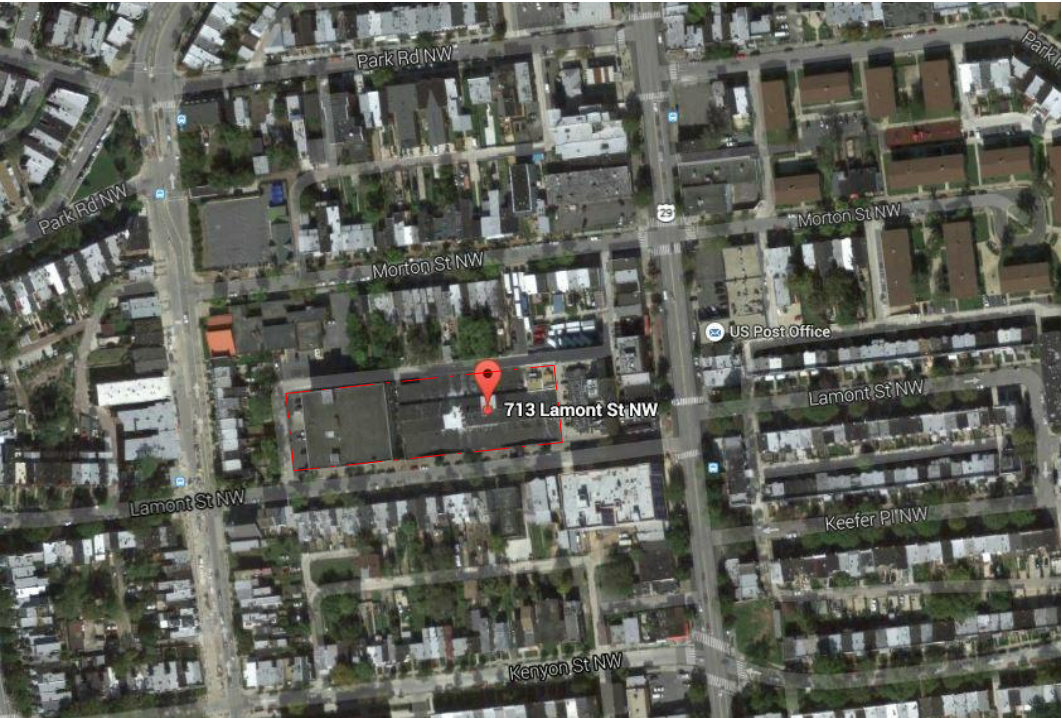


Project:
713 Lamont Street, NW Washington DC 20010

Board of Zoning Adjustment Submittal Set
September 8, 2014

Proposed Apartments, Townhouses, and Condominiums

SITE LOCATION



VIEW FROM LAMONT STREET, NW



DRAWING LIST

CS	COVER SHEET
0	ALTA SURVEY
1	AERIAL RENDERING
2	AREA PHOTOS
3	AREA PHOTOS
4	EXISTING SITE PLAN
5	PROPOSED SITE PLAN A
6	PROPOSED SITE PLAN B
7	PROPOSED SITE PLAN C
8	PARKING LEVEL PLAN
9	FIRST FLOOR PLAN
10	TYPICAL FLOOR PLAN
11	BUILDING ELEVATIONS
12	SITE SECTIONS
13	DETAIL ELEVATIONS
14	DETAIL ELEVATIONS

SCHEDULE B NOTES:

1. THE PROPERTY IS KNOWN AS LOTS 36-37, 56, 94-97 AND A&T LOTS 875 AND 879, SQUARE 2893 AND ALSO BEING KNOWN AS THE LANDS OF PALACE LAUNDRY, INC. AS RECORDING IN INSTRUMENT # 200803371, AMONG THE LAND RECORDS OF WASHINGTON, DC AND HAVING A S&L OF 2893-0036, 2893-0037, 2893-0056, 2893-0094, 2893-0095, 2893-0096, 2893-0097, 2893-0875 AND 2893-0879.
2. TOTAL AREA = 82,606 SQUARE FEET
3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THESE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
4. THIS SURVEY IS BASED ON INFORMATION AND REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. S-9017, WITH AN EFFECTIVE DATE OF JULY 12, 2013. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, SECTION II:

