405 Walsh Street Chevy Chase MD 20815
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650 Massachusetts Avenue, NE Washington, DC 20002
Three-Story Brick Row House with Basement

ZONING:

Lot 90; Square 0865

Zone R-4; Use Group R-3

Sprinkler, and Hard-wired/Interconnected smoke detectors

No change in:

	Existing	Allowable
Lot coverage		
Rear	42'10"	minimum 20'0"
Front	0'0"	minimum 0
Side	N/A	attached row house
Height	38'0"	maximum 3 stories 40'0"
Stories	3+ B	3+B
FAR	N/A	
No change in square footage on any level		

APPLICABLE BUILDING CODES:

IRC 2012

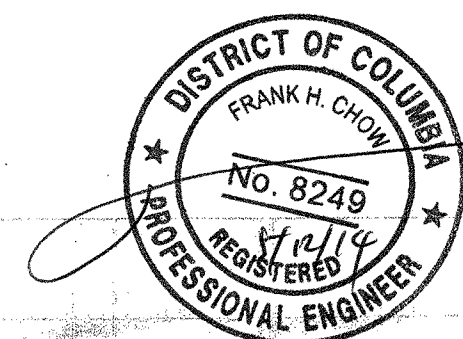
IBC2012

2013DCC (DC Construction Code)

ISCC 2012

FIRE RATING:

Exterior Load Walls	1 hour
Exterior Load Bearing Party Walls	2 hour (12" thick masonry) ENCL 14
Floor Framing	not rated : 2x10 wood joists @ 16" o.c.
Roof Framing	1 hour w/in 4'0" of property line/ 2w/ rafters



All construction shall be in accordance
w/International Residential Code 2012
(IRC 2012) and all other applicable and
prevailing national and/or local building
codes, per the jurisdiction of this site.

DATE: 4/25/2014
PLAN: 7-25-14
FLOOR: 1st or 1b
SCALE: 1/4" = 1'0"
Drawings to illustrate design intent only.

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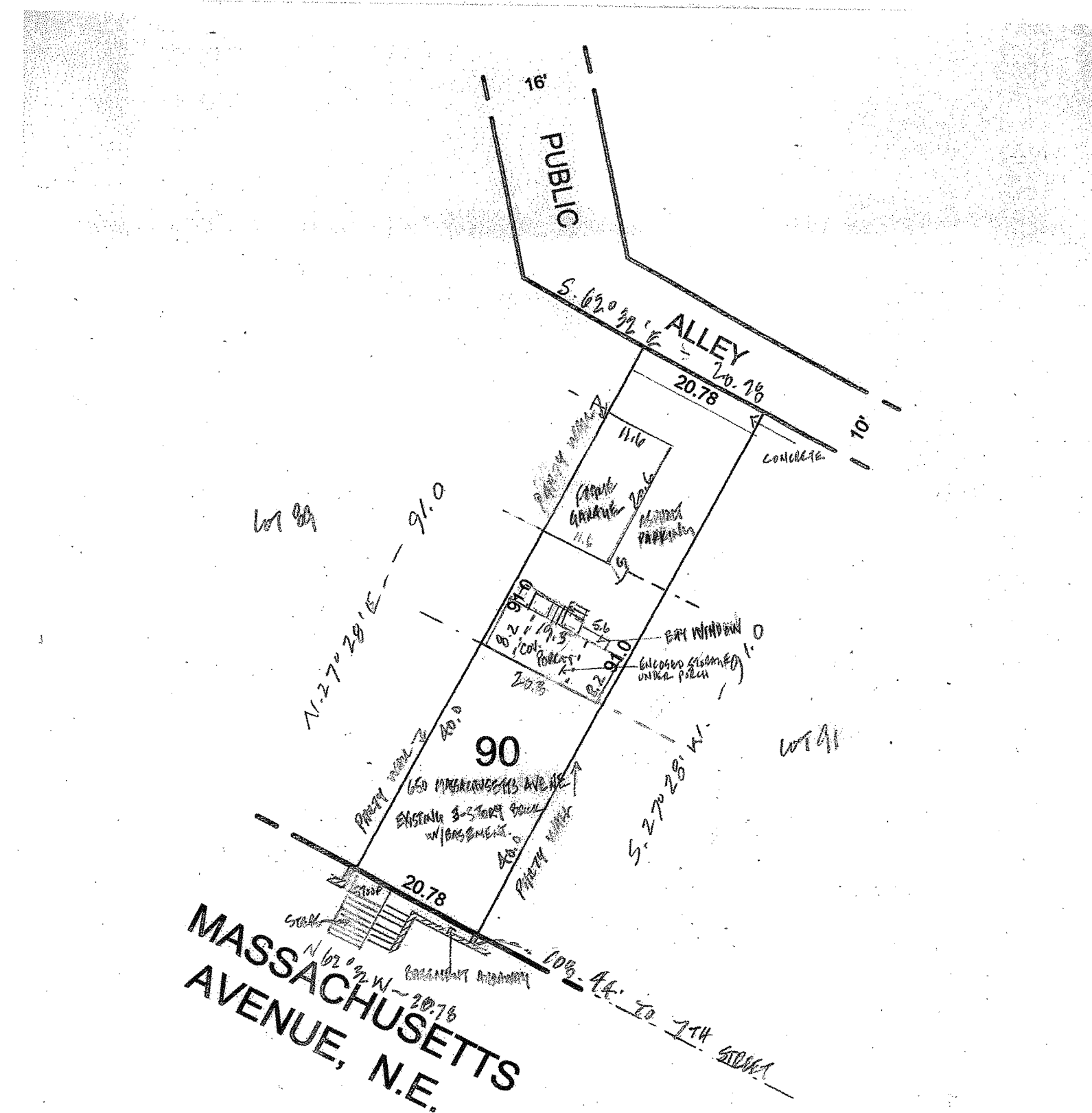
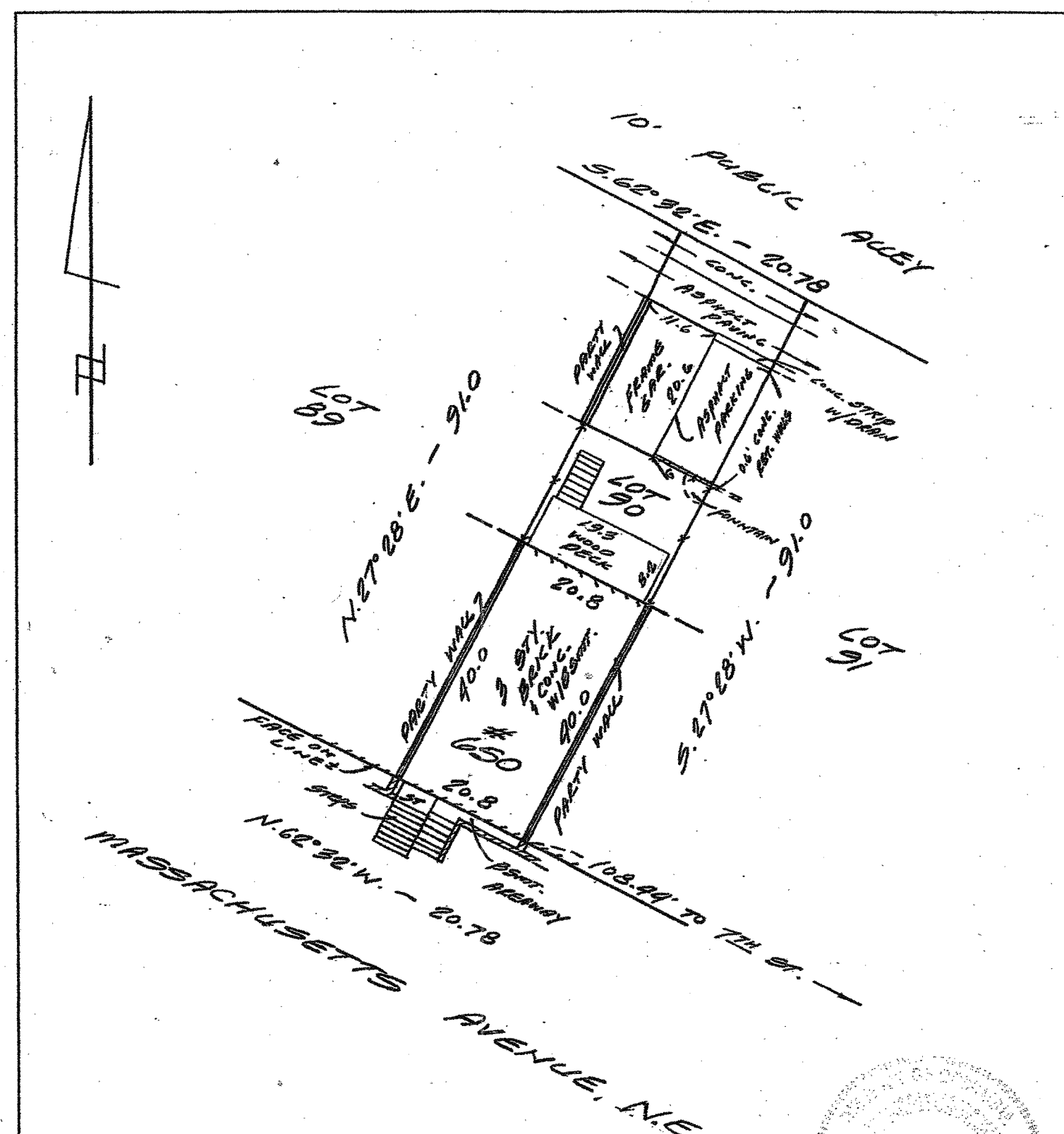
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EXISTING SITE PLAN

PROPOSED SITE PLAN
 SCALE 1" = 20' 0"



10762 Rhode Island Avenue
 Beltsville, MD 20705

Capitol Surveys, Inc.

Phone 301-931-1350
 Fax 301-931-1352

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction or design purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed. This survey prepared for title purposes only.

© As of current date.

DATE: MARCH 20, 2011

Recorded in Liber - 195

Folio - 103

Scale 1" = 20'

CASE: 111059

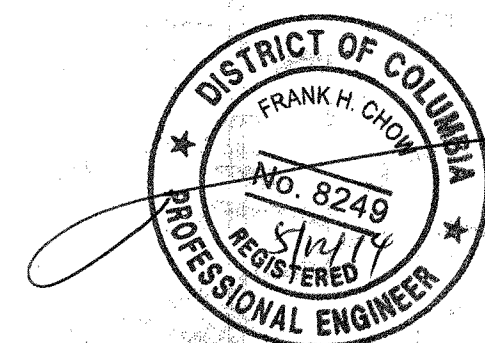
FILE: 93909

HOUSE LOCATION
 LOT - 90 SQUARE - 865

DISTRICT OF COLUMBIA

I hereby certify that the position of all the existing visible improvements on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.

EDWARD L. LOPEZ, JR.
 D.C. Licensed Land Surveyor
 No. L590023



All construction shall be in accordance w/International Residential Code 2012 (IRC 2012) and all other applicable and prevailing national and/or local building codes, per the jurisdiction of this site.

DATE: 4/25/2014
 PLAN: SITE
 FLOOR: 2 OF 16
 SCALE: 1/4" = 1' 0"
 Drawings to illustrate design intent only.

E-001

Residential Construction Notes

(Contractor to adhere to IRC 2012 and any other applicable national/local building codes for construction, as well as any manufacturer's installation specifications for pre-fabricated/pre-engineered lumber or materials including fireboxes, appliances, fixtures, etc). Additional construction notes may apply according to local jurisdiction requirements.

