



3A

Aerial view of north side of site. Morton Street, NW in foreground.



3B

Aerial view of east side of site. Lamont Street NW is on left side; Morton Street NW is at right.



3C

Aerial view of south side of site along Lamont Street.



3D

Aerial view of west side of site. Morton Street NW is on left side; Lamont Street NW is at right.



713 LAMONT STREET NW, WASHINGTON, DC 20010

LOTS	SITE AREA
A) LOTS 94-97	= 7,125 SF
B) A+T LOT 875	= 21,375 SF
C) A+T LOT 879	= 42,038 SF
TOTAL	= 70,538 SF

1 BZA - Existing Site Plan
1" = 40'-0"

BUILDING A

ZONING TABULATION
ZONE: C-2-A/GA OVERLAY

LOTS 94-97

NEW CONDO/APARTMENT BUILDING.
Wood construction. Garden style/walk-up, 3 stories + Engl. Bsmt.
LOT AREA: 7,125 SF | 9,675 FAR GSF | 9 UNITS

NO RELIEF REQUIRED

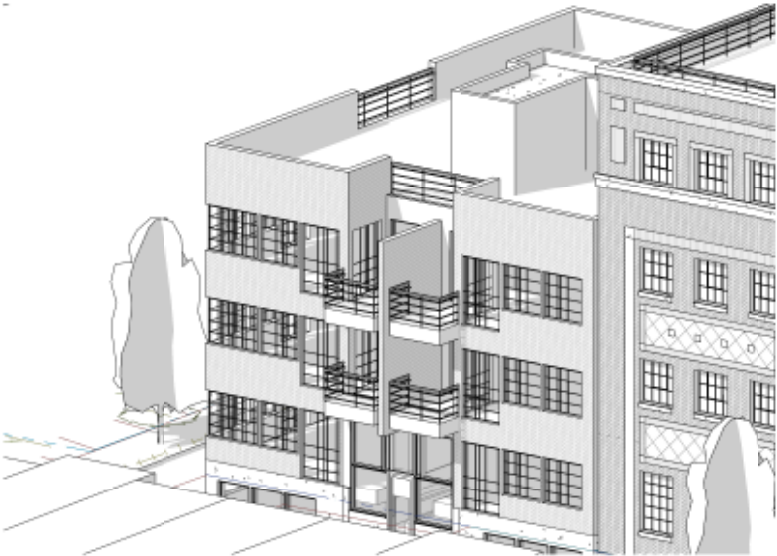
C-2-A Zone Requirements

SECTION		REQUIREMENT	PROPOSED	STATUS
770	BLDG. HEIGHT	50'	34'-9"	COMPLIES
771	FLOOR AREA RATIO	2.5	1.36	COMPLIES
772	LOT OCCUPANCY %	60%	49.2%	COMPLIES
774	REAR YARD	15'	78'	COMPLIES
775.5	SIDE YARDS	N/A	NONE	N/A
776.3	WIDTH OF COURTS	N/A	NONE	N/A
776.4	AREA OF CLOSED COURTS	N/A	NONE	N/A
411.3	ROOF STRUCTURES	1 ENCLOSURE	1 ENCLOSURE	COMPLIES
411.5	ROOF STRUCTURES	EQUAL HEIGHT	EQUAL HEIGHT	COMPLIES
411.7	ROOF STRUCTURES	0.37 FAR MAX	0.03 FAR	COMPLIES
2100	PARKING SPACES	1/2 UNITS = 5	14	COMPLIES
2117.2	LANDSCAPING	3900SF (5%) = 195 SF	195 SF	COMPLIES
2200	LOADING BERTHS	NONE	NONE	N/A
2200	LOADING PLATFORMS	NONE	NONE	N/A
2200	SVC/DELIVERY SPACE	NONE	NONE	N/A