6. AGREEMENT FOR USE OF FUEL OIL STORAGE TANKS BETWEEN LEONARD R. VINER AND PALACE LAUNDRY, INC. DATED JUNE 5, 1978 AND RECORDED JUNE 28, 1978 AS INSTRUMENT NO. 21698, AS MODIFIED AND SUPPLEMENTED BY AIR RIGHTS EASEMENT DATED SEPTEMBER 3, 2004 AND RECORDED SEPTEMBER 22, 2004 AS INSTRUMENT NO. 2004130630;

AS TO THE AGREEMENT FOR USE OF FUEL OIL STORAGE TANKS: MAY AFFECT SUBJECT PROPERTY. LOCATION OF UNDERGROUND FUEL TANKS DESCRIBED IN THE DOCUMENT IS SITUATED ON LOT 76, WHICH IS NOW PART OF LOT 114 TO THE EAST OF THE SUBJECT PROPERTY. SAID LOT 114 IS MOSTLY OCCUPIED BY A BUILDING PRESENTLY. HOWEVER, DURING THE FIELD SURVEY, A CONCRETE PAD WITH VARIOUS DIAMETER LIDS WAS LOCATED ON LOT 37. IT IS POSSIBLE THAT THIS MAY BE THE NEW LOCATION OF THE UNDERGROUND FUEL TANKS.

AS TO THE AIR RIGHTS EASEMENT: AFFECTS A&T LOT 879, SHOWN.

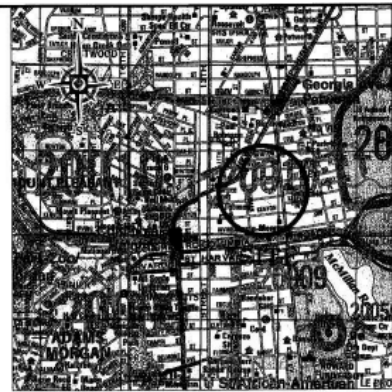
7. THE EXISTENCE OF POSSIBLE UNDERGROUND STORAGE TANKS ARE NOTED PER EXCEPTION #6 ABOVE.
8. THE PROPERTY IS LOCATED IN FEMA FIRM AREA THAT HAS NOT BEEN MAPPED, SEE REF. #2.
9. GAS UTILITIES ARE SHOWN PER PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT.
10. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

NOTES CONT

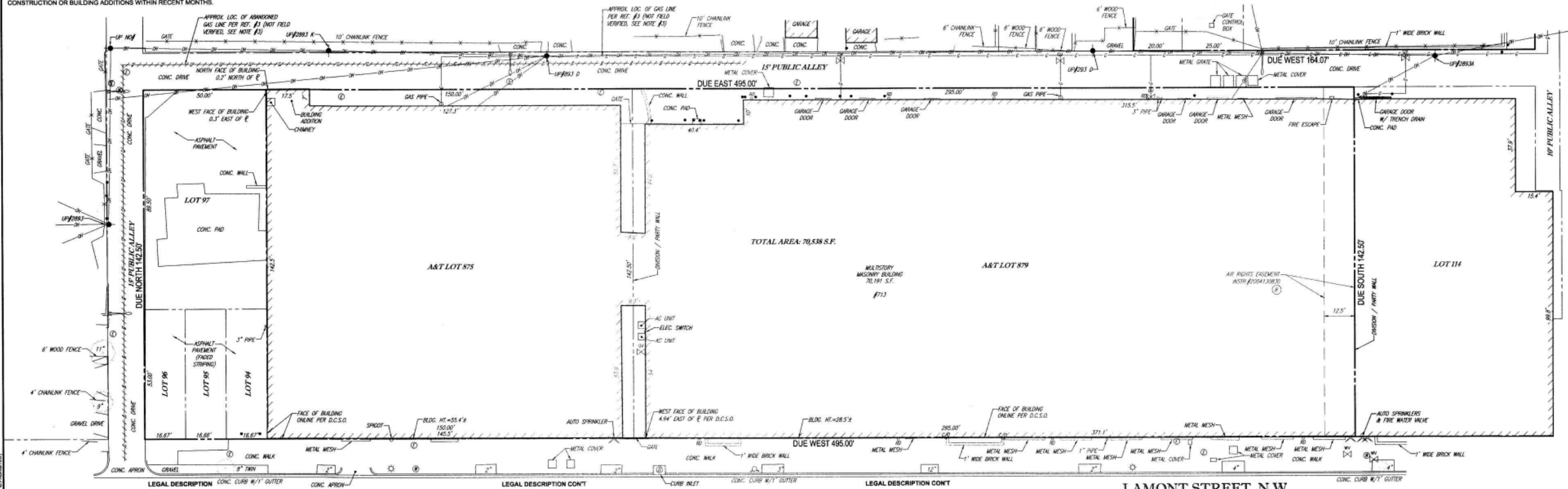
11. THERE ARE NOT ANY CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
12. BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS, AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH THE ACTUAL MEASURED DIMENSIONS. ALL PROPERTY LINES IN THE DISTRICT OF COLUMBIA ARE SUBJECT TO REVIEW AND APPROVAL BY THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA. A "SURVEY TO MARK" PREPARED BY THE DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR IS REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CONFIGURATION FOR THIS PROPERTY. THIS SURVEY DOES NOT REFLECT A "SURVEY TO MARK". THE PROPERTY LINE REFLECTED ON THIS SURVEY IS NOT TO BE USED FOR ANY CONSTRUCTION STAKEOUT PURPOSES. A "SURVEY TO MARK" MUST BE APPROVED BY THE OFFICE OF THE SURVEYOR PRIOR TO BEGINNING ANY BUILDING DEMOLITION OR CONSTRUCTION OPERATIONS.