1. LIVE LOADS

• Floor	40 psf
• Deck	40psf
• Roof	30 psf
• Attics (limited storage)	20 psi
• Dwelling unit floor	40 psi
• Sleeping rooms	30 psi
• Balconies (exterior)	60 psi
• Garage	50 psi
• Decks	40 psi
• Stairs	40 psi

- Soil bearing shall be in conformance with IRC 2012.
- FOUNDATION – Bottoms of all footings shall be at least 2'6" below finished grade. Wall footing shall be min. 8" deep and project min. 4" beyond each face of wall. Footings shall be reinforced with 3 #5 steel bars.
- REINFORCING STEEL – All reinforcing steel shall conform to ASTM-A615, Grade 60.
- SLABS ON GRADE – shall be 4" thick, reinforced with 6x6, W1.4xW1.4 (6x6-10/10) WWM. Lap mesh 6" in each direction. Provide control joints in slabs on grade at 15'0" o.c. max. Interior slabs shall be laid on a layer of 6 mil polyethylene over 4" washed gravel.
- All untreated lumber shall be min 8" above finished grade. All wood in contact with soil or masonry foundation to be pressure-treated – ACQ treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet ASTM Standard A153 and A653, class 18S.
- Sill plates on top of foundation walls shall be secured with minimum ½ " anchor bolts or approved straps @ 6'0" o.c. max, 7" into concrete and 15" into grout filled masonry, maximum 12" from each corner
- Foundation walls shall extend minimum 6" above finished grade adjacent to the foundation walls at all points
- All framing lumber to SPF #2 unless otherwise indicated
- All deck framing lumber to PTSPF #2 unless otherwise indicated.
- Radon venting to be installed as per IRC 2009
- Lot drainage to comply with local and national codes
- Masonry chimneys located within the exterior walls shall have min. air space clearance to combustibles of 2". The air space shall not be filled, except to provide fire stopping.
- Bathrooms without windows shall be vented to outside of building
- Habitable rooms, except kitchens, shall have ceilings no less than 7'6" for at least 50% of the area. Not more than 50% of the room may have a sloped ceiling less than 7'6" in height with not portion of the room less than 5 feet in height.
- Glass doors, tub and shower enclosures, skylights, and side glass panels shall have safety glass.
- Sleeping rooms shall have at least one egress window. Windows shall have a max sill height of 44" above the finished floor. Egress windows shall have a minimum 5 sq ft open area. Minimum clear width of 20" and minimum height of 22"
- Stairways shall have a min 6'8" clear head room. Minimum tread shall be 10", max riser 7 ¾", min width 36"
- Open sides of stairs. Porches, balconies, raised floor surfaces and retaining walls shall have guardrail not less than 36" high. Spacing between pickets less than 4". Guardrail on open side of stairs not less than 34" height. Guardrail on retaining wall min 36" height with pickets less than 4" apart. Bottom rail of stair railing shall be constructed to prevent 3" diameter ball from passing between rail and stair tread. Handrails shall have minimum height of 30", max height of 38" measured from the nosing of the treads.
- Interconnected smoke detectors on each level and in each bedroom. Detectors shall be hardwired with battery back up

Other design criteria:

- Roof and floor dead load 10 psi
- Basic wind speed = 90 mph , 3 second gusts; Seismic Category =B
- Termite damage subjectivity – heavy
- Winter design temperature – 18 degrees F
- Subjectivity to damage from weather – heavy
- Subjectivity to decay – moderate
- Frost line depth – 30"
- Flood hazard – yes

Concrete: 3000 psi compression strength in 28 days

Subfloors: ¾" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists

Roof sheathing: ½" OSB with spacers

Roofing: min. 215 lb per square asphalt shingles (or other equal) over 15 lb felt

Wall Bracing method will be Continuously sheathed method of section R602.10.5 of IRC2012: requires braced panels located on both sides of each corner of the structure w/min 2'0" uninterrupted braced wall (no window or door penetrations).

International Energy Conservation Code 2012

DISTRICT OF COLUMBIA

Note: Montgomery County and Prince George's County are in IECC 2012 Climate Zone 4

Insulation Requirements:

Ceiling R-Value:	49
Wood Frame Wall R-Value:	20 or 13+5
Mass Wall R-Value:	8/13
Floor R-Value:	19
Basement Wall R-Value:	10/13
Slab R-Value, Depth	10, 2 ft
Crawl Space Wall R-Value:	10/13

Walls shall be framed with 2x6 @ 16" o.c. to accommodate adequate thickness of batt insulation

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CLAIRE McLANE

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Designers Notes:

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2. Drawings are provided to illustrate design intent only. The designer is not responsible for any errors or omissions, or unforeseen conditions. Do not rely on these drawings for any other than design intent unless stamped, signed, and certified by a licensed Professional Engineer in this jurisdiction.
3. Neither Residential Concepts nor the designer accepts responsibility or liability for work performed by others including any construction, whether executed by a licensed contractor.
4. Modification to the proposed design shall be after consultation with the designer only.
5. Any revision to these plans by an unauthorized party is strictly prohibited.
6. The contractor will be responsible for meeting all applicable National and local building code requirements including IRC and/or BOCA, whether illustrated in these drawings or not.
7. These drawings were prepared for the property located at the site indicated, according to its specific conditions at the time of preparations of the documents. They may not be used or modified for use for any other property. To do so is a copyright infringement and could be a safety hazard.
8. Drawings may not convey with the property without consent of Residential Concepts.
9. This set of drawings includes pages_____

Additional Notes:

1. The contractor shall obtain permits for construction and inspection of work, unless otherwise arranged by owner.
2. The general contractor shall be responsible for checking and verifying all conditions and measurements before starting work and during construction.
3. The contractor shall verify all building dimensions and notify the owner of any discrepancies and adverse conditions that may affect the construction before proceeding with the work. The contractor shall provide workmen experienced in their trade and all work shall conform to accepted standards of the industry.
4. The contractor and sub-contractors shall be licensed to work in the jurisdiction of the site address. The contractor will be responsible for meeting all applicable national and local building code requirements including current IRC, BOCA, and/or any other prevailing requirements of this jurisdiction, whether illustrated in these drawings or not.
5. Do not scale the drawings. The contractor shall rely on actual conditions of the site.
6. All dimensions should be considered approximate.

Notes regarding construction – may be modified by drawings specifications and/or by consultation with GC:

1. All existing areas affected by the new work shall be restored to match existing conditions.
2. All openings through roof or walls shall be thoroughly sealed and flashed.
3. Interior trim and door frames: Install trim to match existing around doors and interior windows.
4. Gutters and downspouts: aluminum system 6" gutters; shape and color to match existing. Install splash blocks at each downspout.
5. Electrical work: contractor shall furnish and install outlets, wiring, conduits, circuits, etc., as needed to meet code requirements and as shown in drawings. Contractor to provide recessed light fixtures and standard under mount lights, fluorescent closet lights, spotlights, bathroom light/fans, smoke detectors, and other standard /contractor grade fixtures. Owner will provide specialty electrical fixtures, including pendant lights, wall sconces, speakers.
6. Insulation: Install R-38 batt insulation in ceiling of 2nd floor, install R-38 batt insulation in floor of first floor if over crawl space. Install R-19 batt insulation in 2x6 stud walls. Install R-13 batt insulation in 2x4 stud walls.
7. Sound insulation: Install R-13 insulation in ceiling of 1st floor and in wall surrounding all bathrooms. Owner may specify additional sound barriers prior to installation of insulation.
8. Mechanical work and drawings to be supplied by mechanical contractor. All mechanical work to be done in accordance to local and national mechanical codes. Mechanical contractor to supply and install necessary ductwork and equipment according to manufacturer's specification.
9. All other manufactured products, including gas or wood-burning fireplaces and wood stove units, whirlpool bathtubs, etc., to be installed according to manufacturer's specifications. Contractor to provide appropriate and required venting for all such products.

Designer's Construction Notes

These notes are in addition to any requirements of IRC2012 and are intended to convey the designer's preferences for certain construction details and are not intended to reflect any changes to structural requirements as specified in the prevailing building codes. The following shall be adhered to, unless otherwise specified.

1. Heads of doors and windows shall align as closely as possible to existing and shall match one another.
2. Bedroom doors shall be 30 inches wide unless otherwise specified; bathroom doors shall be minimum 24 inches wide or 28 inches wide where space permits; single exterior doors shall be 32 inches wide; front doors shall be minimum 36 inches wide
3. All openings shall be headed as prescribed in the prevailing code.
4. All doors shall be cased.
5. Any openings that are passages, regardless of width and without doors, will not be cased. These openings will be finished with corner bead and sheet rock.
6. Ceiling beams shall be concealed when possible and specified in plans, as such. Otherwise, structural ceiling beams may be visible and shall be considered part of the design.
7. Ceilings shall align as closely as possible to existing. Designer shall be consulted if the ceilings do not align to determine the best location for the break in the surface plane and/or to develop a designed treatment of the misalignment.
8. Angled walls, doors, or other angled features will be as close to 45 degrees, as possible, whether or not shown accurately in the drawings.
9. Shadow lines created by offset wall surfaces shall be two inches. Surfaces shall be finished with corner bead and mud to provide a smooth finish.
10. Windows and doors shall be centered with units above and below where ever possible. Consult with designer during framing.

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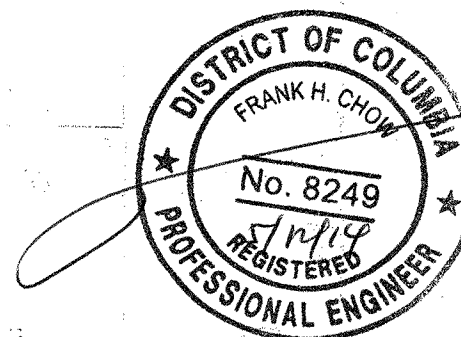
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All construction shall be in accordance w/International Residential Code 2012 (IRC 2012) and all other applicable and prevailing national and/or local building codes, per the jurisdiction of this site.

DATE: _____
PLAN: _____
FLOOR: _____
SCALE: ¼" = 1'0"
Drawings to illustrate design intent only.