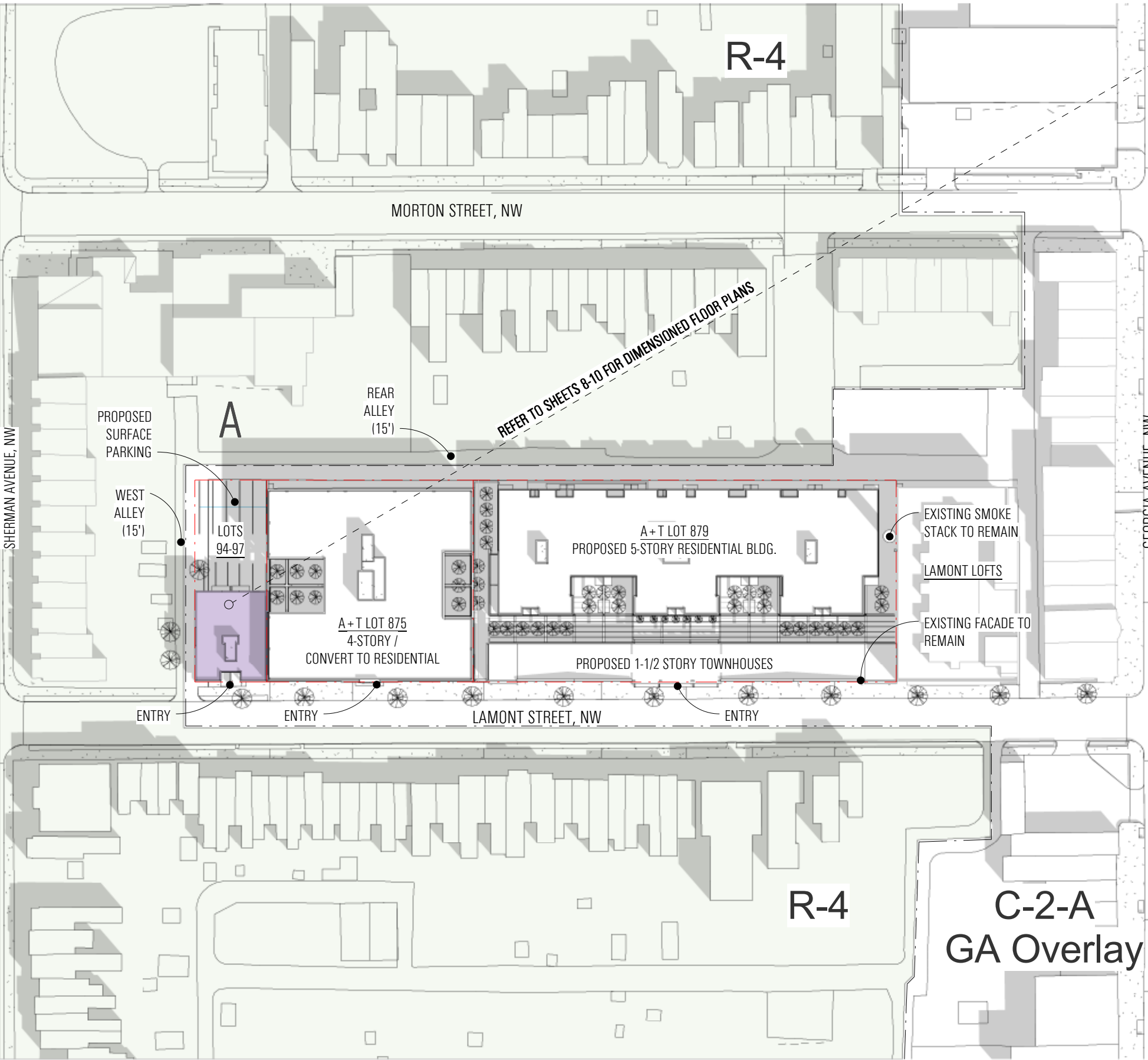
GA OVERLAY Zone Requirements

SECTION	REQUIREMENT	STATUS
1328.2	75% of street wall shall abut property line.	COMPLIES
1328.3	70% lot occupancy allowed for mixed use.	N/A
1328.4-7	Not applicable.	N/A
1328.8	Bldg. entrances required every 40 linear ft.	N/A
1328.9	14' min. ground floor ceiling height	N/A
1328.10	Additional 5' of building height allowed	N/A
1328.11	Off-street surface parking, rear yards only.	COMPLIES

The requirements of Sections 1328.4-10 are not applicable as the property lacks frontage on Georgia Avenue.



2 Proposed Building at Lots 94-97



1 Proposed Site Plan (Lots 94-97 Highlighted)
1" = 80'-0"

BUILDING B

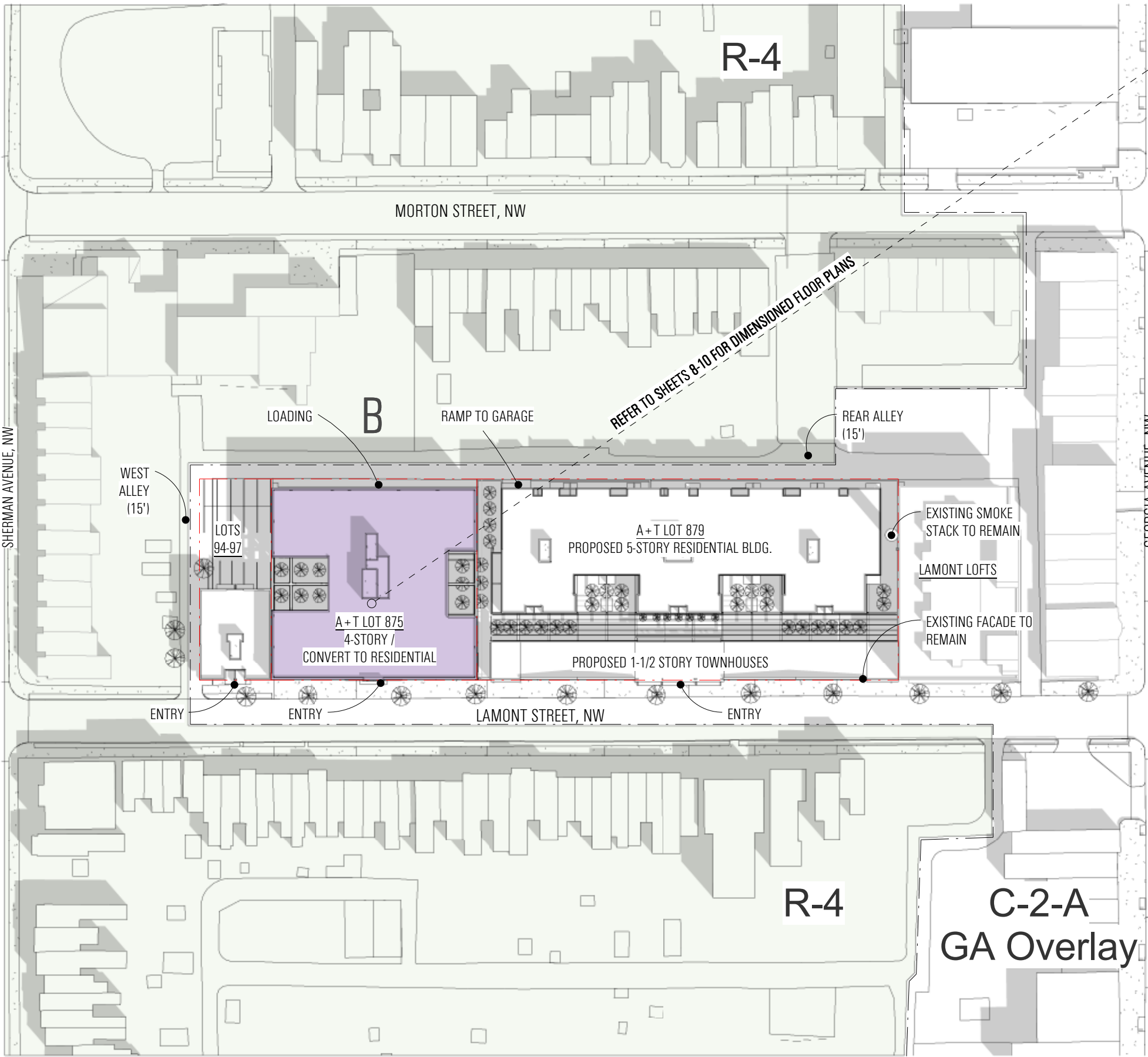
ZONING TABULATION
ZONE: C-2-A/GA OVERLAY

A+T LOT 875
EXISTING 4-STORY BUILDING CONVERTED INTO APARTMENTS OR CONDOMINIUMS.
Existing concrete frame with brick facade, 4 stories.
LOT AREA: 20,735 SF | 68,784 GSF | 77 UNITS

C-2-A Zone Requirements				
SECTION		REQUIREMENT	PROPOSED	STATUS
770	BLDG. HEIGHT	50'	53' (EXG.)	NONCONFORMING
771	FLOOR AREA RATIO	2.5	3.32 (EXG.)	COMPLIES PER 771.3
772	LOT OCCUPANCY %	60%	82.9% (EXG.)	COMPLIES PER 771.3
774	REAR YARD	15'	6'-6" (EXG.)	COMPLIES PER 771.3
775.5	SIDE YARDS	NONE	NONE	COMPLIES
776.3	WIDTH OF COURTS	4"W/FT. = 18'-8" (MIN. 15' WIDE)	20' MIN.	COMPLIES
776.4	AREA OF CLOSED COURTS	MIN. 350 SF	915 SF MIN.	COMPLIES
411.3	ROOF STRUCTURES	1 ENCLOSURE	1 ENCLOSURE	COMPLIES
411.5	ROOF STRUCTURES	EQUAL HEIGHT	EQUAL HEIGHT	COMPLIES
411.7	ROOF STRUCTURES	0.37 FAR MAX	0.03 FAR	COMPLIES
2100	PARKING SPACES	SEE BELOW	SEE BELOW	COMPLIES
No parking required due to parking credits associated with prior use.				
2200	LOADING BERTHS	(1) 55'DEEP	(1) 30' DEEP	RELIEF REQ'D.
2200	LOADING PLATFORMS	(1) 200 SF	(1) 200 SF	COMPLIES
2200	SVC/DELIVERY SPACE	(1) 20'DEEP	(1) 20' DEEP	COMPLIES

GA OVERLAY Zone Requirements		
SECTION	REQUIREMENT	STATUS
1328.2	75% of street wall shall abut property line	COMPLIES
1328.3	70% lot occupancy allowed for mixed use	N/A
1328.4-7	Not applicable	N/A
1328.8	Bldg. entrances required every 40 linear ft	N/A
1328.9	14' min. ground floor ceiling height	N/A
1328.10	Additional 5' of building height allowed	N/A
1328.11	Off-street surface parking, rear yards only	N/A
1330.1(b)	Special Exception: for construction on a lot with 12,000 SF or more in land area	(EXISTING STRUCTURE)

The requirements of Sections 1324.4-10 are not applicable as the property lacks frontage on Georgia Avenue.