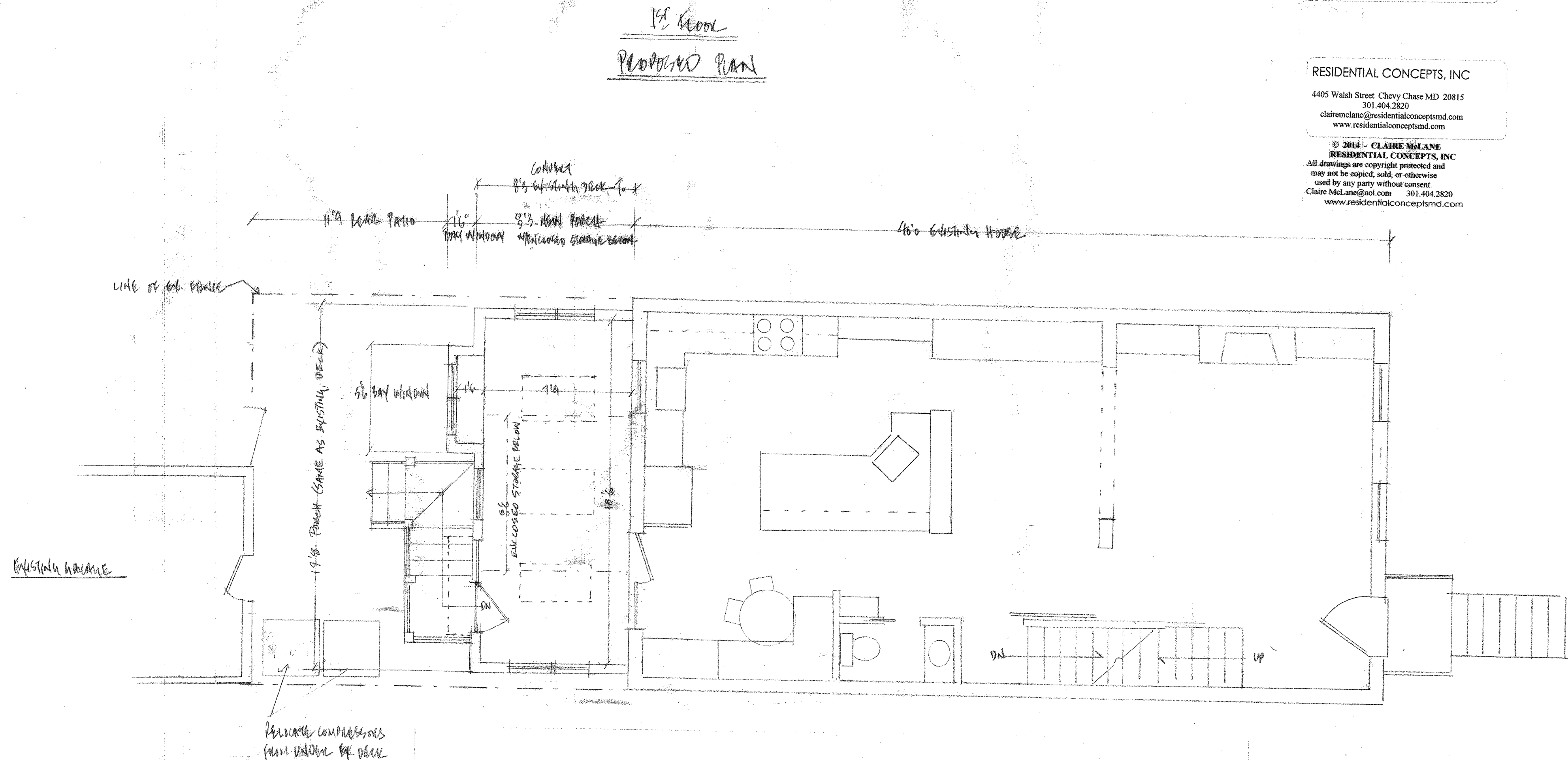
61-002

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WINDOW AND DOOR SCHEDULE: All units specified Weathershield Brand Aspire Line; Supplied by
Quality Window & Door, Inc. Contact Cliff Sosin 301.251-9290 or: Cliff@475@comcast.net

Low E, Argon Gas, clad (white), white hardware, matching screens.

Quantity	Unit #	description	rough opening size
2	S114056	sliding window	4'0 x 5'6
1	C21-2056	double casement	3'11-9/16 x 5'6
1	C112856	single casement	2'8 x 5'6
1	CH21-5080 CODE A	8'0 height center hinged patio door	5'0 x 8'0

EXTERIOR FINISH SCHEDULE:

Siding shall be wood or Hardi-Panel with white wood or composite trim material (owner to determine
with contractor). Install siding and trim with picture frame panels at each side.

Roof shall be asphalt shingle over #30 felt - color TBD.

Note: underside of floor joists to be sheathed with treated plywood after insulating between joists.

INTERIOR FINISH SCHEDULE:

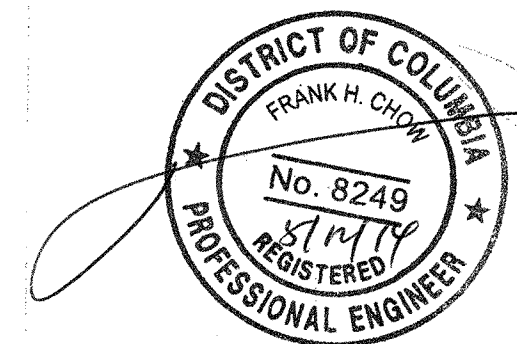
Floors shall be painted wood tongue & groove. Use deck paint, minimum two coats - color TBD by
owner.

All walls to be painted, wood bead board to 30-inch wainscot height; above shall be 1/2-inch gypsum wall
board - prime and paint two coats. Colors and finish TBD by owner.

Ceiling shall be painted, wood bead board - stain or prime and paint two coats. Colors and finish TBD by
owner

ELECTRICAL FIXTURES:

Quantity	Unit #	Manufacturer	description
8		Lightolier	5-inch recessed light with white baffle
2		TBD	48-inch diameter ceiling fan
3		TBD	exterior coach lights



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DATE: 4/15/2015
PLAN: PROPOSED
FLOOR: 1st
SCALE: 1/4" = 1'0 page 4 of 16
Drawings to illustrate design intent only.

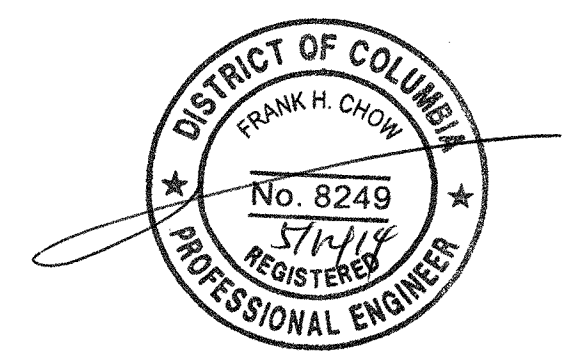
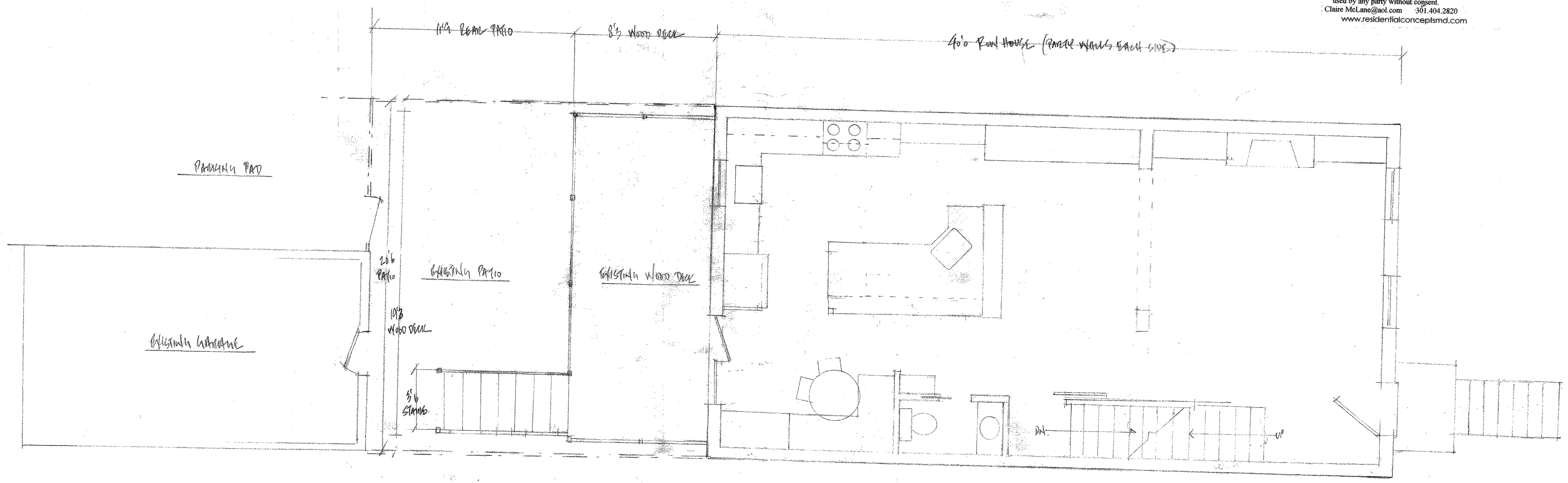
A-001

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1st FLOOR
EXISTING PLAN



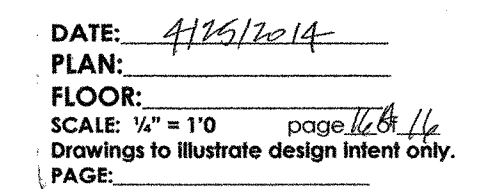
DISTRICT OF COLUMBIA
 PLANNING OPERATIONS DIVISION
 PLANNING AND DESIGN SECTION
 7-25-14

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 prevailing national and/or local building
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DATE: 4/25/2014
 PLAN: EXISTING
 FLOOR: 1st
 SCALE: 1/4" = 1'0" 5 OF 16
 Drawings to illustrate design intent only.

PROPOSED REAL ELEVATION

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Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862

Received:

Date: 5/13/2014

Plans

Application

Phone

2023291007

Engineering

Sheronne Mason

Applicant/Agent:

Walter L. Loken

Job

E

Job No.

Address of Project:

650 MASSACHUSETTS AVE NE

B1407347

Existing Use: Single Family

Existing No. of Stories: 3

Proposed Use: Single Family

Prop no of Stories: 3

Permit Type: Addition

SSL: 0865 0090

Description of Work:

Build a new enclosed three-season porch on existing open, wood deck. Porch to be same dimensions as existing 8.2 x 19.3 deck with 1.5 x 5.6 box bay window at rear. Stairs to lower terrace will be re-configured. New enclosed, unfinished 8.2 x 9.5 storage room with 5-foot ceiling height under the porch. New electrical work including exterior and interior porch lighting.

CLAUDE MCCLANE 6/27/14 2014

Required Reviews: (Checked boxes only)	Reviewer:	Completion Time:	Review Status:
☐ Fine Arts:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☒ Historic:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Public Space/DDOT:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☒ Zoning:		☐ AM ☒ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☒ Soil Erosion/DDOE:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ DC Water:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☒ Mechanical:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Plumbing:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Health/DOH:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☒ Electrical:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Elevator:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Fire Protection:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☒ Structural:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Green Review:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
☐ Chinatown Review:		☐ AM ☐ PM	☐ Approved ☐ HFC ☐ Conf. w/Applicant
New/ Addl Cost	Alt/Rpr Cost	Total Cost	Volume of New Bldg. or Addl Cubic ft.
\$0.00	\$35,000.00	\$35,000.00	3471.69995117188

Alter/Repair FEE	New Const. FEE	Filing FEE	Enhancement FEE	Green FEE:	Total Permit FEE

PRE-FILE NUMBERS		ZONING DISTRICT	FILE NUMBER	PERMIT NUMBER
N.C.P.C. No:	O.G. No:			BY: B1407347
H.P.A. No:	S.S.L. No: 0865 0090	Ward No: 6	Receipt No:	Date: * Receipt No:



DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
BUILDING AND LAND REGULATION ADMINISTRATION PERMIT SERVICE CENTER
 dcra.dc.gov



BLRA-33
(Rev.10/2011)

APPLICATION FOR CONSTRUCTION PERMITS ON PRIVATE PROPERTY
 (PRINT IN INK OR TYPE, DO NOT WRITE IN SHADED AREAS)