1 Proposed Site Plan (Lot 875 Highlighted)
1" = 80'-0"

BUILDING C

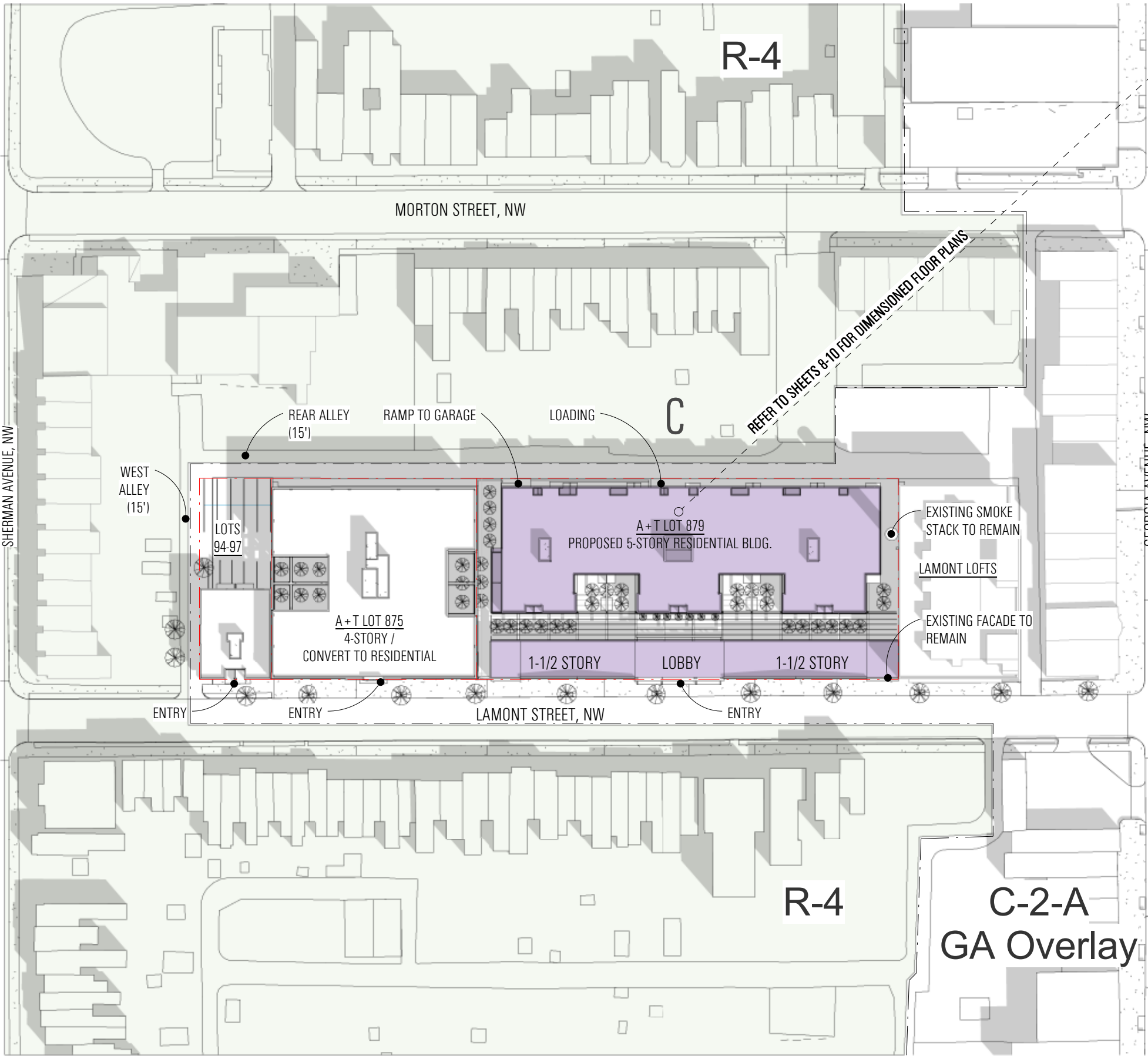
ZONING TABULATION
ZONE: C-2-A/GA OVERLAY

A+T LOT 879
NEW 5-STORY APARTMENT OR CONDOMINIUM BUILDING + 1-LEVEL PARKING GARAGE.
Wood structure over new concrete podium garage. Partial demolition of existing laundry facility.
NEW 1-STORY + LOFT TOWNHOUSES. Wood construction, w/ restored 1-story brick facade.
LOT AREA: 42,677 SF | 117,886 FAR GSF | 139 UNITS

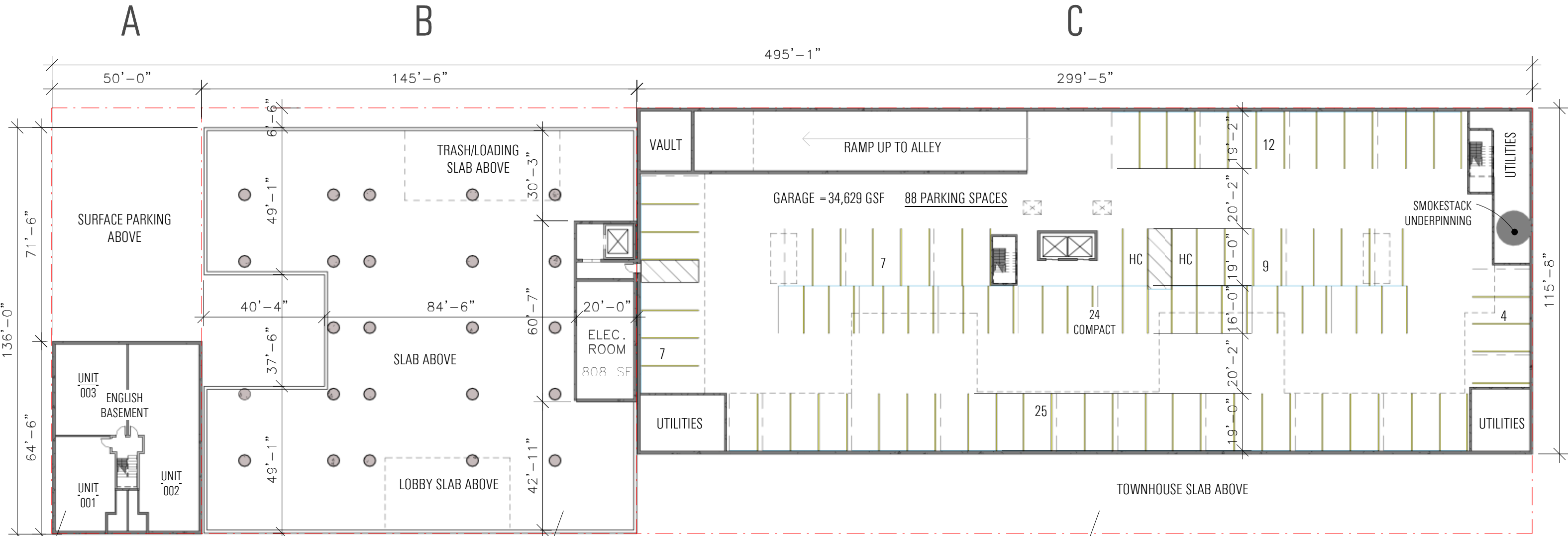
C-2-A Zone Requirements				
SECTION		REQUIREMENT	PROPOSED	STATUS
770	BLDG. HEIGHT	50'	50'	COMPLIES
771	FLOOR AREA RATIO	3.0 (IZ)	2.76	COMPLIES
772	LOT OCCUPANCY %	75% (IZ)	75%	COMPLIES
774	REAR YARD	15' (to alley CL<20'H)	6'-6" (14'-0")	RELIEF REQ'D.
775.5	SIDE YARDS (@ 1 STORY BLDG.)	6' MIN.	9'-5" (EXG.)	COMPLIES
775.5	SIDE YARDS (@ 5 STORY BLDG.)	2"W/FT. = 8'-4"	18'-1"@ GROUND FL. 11'-1"@ FLOORS 2-4	COMPLIES COMPLIES
776.3	WIDTH OF COURTS	4"W/FT. = 17'-8"	MIN.19'-4"	COMPLIES
776.4	AREA OF CLOSED COURTS	N/A	N/A	N/A
411.3	ROOF STRUCTURES	1 ENCLOSURE	3 ENCLOSURES	RELIEF REQ'D.
411.5	ROOF STRUCTURES	EQUAL HEIGHT	UNEQUAL HEIGHTS	RELIEF REQ'D.
411.7	ROOF STRUCTURES	0.37 FAR MAX	0.02 FAR	COMPLIES
2100	PARKING SPACES	1/2 UNITS = 70	88	COMPLIES
2200	LOADING BERTHS	(1) 55'DEEP	(1) 30' DEEP	RELIEF REQ'D.
2200	LOADING PLATFORMS	(1) 200 SF	(1) 200 SF	COMPLIES
2200	SVC/DELIVERY SPACE	(1) 20'DEEP	(1) 20' DEEP	COMPLIES

GA OVERLAY Zone Requirements		
SECTION	REQUIREMENT	STATUS
1328.2	75% of street wall shall abut property line	COMPLIES
1328.3	70% lot occupancy allowed for mixed use	COMPLIES
1328.4-7	Not applicable	N/A
1328.8	Bldg. entrances required every 40 linear ft	N/A
1328.9	14' min. ground floor ceiling height	N/A
1328.10	Additional 5' of building height allowed	N/A
1328.11	Off-street surface parking, rear yards only	COMPLIES
1330.1(b)	Special Exception for construction on a lot with 12,000 SF or more	SPECIAL EXCEPTION

The requirements of Sections 1324.4-10 are not applicable as the property lacks frontage on Georgia Avenue.



1 Proposed Site Plan (Lot 879 Highlighted)
1" = 80'-0"



C-2-A Zone Parking Requirements

LOTS 94-97: NEW 3-STORY + ENGLISH BASEMENT (APARTMENTS OR CONDOMINIUMS)

	REQUIREMENT	PROPOSED	STATUS
PARKING SPACES (BLDG. A)	5	14	COMPLIES

9 dwelling units proposed.
Requirement: 1 space per 2 dwelling units = 5 spaces required.

C-2-A Zone Parking Requirements

A+T LOT 875: EXISTING 4-STORY BUILDING CONVERTED INTO RESIDENTIAL USE.

	REQUIREMENT	PROPOSED	STATUS
PARKING SPACES (BLDG. B)	0	0	COMPLIES

77 dwelling units proposed.
No parking required due to parking credits associated with prior use.