CLEARANCE TO FILE
By _____ Date _____

ERASING, CROSSING OUT, WHITING OUT, OR OTHERWISE ALTERING ANY ENTERED INFORMATION WILL VOID THIS APPLICATION

(A) ALL APPLICANTS MUST COMPLETE ITEMS 1 THRU 32

1 Address of Proposed Work: 650 MASSACHUSETTS AVENUE NE		Suite No.	2. Lot 0090	3. Square 0865	4. Application Date 4/23/2014
5 Owner of Building or Property Walter Lukken		6 Address (include Zip Code) 650 Massachusetts Avenue, NE 20002		7 Phone 202-329-1007	
8 Agent for Owner: (if applicable) Claire McLane		9. Address (include Zip Code) 20815		10. Phone 301-404-2820	
11. Type of Proposed Work (Select only one) ALL APPLICANTS MUST COMPLETE SECTIONS AF AND AI					
☐ New Building(B) ☐ Awning(G) ☐ Fire Retardant Paint(O) ☐ Sheeting and Shoring(X) ☒ Addition(B) ☐ Sign(H) ☐ Flag Pole(P) ☐ Tenant Layout(Y) ☐ Addition Alteration Repair(B) ☐ After Hours(I) ☐ Observation Stand(Q) ☐ Swimming Pool(Z) ☐ Alteration and Repair(B) ☐ Demolition(J) ☐ Scaffolding Information (R) ☐ Special Sign(AA) ☐ Raze Building(C) ☐ Blasting Operations(K) ☐ Soil Boring(S) ☐ Projection(AB) ☐ Retaining Walk(D) ☐ Christmas Tree Stand(L) ☐ Tower Crane(T) ☐ Excavation only (AC) ☐ Fence(E) ☐ Fireworks Stand(L) ☐ Foundation Only(U) ☐ Tent(AD) ☐ Shed(F) ☐ Exterior Cleaning Information(M) ☐ Underground Storage Tank(V) ☐ Antenna (AE) ☐ Garage(F) ☐ Capacity Placard(N) ☐ Water And Damp Proofing(W) Civil Site Work Only (AH)					
12. Description of Proposed Work Build a new enclosed three-season porch on existing open, wood deck. Porch to be same dimensions as existing 8.2 x 19.3 deck with 1.5 x 5.6 box bay window at rear. Stairs to lower terrace will be re-configured. New enclosed, unfinished 8.2 x 9.5 storage room with 5-foot ceiling height under the porch. New electrical work including exterior and interior porch lighting.					
13 Existing Use(s) of Building or Property Single Family		14 Ex. No of Stories of Bldg 3	15 Ex. No of Dwelling Units 1	Official Use Only Miscellaneous FEE \$ _____	
16 Proposed Use(s) of Building or Property Single Family		17 Prop. No of Stories of Bldg 3	18 Prop. No of Dwelling Units 1	By: _____	Date: _____
19 Starting Date 6/1/2014	20 Completion Date of work 8/1/2014	21 Method of Removing Construction Debris ☒ Pick-up Truck ☐ Dumpster ☐ Other (specify) _____		22 Does the proposed work involve disturbing the earth or razing a building? ☒ Yes, answer q. 23 ☐ No, SKIP q. 23-27	
23. Is the area of disturbed earth more than 50 sq. ft? ☐ Yes, answer q. 24-25 ☒ No, SKIP q. 24-25	24. Soil Erosion Control Methods		25. Area of Offsite Drainage sq. ft	26. No of Footings or Columns	27 Size of Footings or Columns

ALWAYS SIGN THE APPLICATION ON PAGE 8 (SECTION AI)

Complete Section B if the proposed work is new building, addition or alteration. (Page 2)
 Complete Section C if the proposed work is razing a building. (Page 2)
 Complete Section D if the proposed work is a retaining wall. (Page 2)
 Complete Section E if the proposed work is a fence. (Page 3)
 Complete Section F if the proposed work is a shed/garage. (Page 3)
 Complete Section G if the proposed work is an awning. (Page 3)
 Complete Section H if the proposed work is a sign. (Page 3)

OFFICIAL USE ONLY

	R	P	H	A	
M					
P					
E					W ☐ Yes ☐ No
F					PLANS
S					☐ No ☐ Sm ☐ Lg

Office of Finance and Treasury

Date: 5/13/2014 2:34 PM

Office: DCRA

Term: WFE02-92COBY1

Batch: 27456

Batch Date: 5/13/2014

Cashier: OFT50

Trans #: 25

DEPARTMENT OF CONSUMER &

Rcpt: 01478865

Comment/Document: B1407347

Payment Total: \$94.35

Payment Distribution:

6710	CRO (3012)	60300-ops20	\$0.32
2103	CRO (3012)	10001 Build	\$94.03
CK Tendered:			\$94.35

Thank you for your payment.
Have a nice day!



Department of Consumer and Regulatory Affairs

Remittance Source Document

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862

OFFICE OF CONSUMER AND REGULATORY AFFAIRS
1100 4th Street SW
Washington DC 20024
Permit: B1407347
Batch Date: 5/13/2014
Fees: \$94.35
DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS
Connect Document: B1407347
Project: 10111
Project Distribution:

Date: May 13, 2014

INVOICE

Invoice Number: 1490769

Customer: WALTER LUKKEN
Mailing Address: 650 MASSACHUSETTS AVENUE, NE
20002
Address of Work: 650 MASSACHUSETTS AVE NE
Washington, DC 20002
Permit: B1407347
Type of Permit: Addition

6710 CRO (3012) 60300-00020 \$1.00
1103 (RO) (3012) 10001 60113 172.35
CP (added) \$94.35

Acct Code:	Fees:	Description:
3012-3012-6030-6710	\$0.03	Enhanced Service Fee - Green Building
3012-3012-6030-6710	\$0.32	Green Building Fee
3012-3012-1000-2103	\$4.27	Enhanced Service Fee - Filing Fee
3012-3012-1000-2103	\$4.27	Enhanced Services Fee - Permit Fee
3012-3012-1000-2103	\$42.73	Addition Permit Fee
3012-3012-1000-2103	\$42.73	Addition/Alteration/Repair - Filing Fee
Invoice Total:	\$94.35	

Sheronne Mason

28. Existing Stories Plus: Basement		29. Proposed Stories Plus: Basement		30. Existing Stories Penthouse: ☐ Yes ☒ No		31. Proposed Stories Penthouse: ☐ Yes ☒ No		32. Is this related to a Stop Work order: ☐ Yes ☒ No					
(B) NEW BUILDING ADDITION, & ALTERATION (COMPLETE ITEMS B-1 THRU B-37)													
B-1. Architect's Name:			B-2. D.C. Lic. No.:		B-3. Architect's Address: (include Zip Code)			B-4. Phone:					
B-5. Engineer's Name:			B-6. D.C. Lic. No.:		B-7. Engineer's Address: (include Zip Code)			B-8. Phone:					
B-9. Building Contractor's Name:			B-10. D.C. Lic. No.:		B-11. Contractor's Address:			B-12. Phone:					
B-13. Type of Construction: ☐ Masonry ☐ Steel ☒ Wood ☐ Other ☐ Concrete		B-14. Fire Suppression: ☒ Fully Sprinklered ☐ Partially Sprinklered ☐ Standpipe System ☐ None ☐ Other		B-15. Booster Pump: ☐ New ☐ Existing ☒ None		B-16. Total Lot Area : 1890.98 Sq. ft		B-18. Present Gross Floor Area of Bldg.: 3324.80					
								B-17. Breakdown of Lot Area (=100%)					
								a. building	56.59 %				
								b. paved area	43.41 %				
								c. greenery	0.00 %				
B-19. Proposed Gross floor Area of Bldg.: 3471.70		B-20. Length: 19.30		B-21. Width: 8.20		B-22. Height: 18.00		B-23. Floors involved in this permit: ☐ All ☒ Floors 1					
								B-24. Projection beyond building line? ☐ Yes, Answer q. B-23 to B-27 ☒ No. SKIP q. B-23 to B-27					
B-25. Number and type of projection:			B-26. Distance of Projection: ft.		B-27. Width of Projection: Ft.		B-28. Width of Building frontage: Ft.		B-29. Signature of Owner (projection only):				
B-30. Water or Sewer Excavation: ☐ Yes ☒ No		B-31. Driveway Construction: ☐ Yes ☒ No		B-32. Sheeting/Shoring Necessary: ☐ Yes ☒ No		B-33. Elevators Involved: ☐ Yes, Answer B-34. ☒ No		B-34. No. and Type of Elevator: 0		B-35. Plans Certified by Engineer: ☒ Yes, Cert. Attached ☐ No			
B-36. Estimated Cost of Work (a) New/Add.: \$ 35000.00 (b) Alt/Repair \$ 0.00 Total \$ 35000.00				OFFICIAL USE ONLY									
				Alter/Repair FEE		New Const. FEE		Filing Fee		TOTAL PERMIT FEE			
				\$		\$		\$		\$			
B-37. Volume of New Bldg. or Addition 2848.68 Cubic ft.				By:		Date:		By:		Date:			
(C) RAZING A BUILDING (COMPLETE ITEMS C-1 THRU C-18)													
C-1. Insurance Company:			C-2. Policy or Cert. No.:			C-3. Policy Expiration Date:			C-4. Raze Method:				
C-5. Building Material:			C-6. Raze Entire Building: ☐ Yes ☐ No		C-7. Building is Condemned: ☐ Yes ☐ No		C-8. Building is Vacant: ☐ Yes ☐ No		C-9. Building has Vault: ☐ Yes ☐ No		C-10. Disconnect Utilities : ☐ Yes ☐ No		
C-11. Length:		C-12. Width:		C-13. Height:		C-14. Volume:		OFFICIAL USE ONLY					
C-15. Is Building an Accessory Structure: ☐ Yes ☐ No		C-16. Asbestos in the building? ☐ No ☐ Yes, location		C-17. Party Wall: ☐ Yes ☐ No		C-18. Owners Notified: ☐ Yes ☐ No		Fee: \$		By:		Date :	
(D) RETAINING WALL (COMPLETE ITEMS D-1 to D-6)													
The retaining wall will not obstruct any accessible parking required by D.C. Zoning Regulations													
D-1. Cost of work, \$:		D-2. Material:		D-3. Height:		D-4. Color:		D-5. Location: ☐ Entirely on Owner's Land ☐ Party Line with Adjacent Neighboring Land *					
*If party wall , the owner of the adjoining property must agree to the erection of the retaining wall and this application													
D-6. Address of Adjoining Owner:						OFFICIAL USE ONLY							
						Fee: \$		By:		Date:			

(E) FENCE (COMPLETE ITEMS E-1 THRU E-5)

E-1. Material and Type:	E-2. Height:	E-3. Color:	E-4. Location: ☐ Entirely on Owner's Land ☐ Party Line with Adjacent Neighboring Land*
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*If party fence, the owner of the adjoining property must agree to the erection of the fence and this application

E-5. Address of Adjoining Owner:

(F) SHED OR GARAGE (COMPLETE ITEMS F-1 THRU F-9)

F-1. Number:	F-2. Length: Ft.	F-3. Width: Ft.	F-4. Area: Sq. ft.	F-5. Height: Ft.	F-6. Volume: cu. ft.	OFFICIAL USE ONLY	
F-7. Est. Cost of work: \$						F-8. Material of sides	
F-9. Color:						By:	Date:

(G) AWNING (COMPLETE ITEMS G-1 THRU G-10)

G-1. Number:	G-2. Color:	G-3. Type ☐ Folding ☐ Fixed:	G-4. Projections: Beyond Bldg. Line _____ in. Beyond pt of attachment _____ in.	G-5. Height of Lowest Part of awning: (a) _____ ft Above sidewalk (b) _____ ft Above parking (c) _____ ft Above grade	OFFICIAL USE ONLY	
G-6. Material of Frame:	G-7. Material of Covering:	G-8. Lettering on awning ☐ Yes ☐ No	G-9. Fixed Posts: ☐ Yes ☐ No	G-10. Over Side-Walk café: ☐ Yes ☐ No	Fees:	
					By:	Date:

(H) SIGN (COMPLETE ITEMS H-1 THRU H-20)

H-1. Number:	H-2. Electric Signs: ☐ Yes, Answer q. H-3 to H-8 ☐ No, SKIP q. H-3 to H-8	H-3. Type: ☐ Incandes ☐ Fluoresc ☐ Neon	H-4. Power: VA	H-5. Electrical Contractor: Business License Number:	
H-5. Address of Electrical Contractor: (include zip)		H-6. Signature of Licensed Electrician :		H-7. Phone No.	H-8. License No.
H-9. Height relative to building and ground (a) _____ ft _____ in above sidewalk (b) _____ ft _____ in above roof (c) _____ ft _____ in is building height (d) _____ ft _____ in above projection of Window (e) _____ ft _____ in from roof to sign's bottom		H-10. Material of Sign:		H-11. Type of Sign:	H-12. Color:
		H-13. Width: Ft.	H-14. Length: Ft.	H-15. Area of Sign: Sq. ft.	H-16. Width of Business frontage: Ft.
H-17. C of O No for Bldg.:		H-18. Sign Contractor Name:		OFFICIAL USE ONLY	
				Sign FEE	Elect. FEE
H-19. Sign Contractor's Address:		H-20. Phone:		\$	\$
				By:	Date:
				By:	Date:
				By:	Date:

(I) AFTER HOURS (COMPLETE ITEMS I-1 THRU I-8)

I-1. Type of permit:	I-2. Existing Permit No:	I-3. Date of Operation From:	I-4. Date of Operation To:	OFFICIAL USE ONLY	
				Fee:	
I-5. Hours of Operation From:	I-6. Hours of Operation To:	I-7. 500 ft from Residential Zone/Hotel: ☐ Yes ☐ No	I-8. Located in Residential Zone: ☐ Yes ☐ No	By:	Date:

(J) DEMOLITION (COMPLETE ITEMS J-1 THRU J-5)

J-1. Type of Demolition:	J-2. Type of Walls	J-4. Roof Remain: ☐ Yes ☐ No	OFFICIAL USE ONLY		
			Fee:		
J-3. Number of Exterior Walls Removed	J-5. Are Walls Load-Bearing: ☐ Yes ☐ No		By:	Date:	

(K) BLASTING OPERATIONS (COMPLETE ITEM K-1)

K-1. Type of structure:	OFFICIAL USE ONLY		
Fee:		By:	Date:

(L) CHRISTMAS TREE STAND OR FIREWORKS STAND (COMPLETE ITEMS L-1 THRU L-10)

L-1. No. of Stands:	L-2. Stand Location:	L-3. Electrical Permit No.:	OFFICIAL USE ONLY		
			Fee:		
L-4. Electrical Use: ☐ Yes ☐ No	L-5. Letter of Authorization: ☐ Yes ☐ No	L-6. Starting Date:	By:		
L-7. Expiration Date:	L-8. Power Requirements:	L-9. Site Plan: ☐ Yes ☐ No	L-10. Surveyors Plat: ☐ Yes ☐ No	Date:	

(M) EXTERIOR CLEANING INFORMATION (COMPLETE ITEMS M-1 THRU M-4)

M-1. Exterior Cleaned:	M-2. Material Used:	OFFICIAL USE ONLY	
		Fee:	
M-3. Scaffolding: ☐ Yes ☐ No	M-4. Location of Scaffold:	By:	Date:

(N) CAPACITY PLACARD (COMPLETE ITEMS N-1 THRU N-13)

N-1. Name:	N-2. Max Occupancy Load:	N-3. Location:	N-4. Sprinkler: ☐ Yes ☐ No	N-5. Bathroom Requirements satisfied: ☐ Yes ☐ No	N-6. Exit Requirements Satisfied: ☐ Yes ☐ No	
N-7. Room	N-8. Name of Area	N-9. Floor Location:	N-10. Type of Seating:	N-11. Net Square ft:	N-12. Capacity Use:	N-13. Max Allowable Capacity:
N-7A.	N-8A.	N-9A.	N-10A.	N-11A.	N-12A.	N-13A.
N-7B.	N-8B.	N-9B.	N-10B.	N-11B.	N-12B.	N-13B.
N-7C.	N-8 C.	N-9 C.	N-10 C.	N-11 C.	N-12 C.	N-13C.

OFFICIAL USE ONLY

Fee:	By:	Date:
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(O) FIRE RETARDANT PAINT (COMPLETE ITEMS O-1 THRU O-4)

O-1. Quantity of Paint(Gallons):	O-2. Painted Surfaces:	OFFICIAL USE ONLY	
		Fee:	
O-3. Painted surfaces Location:	O-4. Sq. Footage Painted:	By:	Date:

(P) FLAG POLE (COMPLETE ITEMS P-1 THRU P-5)

P-1. Pole Location:		P-2. Site Location:		OFFICIAL USE ONLY	
				Fee:	
P-3. Pole Height:	P-4. Projection Distance:	P-5. Attached to Building:		By:	Date:
		☐ Yes ☐ No			

(Q) OBSERVATION STAND (COMPLETE ITEMS Q-1 THRU Q-5)

Q-1. Name of Function:		Q-2. Starting Date:		OFFICIAL USE ONLY	
				Fee:	
Q-3. Ending Date:	Q-4. Hours of Use From:	Q-5. Hours of Use To:		By:	Date:

(R) SCAFFOLDING INFORMATION (COMPLETE ITEMS R-1 THRU R-5)

R-1. No. of Stories:	R-2. Engineer of Record:	R-4. Location of Scaffold:	OFFICIAL USE ONLY		
			Fee:		
R-3. Building Permit No.:	R-5. Engineer Signature:		By:	Date:	
	☐ Yes ☐ No				

(S) SOIL BORING (COMPLETE ITEMS S-1 THRU S-3)

S-1. No. of Bores:	S-2. Location of Bores:	S-3. Site Plan:	OFFICIAL USE ONLY		
		☐ Yes ☐ No	Fee:		
			By:	Date:	

(T) TOWER CRANE (COMPLETE ITEMS T-1 THRU T-5)

T-1. Crane Location:	T-3. Duration Date From:	T-4. Duration Date To:	OFFICIAL USE ONLY		
			Fee:		
	T-2. Crane Pad Approved:	T-5. Site Plan:	By:	Date:	
	☐ Yes ☐ No	☐ Yes ☐ No			

(U) FOUNDATION ONLY (COMPLETE ITEMS U-1 THRU U-5)

U-1. Type of Foundation	U-5. Total Cubic Feet:	OFFICIAL USE ONLY			
		Fee:			
U-2. Removal of Trees:	U-3. Underpinning Required:	U-4. Required Notification to Adjacent Property Owner:	By:	Date:	
☐ Yes ☐ No	☐ Yes ☐ No	☐ Yes ☐ No			

(V) UNDER GROUND STORAGE TANK (COMPLETE ITEMS V-1 THRU V-2)

V-1. Size of Tank:	OFFICIAL USE ONLY
Gallons	
V-2. Location of Tank:	Fee: By: Date:

(W) WATER AND DAMP PROOFING (COMPLETE ITEMS W-1 THRU W-2)

W-1. Sq feet Affected:	OFFICIAL USE ONLY		
W-2. Location:	Fee:	By:	Date:

(X) SHEETING AND SHORING (COMPLETE ITEMS X-1 THRU X-7)											
X-1. Removal of Trees: ☐ Yes ☐ No		X-2. Underpinning Required: ☐ Yes ☐ No		X-3. Required Notification to adjacent property owner: ☐ Yes ☐ No		OFFICIAL USE ONLY					
						Fee:					
X-4. Tiebacks: ☐ Yes ☐ No		X-5. DC Surveyors Plat Submitted: ☐ Yes ☐ No		X-6. Plans Certified by D.C. Licensed Engineer: ☐ Yes ☐ No		X-7. No. of Cubic ft Removed:		By: Date:			
(Y) TENANT LAYOUT (COMPLETE ITEMS Y-1 THRU Y-3)											
Y-1. First Occupant in Space: ☐ Yes ☐ No				Y-3. Type of Tenant Layout:		OFFICIAL USE ONLY					
						Fee:					
Y-2. Floor Location of Tenant Layout:						By:		Date:			
(Z) SWIMMING POOL (COMPLETE ITEMS Z-1 THRU Z-12)											
Z-1. Type of Swimming Pool:		Z-3. Fence: ☐ Yes ☐ No		Z-5. Pool Cover: ☐ Yes ☐ No		Z-6. D.C. Surveyor's Plat Submitted: ☐ Yes ☐ No		Z-9. Pool Type:		OFFICIAL USE ONLY	
										Fee:	
Z-2. No. of Gallons:	Z-4. Height of Fence:	Z-7. Depth of Pool at High End:	Z-8. Depth of Pool at Lower End:	Z-10. Length:	Z-11. Width:	Z-12. Area:	By:		Date:		
(AA) SPECIAL SIGN (COMPLETE ITEMS AA-1 THRU AA-11)											
AA-1. Application Change of Special Sign Artwork and copy:			AA-2. Existing Permit No.:		AA-5. Is the Applicant Seeking a "Temporary Permit":			AA-6. Face Direction of the Wall at St Frontage			
AA-3. Is the Proposed Special Sign Located in a Residential Zoned Area: ☐ Yes ☐ No			AA-4. Is the Proposed Special Sign Wall Part of a Historic Building or a Historic District: ☐ Yes ☐ No		AA-7. Has the Applicant Completed an Affidavit that is in Compliance with the D.C. "Clean Hands Act": ☐ Yes ☐ No			OFFICIAL USE ONLY			
								Fee:			
AA-8. Is the Applicant Registered with the District of Columbia Office of Tax and Revenue: ☐ Yes ☐ No			AA-9. Does the Applicant have a Valid D.C. Certificate of Good Standing: ☐ Yes ☐ No		AA-10. Proposed Dimensions of the Special Sign (Width):		AA-11. Proposed Dimensions of the Special Sign (Height):		By: Date:		
(AB) PROJECTION (COMPLETE ITEMS AB-1 THRU AB-12)											
AB-1. Type of Projection:		AB-2. Is Projection Beyond Building Line: ☐ Yes ☐ No		AB-3. Number of Projections:		AB-4. Distance of Projection:		OFFICIAL USE ONLY			
								Fee:			
AB-5. Width of Projection		AB-6. Width of Building Frontage:		AB-7. Signature of owner: ☐ Yes ☐ No		AB-8. Street Name:		By: Date:			
AB-9. Street Width: Ft.		AB-10. Road Width: Ft.		AB-11. Sidewalk Width: Ft.		AB-12. Parking Restrictions:					
(AC) EXCAVATION ONLY (COMPLETE ITEM AC-1)											
AC-1. No. of Cubic Feet Removed:				OFFICIAL USE ONLY							
				Fee:		By:		Date:			
(AD) TENT (COMPLETE ITEMS AD-1 THRU AD-9)											
AD-1. Total No. of Tents:		AD-2. Event Date From:		AD-3. Event Date To:		AD-4. Special Event Name:		AD-5. Certificate of Flame Resistance: ☐ Yes ☐ No		AD-6. Site Plan: ☐ Yes ☐ No	
AD-7. Number of Tents:		AD-8. Length of Tent:		AD-9. Width of Tent:		OFFICIAL USE ONLY					
AD-7A.		AD-8A.		AD-9A.		Fee:		By:		Date:	
AD-7B.		AD-8B.		AD-9B.							
AD-7C.		AD-8C.		AD-9C.							