C-2-A Zone Parking Requirements

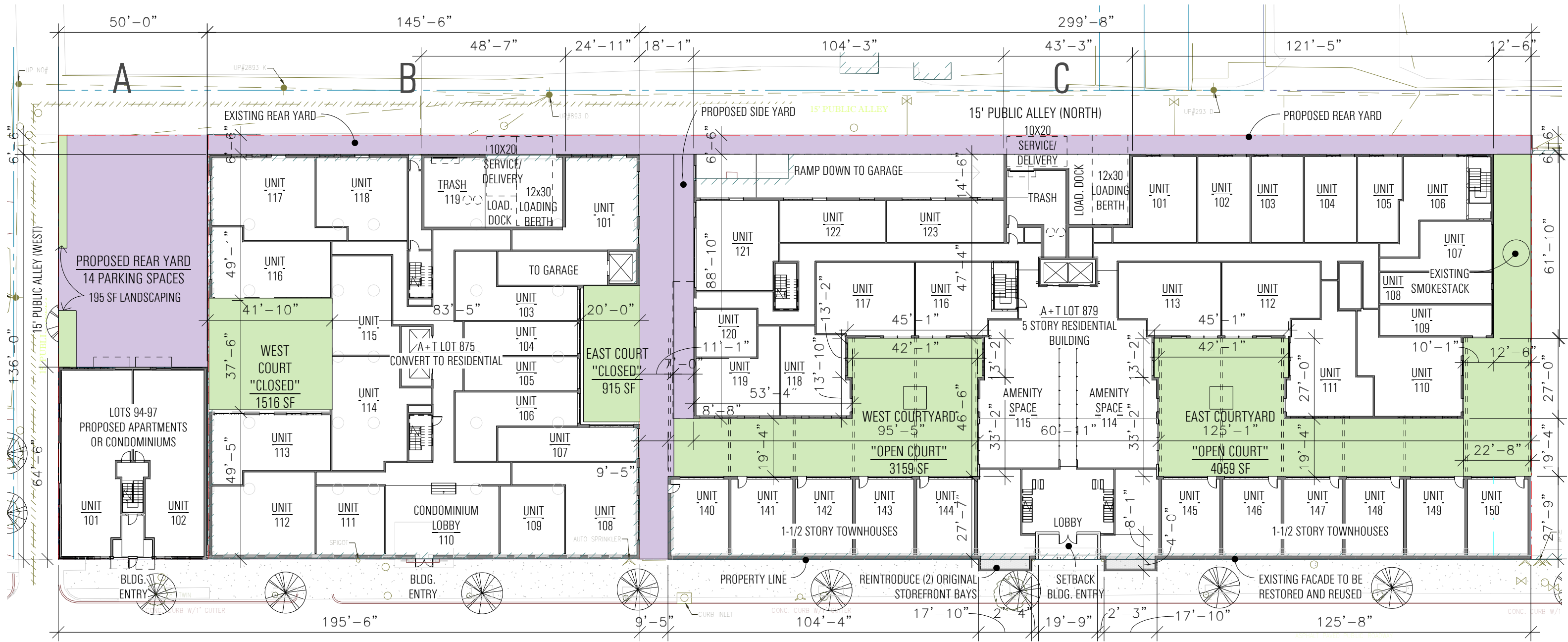
A+T LOT 879: NEW 5-STORY RESIDENTIAL BUILDING W/ 1.5 STORY TOWNHOUSES

	REQUIREMENT	PROPOSED	STATUS
PARKING SPACES (BLDG. C)	70	88	COMPLIES

139 dwelling units proposed.
Requirement: 1 space per 2 dwelling units = 70 spaces required.

UNIT DEMISING WALLS APPROXIMATE AND SUBJECT TO CHANGE

 **1** BZA - Parking Level Plan
1/32" = 1'-0"



LAMONT STREET, N.W.

UNIT DEMISING WALLS APPROXIMATE AND SUBJECT TO CHANGE

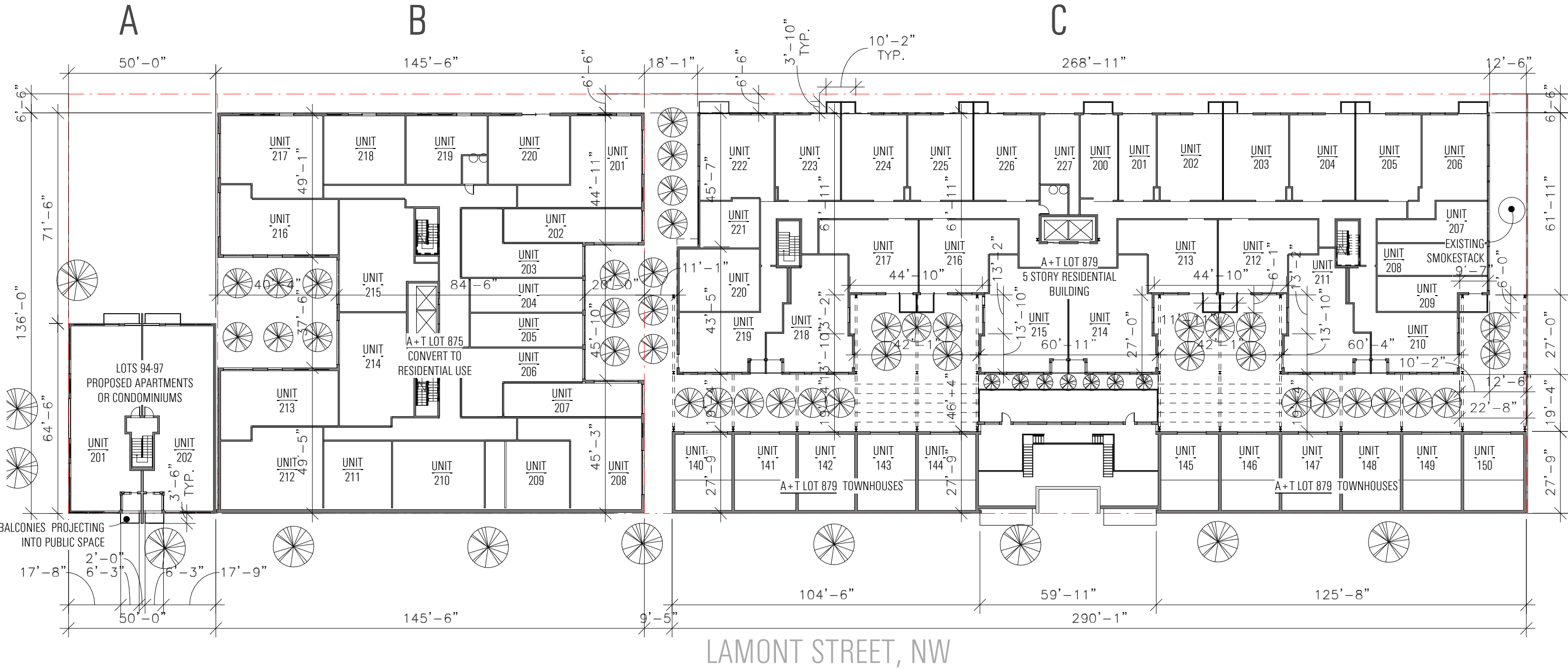
1 BZA - First Floor Plan
1/32" = 1'-0"