(AE) ANTENNA (COMPLETE ITEMS AE-1 THRU AE-20)

AE-1. Type of Antenna Proposed:	AE-2. Number of Existing Antennas on Site:	AE-3. Number of Proposed Antennas on Site:	AE-4. Replacement Antenna: ☐ Yes ☐ No	AE-5. Mount Type:	AE-6. Accessory Equipment Location:
AE-7. Existing and/or Proposed Equipment Cabinet Height:	AE-8. Existing and/or Proposed Equipment Platform Height:	AE-9. Existing and/or Screening Provided Height:	AE-10. Height of Building from the Grade to Roof:	OFFICIAL USE ONLY	
				Fee:	
AE-11. Height of Building from the curb to Roof:	AE-12. Height of Proposed Antennas from the Grade to Roof:	AE-13. Height of Proposed Antennas from the Curb to Roof:	AE-14. Fully Mounted height of all Antennas and Equipment from the Roof and /or Parapet:	By:	Date:
AE-15. Office of Planning Recommendation Letter: ☐ Yes ☐ No	AE-16. Radio Frequency Letter: ☐ Yes ☐ No	AE-17. Scaled D.C. Surveyor's Plats: ☐ Yes ☐ No	AE-18. Scaled Plans Elevations and the Sheet Location within the Plans: ☐ Yes ☐ No	AE-19. Structural Certification: ☐ Yes ☐ No	AE-20. Screening Provided: ☐ Yes ☐ No

(AF) LEAD ABATEMENT (COMPLETE ITEMS AF-1 THRU AF-2)

AF-1. Was the structure Built before 1978: ☐ Yes ☒ No	AF-2. Removing more than 2 Sq Ft. of Lead Paint: ☐ Yes ☒ No	OFFICIAL USE ONLY		
		Fee:	By:	Date:

(AG) GREEN BUILDING (COMPLETE ITEMS AG-1 THRU AG-13)

AG-1. Green Building: ☐ Yes ☐ No	AG-2. Certification Level :	AG-3. Owner Type :	AG-4. Scope of Project:	AG-5. Project Type:
AG-6. Green Building Standards:	AG-7. Other Standard:		AG-8. Energy Star Rating:	AG-9. Green Building Square Feet:
AG-10. LEED Scorecard Provided: ☐ Yes ☐ No	AG-11. Is Project Publicly - Owned or Financed : ☐ Yes ☐ No	AG-12. Is the Project Substantial Improvement: ☐ Yes ☐ No	OFFICIAL USE ONLY	
			Fee:	
			By:	Date:
AG-13. Green Design Elements:				
☐ Cool Roof ☐ Energy Efficient HVAC System ☐ Energy Efficient Lighting ☐ Green Roof ☐ Greywater ☐ Geothermal System ☐ Hazard Reducing Product ☐ Hydro Power ☐ Low Emitting Windows ☐ Low Flush Toilets ☐ Low Flow Shower Heads ☐ Local Regional Building Materials ☐ Passive Solar Energy ☐ Permeable Concrete ☐ Plant Building Material ☐ Recycled Building Materials ☐ Wind Power Energy				

(AH) CIVIL SITE WORK ONLY

AH-1. Applicant's First Name:	AH-2. Applicant's Last Name:	AH-3. Applicant's Organization Name:	AH-4. Applicant's Street Address:	
AH-5. Applicant's Suite or Unit:	AH-6. Applicant's City:	AH-7. Applicant's State:	AH-8. Applicant's Zip Code:	AH-9. Applicant's Phone:
AH-10. Applicant's Email:	AH-11. Is Lot(s) Vacant ? ☐ Yes ☐ No	AH-12. Contractor's Information Available: ☐ Yes ☐ No		AH-13. Contractor's First Name:
AH-14. Contractor's Last Name:	AH-15. Contractor's Organization Name:	AH-16. Contractor's Street Address:		AH-17. Contractor's Suite or Unit:
AH-18. Contractor's City:	AH-19. Contractor's State:	AH-20. Contractor's Zip Code:	OFFICIAL USE ONLY	
			Fee:	
AH-21. Contractor's Phone:	AH-22. Contractor's Email:		By:	Date:

(A) APPLICANT'S SIGNATURE

- A. OWNER: I hereby certify that I am the owner of the property, that the application and plans are complete and correct to the best of my knowledge, that if a permit (or permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia.

Signature of Owner Dana B. Sukker Address 650 Massachusetts Ave, NE WDC 20002 Date 4.24.14

- B. AGENT: I hereby certify that I have the authority of the owner to make this application. I declare that the application and plans are complete and correct to the best of my knowledge. The owner has assured me that if a permit (or Permits) is issued, the construction will conform to the D.C. Construction Codes, the Zoning Regulations, and other applicable laws and regulations of the District of Columbia

Signature of Agent _____ Address _____ Date _____

(AJ) APPROVALS (DO NOT WRITE ON THIS PAGE; OFFICIAL USE ONLY):**A. PERMIT CONTROL**

- ☐ 1. Fine Arts by: _____ Date: _____
- ☐ 2. Historic by: _____ Date: _____
- ☐ 3. Cap. Gateway by: _____ Date: _____
- ☐ 4. NCPC: _____ Date: _____
- ☐ 5. W.H./Obs. Precinct by: _____ Date: _____
- ☐ 6. Flood Control by: _____ Date: _____
- ☐ 7. WMATA by: _____ Date: _____
- ☐ 8. Condem. by: _____ Date: _____
- ☐ 9. Rental Accom. by: _____ Date: _____
- ☐ 10. Chinatown Distr. by: _____ Date: _____
- ☐ 11. Utility Clearance by: _____ Date: _____
- ☐ 12. General Liability Ins. Policy
Clearance by: _____ Date: _____

B. CLEARANCE TO FILE PLANS

- ☐ 1. Zoning by: _____ Date: _____
- ☐ 2. DDOT – Permit and Records Division
Access to Parking Street ☐ Street ☐ Alley
Cleared by: _____ Date: _____
- ☐ 3. DDOT – Consumer Engineer
Cleared by: _____ Date: _____
- ☐ 4. ERA – Erosion Control
Cleared by: _____ Date: _____

Restrictions of the Permit:

**TO REPORT WASTE, FRAUD,
OR ABUSE BY ANY D.C. GOVERNMENT
OFFICIAL, CALL THE D.C. INSPECTOR
GENERAL AT 1-800-521-1639**

C. PLANS AND APPLICATION APPROVAL

- ☐ 1. Information Counter by: _____ Date: _____
- ☐ 2. Information Center by: _____ Date: _____
- ☐ ☐ (a) ABRA by: _____ Date: _____
- ☐ (b) Noise Control by: _____ Date: _____
- ☐ (c) Industrial Safety by: _____ Date: _____
- ☐ (d) Vector Control by: _____ Date: _____
- ☐ (e) D.C. Animal by: _____ Date: _____
- ☐ (f) Police Dept. by: _____ Date: _____
- ☐ 3. Zoning by: _____ Date: _____
Zoning Update by: _____ Date: _____
Zoning Overlay approval by: _____ Date: _____
- ☐ 4. DDOT – Permit and Records Division/Deposit #
Sidewalk Deposit \$ _____ Driveway Deposit \$ _____
by _____ Date: _____
- ☐ 5. Water/Sewer Design Branch
Consumer Eng. by: _____ Date: _____
- ☒ 6. Environmental Regulation Administration
NIA ☒ Environmental Policy Review
Control No. _____ by *MS* _____ Date: *6/25/14*
☐ Erosion Control by: _____ Date: _____
☐ Storm Water Mgmt. by: _____ Date: _____
Plan No. _____
- ☐ Air Quality by: _____ Date: _____
- ☐ Underground Storage by: _____ Date: _____
- ☐ 7. Mechanical Eng. Review by: _____ Date: _____
- ☐ 8. Plumbing Eng. Review by: _____ Date: _____
- ☐ 9. Electrical Eng. Review by: _____ Date: _____
- ☐ 10. Health Plan Review
☐ (a) Food Plan Review by: _____ Date: _____
☐ (b) Medical X-Ray Plan Rev.
by: _____ Date: _____
- ☐ 11. Fire Protection Plan Review
by: _____ Date: _____
- ☐ 12. D.C. Fire Dept. (Fire Prevention Plan Review Section)
by: _____ Date: _____
- ☐ 13. Elevator Plan Rev. Sec. by: _____ Date: _____
- ☐ 14. Plumbing Insp. Rev. by: _____ Date: _____
- ☐ 15. Construction Insp. Branch (Field Check)
by: _____ Date: _____
- ☐ 16. Historic Pres. Div. by: _____ Date: _____
- ☐ 17. EISF: _____ Date: _____
- ☐ 18. Structural Eng. by: _____ Date: _____
- ☐ 19. Permit and Certificate Issuance Counter
by: _____ Date: _____
- ☐ 20. QC By: _____ Date: _____

ZONING

C of O Number _____ Date _____

Existing Use(s) _____

Proposed Use _____

- ☐ New Bldg
- ☐ P.O.D.
- ☐ File in
room 2124

DDOT – PUBLIC SPACE

Street Name: _____

Street Width: _____

Road Width: _____

Sidewalk Width: _____

Parking: _____

Job No. _____

BZA Case No. _____

PUD Order No. _____

Restrictions: _____

Zoning Data Summary

General Instructions: Submit this completed form with Building Permit and Certificate of Occupancy applications for:

- proposed new construction of buildings
- additions to existing buildings
- changes in use or occupant load.

Print clearly in ink. Do not write in gray areas. Write N/A (non-applicable) for items that do not apply. If you erase, cross out, white out, or otherwise change any information on this application, the application will be void.

For more information, call the Office of Zoning Administrator at 202-442-4576. If you need more forms, you can download them at dcra.dc.gov (go to Permits/Zoning/Certificates of Occupancy and Zoning) or pick them up at the Permit Center, 1100 4th St SW, 2nd Floor

A. Site

Give complete and legal District address. If you need to apply for a new address, complete a New Address Application, before you complete this form. Do not abbreviate street names. Write the correct quadrant (NW, NE, SW, SE), suite or office number. Enter the correct Square, Suffix, and Lot number (SSL) or parcel ID.

Street Number 050	Street Name MASSACHUSETTS AVE.	Quadrant NE	Unit / Suite	Application Date
Square 0865	Suffix	Lot 0090	Proposed use UNCONDITIONED SUNROOM	

B. Owner & Contact

Agent must be an individual -- not company.

Owner of Building or Property WALT & DANA LUKKEN	Complete mailing address (include zip) 870 MASSACHUSETTS AVE NE WASHINGTON DC 20002	Phone Number(s) 202 329 1007	Email
Agent for owner, if applicable CLAIRE MCCLANE	Complete mailing address (include zip) 4405 WALSH STREET CAPITOL CAMPUS MD 20545	Phone Number(s) 301 404 2820	Email clairemcclane@aol.com

C. Zoning District & Special Development Restrictions

Give the correct zoning and overlay zoning district(s). Check with Zoning staff if you are unsure. If your proposed construction was subject to Board of Zoning Adjustments (BZA) or Zoning Commission review, write the order number. Attach copies of BZA order and Office of Zoning stamped plan exhibits (site plan, elevations, and floor plans).

District	Overlay(s), if any
----------	--------------------

Number of Board of Zoning Adjustment (BZA) or Zoning Commission (ZC) Order, if applicable.

D. Zoning

For items with asterisks (*) refer to the Definitions Section of the Zoning Regulations, 11 DCMR, § 199.1, available online at dcwr.dc.gov/info/reg.shtm.

Data	Existing	Proposed	Official Use Only (code requirement)
Fill in both columns: numbers must match those on attached applications, plans, and plans.			
Units & Parking Spaces			
Number of dwelling units	1 Units	1 Units	
Number of parking spaces (9' x 19')	2 Units	2 Units	
Setbacks & Building Heights			
Side Yard* Setback (left when you face property)	0 Linear feet	0 Linear feet	
Side Yard* Setback (right when you face property)	0 Linear feet	0 Linear feet	
Rear Yard* Setback	51 (NOT INC. DEED) Linear feet	43 Linear feet	
Building Height*	3 Stories	3 Stories	
	less than 40 Feet	less than 40 Feet	
Areas			
Lot Area	1890.98 Square feet	1890.98 Square feet	
Gross Floor Area* (GFA) of entire building (sum of all floors)	3324 Square feet	3479 Square feet	
Floor Area Ratio*	1.758 GFA / Lot Area	1.84 GFA / Lot Area	
Building Area* (sum of footprints of all buildings)	1070.86 Square feet	1225.1 Square feet	
Lot Occupancy* (Bldg Area / Lot Area)	56.69 %	64.79 %	

Form Completed by (sign and print name): _____ Date: _____



Department of Consumer and Regulatory Affairs

Reasonable Accommodations and Modifications for Persons with Disabilities

The Department of Consumer and Regulatory Affairs (DCRA) is committed to fair housing practices for all residents of the District of Columbia. The Fair Housing Amendments Act of 1988 (FHA) allows qualified persons with disabilities and or their representatives to request reasonable accommodations and/or modifications so that they may fully use and enjoy their homes and related facilities. This law defines a qualified person with disability as:

Any person who has a physical or mental impairment that substantially limits one or more major life activities; has a record of such impairment; or is regarded as having such impairment.

In general, a physical or mental impairment includes hearing, mobility and visual impairments, chronic alcoholism, chronic mental illness, AIDS, and developmental disabilities that substantially limit one or more major life activities. Major life activities include walking, talking, hearing, seeing, breathing, learning, performing manual tasks, and caring for oneself.

The FHA requires DCRA to make reasonable accommodations for qualified persons with disabilities. A reasonable accommodation is a change in rules, policy, practices, or services so that a person with a disability will have an equal opportunity to use and enjoy a dwelling unit or common space. DCRA is required provide reasonable accommodations to qualified persons with disabilities, but it is not required to make changes that would fundamentally alter the program or create an undue financial and administrative burden.

The FHA of 1988 requires DCRA to allow qualified persons with disabilities to make reasonable modifications. A reasonable modification is a structural modification that is made to allow persons with disabilities the full enjoyment of the housing and related facilities. DCRA is required to provide reasonable modifications to qualified persons with disabilities, but It is not required to make changes that would fundamentally alter the program or create an undue financial and administrative burden.

Would you like to obtain more information from DCRA on FHA reasonable accommodation and/modification requests for qualified persons with disabilities (*circle one*)?

YES

NO

CHANE LUCAS, agent for W. Lukker

Printed Name

[Signature]

Signature

If you have questions or concerns related to requesting reasonable accommodations or modifications for qualified persons with disabilities from DCRA, please contact:

Mr. Jeffrey Mason
Department of Consumer & Regulatory Affairs
1100 4th Street, SW Suite 5311
Washington, DC 20024
Phone: (202)-442-4545
Fax: (202) 442-4884
jeffrey.mason@dc.gov

CONSTRUCTION PERMIT APPLICATION - SUPPLEMENTAL FORM - ENVIRONMENTAL QUESTIONNAIRE

PROJECT ADDRESS: 650 HARBAUGH ST NE LOT: 0090 SQUARE: 0865
 PROJECT DESCRIPTION: ADD 8x20 ENCLOSED SUNROOM TO REAR OF ROW HOUSE
TO RE-PLACE EXISTING WOOD DECK

Note: please answer all 12 questions in this questionnaire, by checking either column "Yes" or "No" for each question. If you answer "Yes" to any of the questions, you should contact the corresponding office(s) indicated in column 'contact person/office' as soon as possible. Until this application is reviewed and approved by the concerned office(s), the permit will not be issued.

SCOPE OF PROJECT	YES	NO	CONTACT PERSON/OFFICE	OFFICE USE (Initial/Date)
1. Does the total cost of the project exceed \$1 million (based on 1989 dollars)? <u>In 2000, this cost is \$1,380,000. This does not apply if the project is an internal renovation only and there will be no change in the use of the building.</u>		☒	(202) 442-4455, EIS Coordinator, DCRA	
2. Is this project located in an Economic Development Zone, as defined in D.C. Law 7-177?		☒	(202) 442-4455, EIS Coordinator, DCRA	
3. Is this project located within the Central Employment Area as defined in the D.C. Zoning regulations?		☒	(202) 442-4455, EIS Coordinator, DCRA	
4. Will the proposed use involve the construction of a facility for the handling, transfer, storage, disposal or treatment of solid waste, medical waste, or recyclable materials?		☒	(202) 535-2289, EIS Coordinator, EHA	
5. Will the work to be performed involve the assessment or clean-up of soils associated with the release of materials from an underground storage tank (UST)?		☒	(202) 535-2525, Underground Storage Tank Division, EHA	
			(202) 535-2250, Air Quality Division, EHA	
6. Will the work to be performed involve the assessment or clean-up of groundwater associated with the release of materials from an underground storage tank (UST)?		☒	(202) 535-2525, Underground Storage Tank Division, EHA	
			(202) 535-2190, Water Quality Division, EHA	
7. Will the proposed project involve the installation or drilling of wells other than for the purposes stated in questions 3 and 4?		☒	(202) 535-2190, Water Quality Division, EHA	
8. Will the proposed project involve the generation, treatment, storage, disposal or transportation of chemicals or other substances which may be considered hazardous?		☒	(202) 535-2290, Hazardous Waste Division, EHA	
9. Will the proposed project involve construction which will disturb the sediment in rivers, streams or wetlands?		☒	(202) 535-2190, Water Quality Division, EHA	
10. Will the work to be performed involve the installation, removal, abandonment, or repair of an underground storage tank (UST) system?		☒	(202) 535-2525, Underground Storage Tank Division, EHA	
11. Will the proposed project result in the discharge into the air of gases, dust, or the creation of any objectionable odors?		☒	(202) 535-2250, Air Quality Division, EHA	
12. Will the proposed project involve the removal, handling, transportation, disposal, or encapsulation of asbestos? **Please bring with you a copy of your asbestos survey, ten-day notification form, and asbestos abatement permit fee		☒	(202) 535-2250, Air Quality Division, EHA	
13. Was the building built before 1978? (Lead paint may be present.)		☒	(202) 535-1940, Lead Poisoning Prevention Division, EHA	
14. Will the proposed project create dust that may contain lead, disturb known or suspected lead-based paint, require cleanup of dust or debris that may contain lead, or disturb known or suspected lead-contaminated soil?		☒	(202) 535-1940, Lead Poisoning Prevention Division, EHA	

AFFIDAVIT

I hereby certify that I have the authority of the owner of the property to make this application. I declare that the answers to the above questions in this Questionnaire are complete and correct to the best of my knowledge.

Signature: [Signature] - agent for W. L. L. (print) CHARLES MCANE
 Address: 4405 WALSH ST. CORNWALL CT. MD Date: 5/13/2014 Phone: 301 464 2822

OFFICE USE ONLY

COMMENTS AND PERMIT RESTRICTIONS:

Environmental Intake Form

DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS

Owner & Contact Information

Complete address of proposed work

Square

0865

Number	Ext	Official street name	Quadrant	Unit/Suite
650		MAGSAC HOUSES AVE	NE	

Project name	Application number (if applicable)	Project Description
6. Owner WALT & DANA LUKKEN	7. Complete mailing address (include zip) 650 MAGSAC HOUSES AVE NE WASHINGTON DC 20002	8. Phone 202 329 1007
10. Agent for owner, if applicable CATHIE MCCLANE	11. Complete mailing address (include zip) 405 WALSH STREET CATHY CHASE MD 20815	13. Email, if you prefer e-notice clairemcclane@aol.com

Project Scope

Scope (Check all that this project involves.)	No	Yes	If You Answer "Yes"
1. Is this project a residential structure within R-1 through R-5-A zoning districts?		☒	
2. Is this project a single-family structure <i>not</i> built in conjunction with 2 or more units?	☒		
3. Is this project an accessory structure, such as a garage, patio, pool, or fence?	☒		
4. Is this project only an interior renovation with no building use or capacity change?	☒		
5. Is this project in an Economic Development Zone, as defined in DC Official Code § 6-1501 et seq (DC Law 7-177)?	☒		Skip to the signature line.
6. Is this project in the Central Employment Area, defined in DC Zoning Regulations?			
7. Does the project involve <i>only</i> operation, repair, maintenance, or minor alteration of public structures, facilities, mechanical equipment, or topographical features, with <i>negligible or no</i> expansion of use beyond its current use?	☒		
8. Does the owner of this site own adjacent or abutting property?	☒		
9. Do you plan to develop adjacent/abutting property in next 3 years?	☒		Attach a site plan. If there is no plan, attach a written explanation.
10. Do you plan more development that requires permit(s) on any site in this square in next 3 years?	☒		
11. Is this project a solid waste facility?	☒		See EIS Coordinator.
12. Have you prepared an Environmental Impact Statement (EIS) or a functional equivalent, as required by the National Environmental Policy Act of 1969 (NEPA)?			Attach the EIS or equivalent.
13. Are you claiming an exemption, other than those listed in this form, from the requirement to submit an Environmental Screening Form, under Title 20 § 7202.			Attach an explanation; cite relevant section of regulations.
14. Is the total project cost more than \$1.51 million, including site preparation and construction?	☒		If you're not claiming an exemption, attach an EISF.
15. For projects with a total cost of \$1.51 million or less, check all that apply: ☐ Contains threatened or endangered plant or animal species. ☐ Is within 100 feet of a pond, stream, lake, spring, or wetland. ☐ Project will produce emission of odorous or other air pollutants (from any source, including VOCs). ☐ Project produce, use, or dispose of hazardous substances, as defined in 20 DCMR 7299. ☐ Will be built on land where the water table depth is less than 3 feet. ☐ Will require blasting. ☐ Will generate medical, infectious, radioactive, or hazardous waste.			If you check any item, attach EISF or equivalent.

I certify that all statements on this application are true and complete to the best of my knowledge and belief. I agree to comply with all applicable DC laws and regulations. The making of false statements on this application is punishable by criminal penalties: (DC Code Sec. 22-2514)

Signature of Owner/Authorized Agent

Cathy Chase - agent for W. Lukken Date *5/13/2014*

OFFICIAL USE ONLY

Environmental Impact Screening Form Required

☐ Yes. Referred to EIS Coordinator ☐ No

DCRA Reviewer

Date

NOTE: Building permit approval is not the same as approval of an action or entire project under the Environmental Policy Act of 1989. If you build on the same, adjacent, or abutting property, or expand on work covered by this Environmental Intake Form within 3 years, you may be required to file an EISF for the whole project, including the part covered by this application and permit approval. If the action violates any federal or DC environmental laws, an EISF can be required.

To report waste, fraud, or abuse by any DC government office or official, call the Inspector General: 1-800-521-1639



LEAD PERMIT SCREENING FORM

- 1) Is the work you will be conducting going to disturb paint on the interior or exterior of a property built prior to 1978? This includes residential and commercial properties, as well as child-occupied facilities such as daycares, pre-schools, libraries, etc...
 - ☐ Yes (continue to next question)
 - ☒ No (there is no lead abatement permit requirement; you can skip the rest of this form)
- 2) Do you have a lead inspector's written report stating that the paint you'll be disturbing is NOT lead-based paint?
 - ☐ Yes (there is no lead abatement permit requirement and you can skip the rest of this form; **BUT you must submit a copy of the inspector's report to DDOE's Lead and Healthy Housing Division**)
 - ☐ No (continue to next question)
- 3) Will you be doing work that involves the enclosure/encapsulation of painted components, the use of chemical stripping, the replacement of painted surfaces or fixtures, or the removal or covering of lead-contaminated soil?
 - ☐ Yes (this abatement work requires a DDOE lead abatement permit)
 - ☐ No (there is no lead abatement permit requirement; you can skip the rest of this form)

Lead Abatement Permit Requirements

If you are required to obtain a lead abatement permit, you must:

- 1) Apply for a lead abatement permit from DDOE's Lead and Healthy Housing Division (call 535-1934 for details)
- 2) Use a DDOE certified lead abatement worker/supervisor to conduct the abatement activity
- 3) Produce an independent "clearance report" at the end of the work, confirming that the abatement activities were conducted in such a manner that no lead-based paint hazards remain in the work area(s).

**To obtain a DDOE lead abatement permit application, please visit:
www.ddoe.dc.gov and click on Lead and Healthy Housing Division.**

NOTICE: Lead Abatement Permit Exemptions

- 1) Are you a property owner who is performing lead-based paint activities or renovations in a residence that you own and live in, which is occupied solely by you or your immediate family, AND where neither children under 6 years of age NOR a pregnant woman lives? ☐ Yes
- 2) Will the work that you will perform disturb 2 square feet or less of paint per room? ☐ Yes

If you answered "yes" to either one of these questions, NO DDOE lead abatement permit is required.