ERIC COLBERT & ASSOCIATES, P.C.
717 5TH STREET NW WASHINGTON, DC 20001

HOLLADAY CORPORATION
3400 IDAHO AVENUE, NW SUITE 500 WASHINGTON, DC 20016

713 LAMONT STREET, NW
WASHINGTON, DC 20010

FIRST FLOOR PLAN
BZA-9
9/8/2014



1 BZA - Typical Floor Plan
1/32" = 1'-0"

UNIT DEMISING WALLS APPROXIMATE AND SUBJECT TO CHANGE



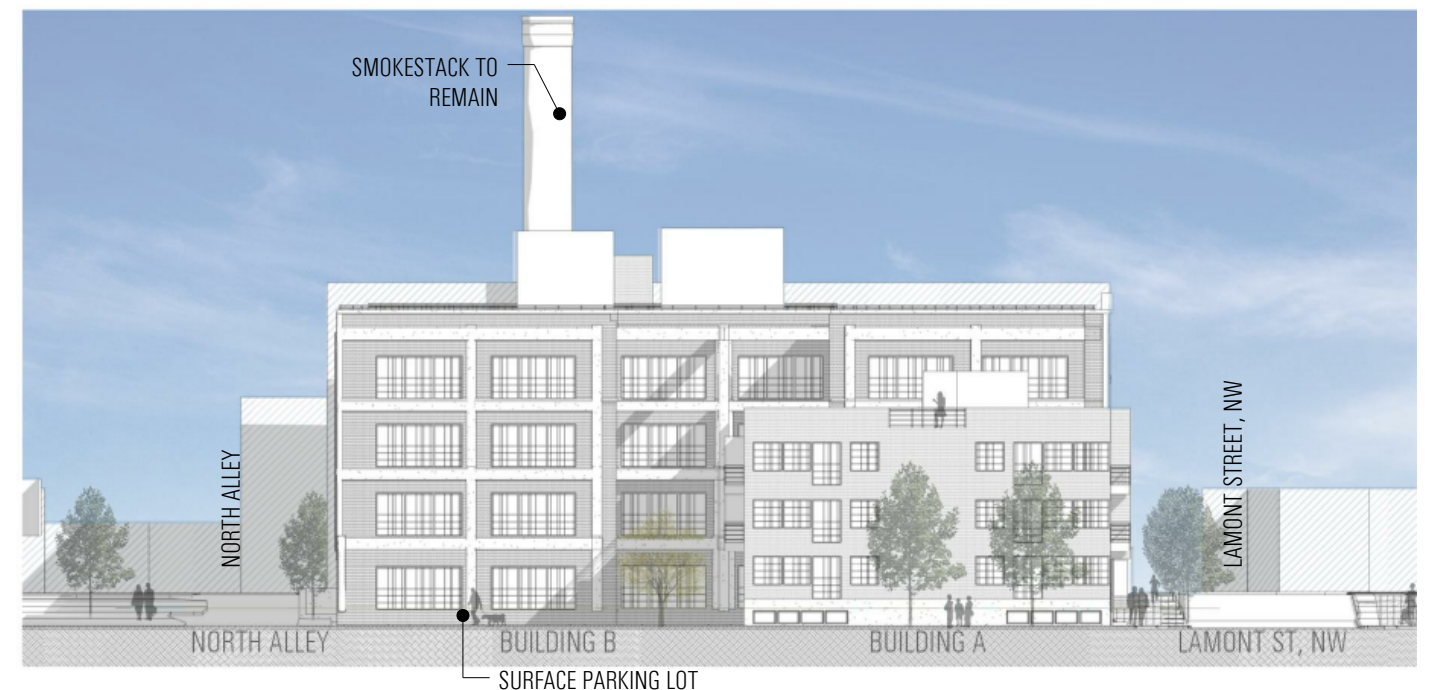
SOUTH ELEVATION (FRONT) - VIEW FROM LAMONT STREET, NW

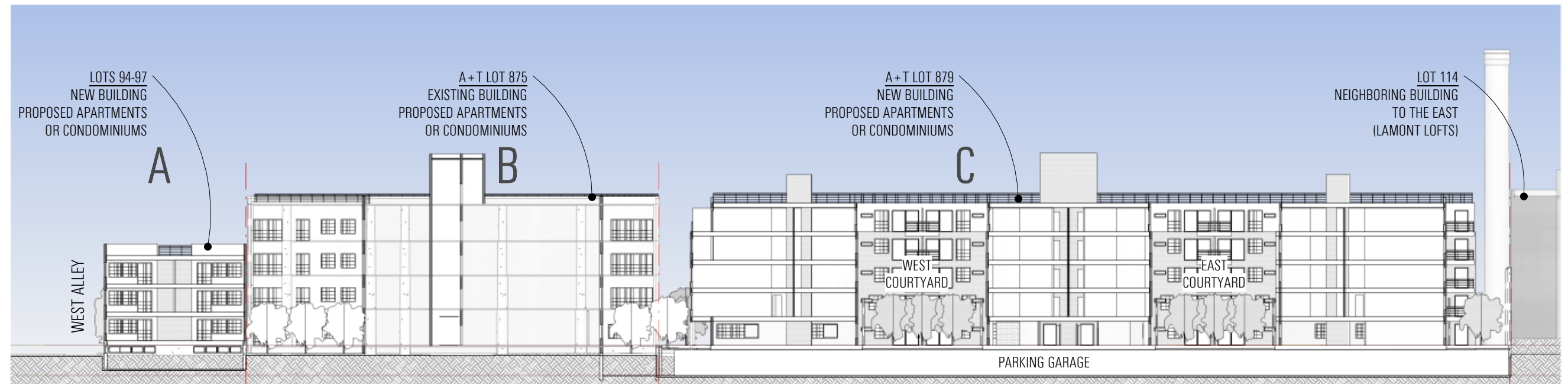


NORTH ELEVATION (REAR) - VIEW FROM NORTH ALLEY

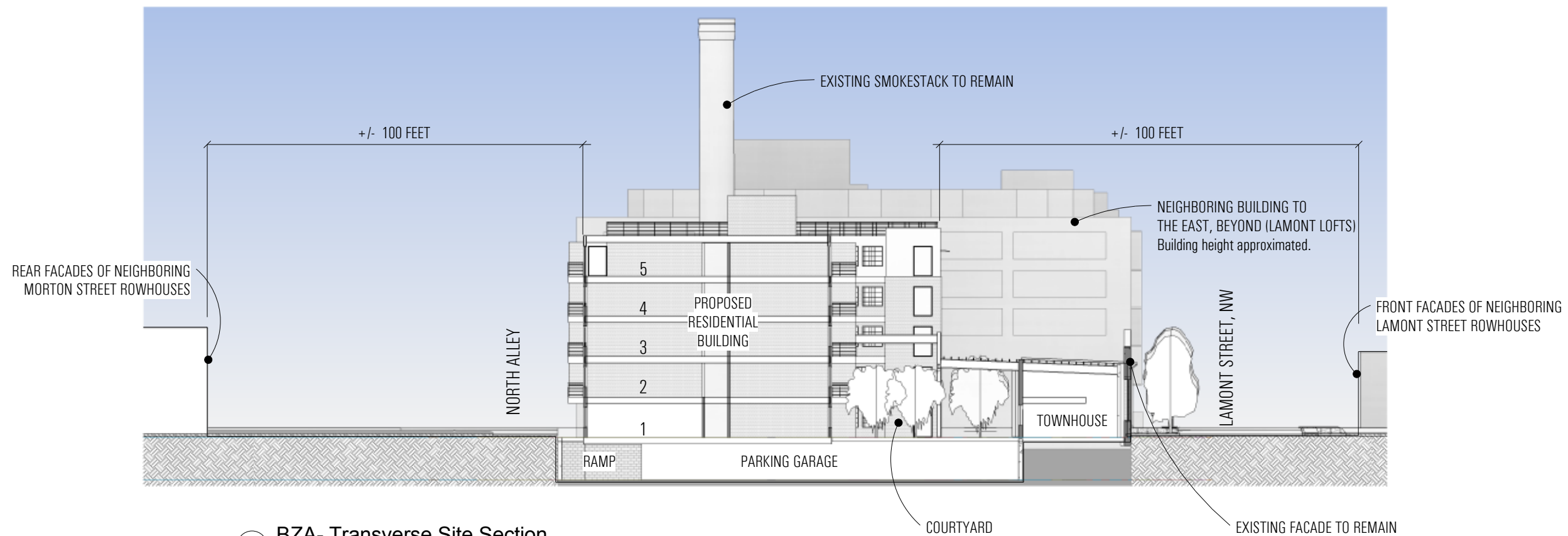


EAST SIDE ELEVATION





② BZA- Longitudinal Site Section
1" = 40'-0"



① BZA- Transverse Site Section
1" = 30'-0"