DCRA Building Permit ID: B1407347

Dana and Walt Lukken
650 Massachusetts Avenue, NE
Washington, DC 20002
202-544-5362
202-329-1007 (Dana's cell)

Agent: Claire McLane
301-404-2820
clairemclane@aol.com

July 8, 2014

Response to Plan Review Comments

Zoning Review (6-18-2014) by Mamadou Ndaw
201-442-4627
mamdou.ndaw@dc.gov

1. *Please submit four copies of the DC Surveyor's plat depicting the existing structures and proposed addition – see attached*
2. *Please check for compliance with DCMR 11 2001.3; expansion of a nonconforming structure that has exceeded maximum lot occupancy*

Chapter 11-404.1 refers to the percentage of Lot Occupancy (R) – see attached
Section 3104.1 refers to additions to single family homes in any R zones.
Reference Rule 11-223:

(50%) in the R-1 and R-2 Districts or seventy percent (70%) in the R-3, R-4, and R-5 Districts.

The proposed lot coverage with the addition will be 65.09. The property is in the R-4 Zone.
Existing house, deck, and garage = 1230.86 sq ft
(house 20.8 x 40.0) + (deck 8.2 x 19.5) + (garage 11.6 x 20.6)
Proposed House, addition, and garage = 1230.86 sq ft
(house 20.8 x 40.0) + (addition 8.2 x 19.5) + (garage 11.6 x 20.6)
Lot size = 20.78 x 91.00 = 1890.98 sq ft
Calculated lot coverage = 65.09%

223 ZONING RELIEF FOR ADDITIONS TO ONE-FAMILY DWELLINGS OR FLATS (R-1) AND FOR NEW OR ENLARGED ACCESSORY STRUCTURES

- 223.1 An addition to a one-family dwelling or flat, in those Residence Districts where a flat is permitted, or a new or enlarged accessory structure on the same lot as a one-family dwelling or flat, shall be permitted even though the addition or accessory structure does not comply with all of the requirements of §§ 401, 403, 404, 405, 406, and 2001.3 shall be permitted as a special exception if approved by the Board of Zoning Adjustment under § 3104, subject to the provisions of this section.
- 223.2 The addition or accessory structure shall not have a substantially adverse affect on the use or enjoyment of any abutting or adjacent dwelling or property, in particular:
- (a) The light and air available to neighboring properties shall not be unduly affected;
 - (b) The privacy of use and enjoyment of neighboring properties shall not be unduly compromised;
 - (c) The addition or accessory structure, together with the original building, as viewed from the street, alley, and other public way, shall not substantially visually intrude upon the character, scale and pattern of houses along the subject street frontage; and
 - (d) In demonstrating compliance with paragraphs (a), (b) and (c) of this subsection, the applicant shall use graphical representations such as plans, photographs, or elevation and section drawings sufficient to represent the relationship of the proposed addition or accessory structure to adjacent buildings and views from public ways.
- 223.3 The lot occupancy of all new and existing structures on the lot shall not exceed fifty percent (50%) in the R-1 and R-2 Districts or seventy percent (70%) in the R-3, R-4, and R-5 Districts.
- 223.4 The Board may require special treatment in the way of design, screening, exterior or interior lighting, building materials, or other features for the protection of adjacent or nearby properties.
- 223.5 This section may not be used to permit the introduction or expansion of a nonconforming use .

SOURCE: Final Rulemaking published at 45 DCR 1146, 1447 (March 13, 1998); as amended by Final Rulemaking published at 48 DCR 8979, 8983 (September 28, 2001); and as amended by Final Rulemaking published at 54 DCR 9564 (October 5, 2007).

403 PERCENTAGE OF LOT OCCUPANCY (R)

403.1

A public school building may occupy the lot upon which it is located in excess of the permitted percentage of lot occupancy prescribed in §403.2; provided, that the portion of the building excluding closed courts exceeding the lot coverage shall not exceed twenty feet (20 ft.) in height or two (2) stories; and provided further, that direct pedestrian access not less than ten feet (10 ft) in width from at least two (2) public rights-of-way shall be provided to each roof area used for these purposes. The roof area shall be used only for open space, recreation areas, or other athletic and field equipment areas in lieu of similarly used space normally located at ground level. In the R-2, R-3, and R-4 zones, the total lot occupancy shall not exceed 70 percent.

403.2

No structure, including its accessory building, shall occupy its lot in excess of the percentage of lot occupancy set forth in the following table:

ONE DISTRICT AND STRUCTURE	MAXIMUM PERCENTAGE OF LOT OCCUPANCY
R-1-A, R-1-B, R-2 Church or public school	60%
R-1-A, R-1-B, R-2 All other structures	40%
R-3 Row dwelling, church, or public school	60%
R-3 All other structures	40%
R-4 Row dwelling, flat, church, or public school	60%
R-4 Conversion of a building or structure to an apartment house	Greater of 60% or the lot occupancy as of the date of conversion
R-4 All other structures	40%
R-5-A Church or public school	60%
R-5-A All other structures	40%
R-5-B All other structures	60%
R-5-C, R-5-D, R-5-E All other structures	75%

403.3

A public recreation and community center may be permitted a lot occupancy in excess of twenty percent (20%), but not to exceed forty percent (40%), if approved by the Board of Zoning Adjustment; provided that, in addition to the requirements of § 3104.1, the agency shows that the increase is consistent with agency policy of preserving open space.

403.4

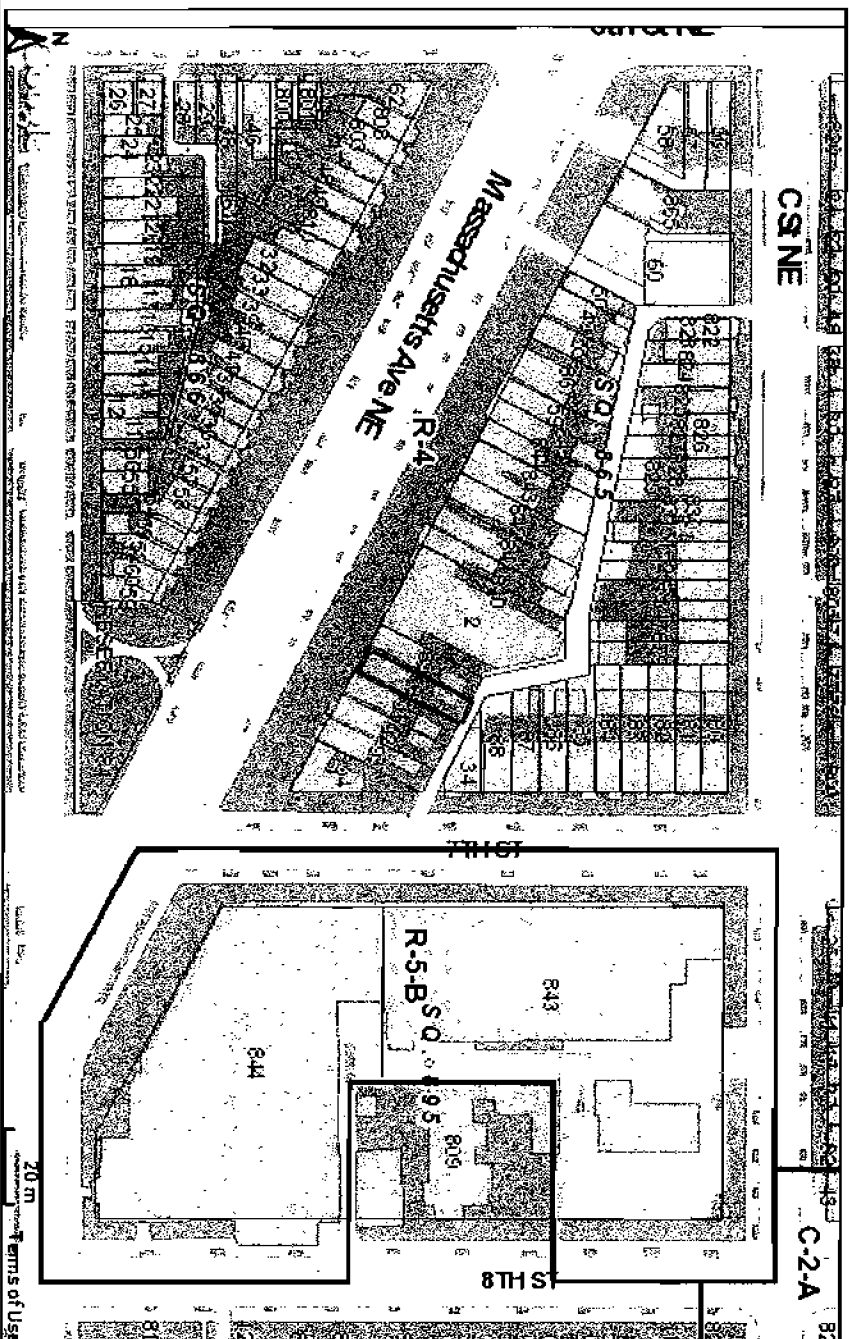
A public library may be permitted a lot occupancy in excess of that allowed by § 403.2 if approved by the Board of Zoning Adjustment, pursuant to § 3104.1.

SOURCE: § 3303 of the Zoning Regulations, effective May 12, 1958, as amended by Final Rulemaking published at 39 DCR 8305, 8307 (November 13, 1992); Final Rulemaking published at 47 DCR 9741-43 (December 8, 2000), incorporating by reference the text of Proposed Rulemaking published at 47 DCR 8335, 8338 (October 20, 2000); as amended by Final Rulemaking published at 50 DCR 16137 (November 28, 2003); as amended by Final Rulemaking published at 53 DCR 9380 (December 1, 2006); as amended by Final Rulemaking published at 54 DCR 8965 (September 14, 2007); as amended by Final Rulemaking and Order No. 09-17A published at 57 DCR 1898 (March 5, 2010).



Zoning Report for Square: 0865 Lot: 0090

March 8, 2014



☐ Zone Districts

☐ Pending Zones

☐ Overlays

☐ Pending Overlays

☐ Baist Index

☐ Historic Districts

☐ Active PUDs

☐ Pending

☐ TDRs

☐ Campus Plans

☐ CEA

Latitude: NaN Longitude: NaN

While DCOZ is committed to providing accurate and timely zoning information via the zoning map, DCOZ cannot guarantee the quality, content, accuracy or completeness of the information, text, graphics, links, and other items contained therein. All data visualizations on the zoning map should be considered approximate. Information provided in the zoning map should not be used as a substitute for legal, accounting, real estate, business, tax, or other professional advice. DCOZ assumes no liability for any errors, omissions, or inaccuracies in the information provided regardless of the cause of such error or any decision made, action taken or action not taken by the user in reliance upon any maps or information provided herein. DCOZ retains the right to change any content on its zoning map without prior notice.

DC Office of Zoning

www.dcoz.dc.gov

Zoning Data Summary*

Square/Suffix/Lot	0865 / 0A / 0090
Premises Address	0650 MASSACHUSETTS AV
Zoning District	R-4
Overlay District(s)	
Pending Zoning District(s)	
Pending Overlay District(s)	
PUDs	None
Pending PUDs	None
Ward	6
Council Member	Tommy Wells
ANC	6C
ANC Chairperson	undefined
SMD	6C03
Commissioner	John Scott Price

* For a detailed explanation of zoning related terms, please refer to the DC Zoning Map Glossary available at http://maps.dcoz.dc.gov/css/Map_App_User_Guide/Glossary.pdf.

** To the extent an active PUD exists on a particular site, the PUD zoning depicts the zoning in effect for that site.