LEGEND

	HYDRANT		SIGN
	WATER VALVE		BOLLARD
	GAS VALVE		FENCE
	OVERHEAD WIRES		AREA LIGHT
	APPROX. LOC. UNDERGROUND GAS LINE		CLEAN OUT
	UTILITY POLE		TITLE REPORT EXCEPTION
	ELECTRIC MANHOLE		STREET LIGHT
	WATER MANHOLE		TREE (SIZE AS NOTED)
	STORM DRAIN MANHOLE		ROOF DRAIN



VICINITY MAP
ADC THE MAP PEOPLE
PERMIT USE NO. 20002153-6
SCALE: 1"=2,000'



LOTS NUMBERED THIRTY-SIX (36) AND THIRTY-SEVEN (37) IN BLOCK NINE (9), NOW KNOWN AS SQUARE NUMBERED TWENTY-EIGHT HUNDRED NINETY-THREE (2893), IN A SUBDIVISION MADE BY SHEA KNOWN AS "TODD AND BROWN'S SUBDIVISION OF MOUNT PLEASANT AND PLEASANT PLAINS", AS PER PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER COUNTY 12 AT FOLIO 138.

AND

LOTS NUMBERED NINETY-FOUR (94), NINETY-FIVE (95), NINETY-SIX (96) AND NINETY-SEVEN (97) IN A SUBDIVISION MADE BY GREEN, IN SQUARE NUMBERED TWENTY-EIGHT HUNDRED NINETY-THREE (2893), OF "TODD AND BROWN'S SUBDIVISION OF MOUNT PLEASANT AND PLEASANT PLAINS", AS PER PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER COUNTY 47 AT FOLIO 51.

AND

ALL OF LOTS NUMBERED THREE (3), FOUR (4), FIVE (5), SIX (6), SEVEN (7) AND PART OF LOT NUMBERED TWO (2) IN SQUARE NUMBERED TWENTY-EIGHT HUNDRED NINETY-THREE (2893), IN "TODD AND BROWN'S SUBDIVISION OF MOUNT PLEASANT AND PLEASANT PLAINS", AS PER PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER COUNTY 24 AT FOLIO 24 AND 25, EXCEPT THE REAR OR NORTH 7.50 FEET BY FULL WIDTH OF SAID LOTS AS DEDICATED FOR ALLEY PURPOSES AS SHOWN ON PLAT RECORDED IN SAID SURVEYOR'S OFFICE IN LIBER 61 AT FOLIO 32, AND DESCRIBED IN ONE PARCEL AS FOLLOWS:

BEGINNING FOR THE SAME AT A POINT AT THE SOUTHWEST CORNER OF SAID LOT NUMBERED SEVEN (7) IN SQUARE 2893, SAID POINT BEING ON THE NORTH LINE OF LAMONT STREET AND RUNNING THENCE NORTH WITH THE WEST LINE OF SAID LOT 142.50 FEET TO A POINT AT THE NORTHWEST CORNER OF SAID LOT 7, AND ON THE SOUTH LINE OF A PUBLIC ALLEY; THENCE WITH SAID SOUTH LINE OF PUBLIC ALLEY EAST 286.12 FEET; THENCE LEAVING SAID SOUTH LINE OF PUBLIC ALLEY AND CROSSING SAID LOT TWO (2) IN SQUARE 2893, SOUTH 0 DEGREES 03 MINUTES, 51 SECONDS WEST 142.50 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 2, AND THE NORTH LINE OF LAMONT STREET;

THENCE WITH SAID NORTH LINE OF LAMONT STREET WEST 294.96 FEET TO THE POINT OF BEGINNING, CONTAINING 42,043.20 SQUARE FEET, MORE OR LESS.

NOTE: AT THE DATE HEREOF OF THE ABOVE DESCRIBED PROPERTY IS DESIGNATED ON THE RECORDS OF THE ASSESSOR FOR THE DISTRICT OF COLUMBIA FOR ASSESSMENT AND TAXATION PURPOSES AS LOT NUMBERED EIGHT HUNDRED SEVENTY-FIVE (875) IN SQUARE NUMBERED TWENTY-EIGHT HUNDRED NINETY-THREE (2893).

AND

LOT NUMBERED FIFTY-SIX (56) IN SQUARE NUMBERED TWENTY-EIGHT HUNDRED NINETY-THREE (2893) IN MCKIMME AND OTHERS' SUBDIVISION OF LOTS IN BLOCK NUMBERED NINE (9) OF "TODD AND BROWN'S SUBDIVISION OF PARTS OF 'MOUNT PLEASANT' AND 'PLEASANT PLAINS', AS PER PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER COUNTY 20 AT FOLIO 105.

AND

LOTS NUMBERED EIGHT (8) AND TEN (10) IN BLOCK NINE (9) IN TODD AND BROWN'S SUBDIVISION OF "MOUNT PLEASANT" AND "PLEASANT PLAINS", AS PER PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER COUNTY 24 AT FOLIO 24 AND 25, EXCEPT THE REAR OR NORTH 7.50 FEET BY THE FULL WIDTH OF SAID LOTS AS DEDICATED AND SHOWN ON PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER 61 AT FOLIO 32;

ALSO LOTS NUMBERED NINETY-EIGHT (98), NINETY-NINE (99), ONE HUNDRED (100), ONE HUNDRED ONE (101) AND ONE HUNDRED TWO (102) IN DUNIGAN'S SUBDIVISION OF LOT 9 IN BLOCK 9 IN TODD AND BROWN'S SUBDIVISION OF "MOUNT PLEASANT" AND "PLEASANT PLAINS", AS PER PLAT RECORDED IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA IN LIBER 47 AT FOLIO 190.

NOTE: AT THE DATE HEREOF OF THE ABOVE DESCRIBED PROPERTY IS DESIGNATED ON THE RECORDS OF THE ASSESSOR FOR THE DISTRICT OF COLUMBIA FOR ASSESSMENT AND TAXATION PURPOSES AS LOT NUMBERED EIGHT HUNDRED SEVENTY-FIVE (875) IN SQUARE NUMBERED TWENTY-EIGHT HUNDRED NINETY-THREE (2893).

TOGETHER WITH THE RIGHTS SET FORTH IN THAT CERTAIN AGREEMENT FOR USE OF FUEL OIL STORAGE TANKS BETWEEN LEONARD R. VINER AND PALACE LAUNDRY, INC. DATED JUNE 5, 1978 AND RECORDED JUNE 28, 1978 AS INSTRUMENT NO. 21698, AS AMENDED AND SUPPLEMENTED BY THAT CERTAIN AIR RIGHTS EASEMENT BY AND BETWEEN PALACE LAUNDRY, INC. AND 701 LAMONT LLC DATED SEPTEMBER 3, 2004 AND RECORDED SEPTEMBER 22, 2004 AS INSTRUMENT NO. 2004130630.

REFERENCES:

1. THE DISTRICT OF COLUMBIA, REAL PROPERTY SERVICE CENTER, SQUARE 2893.
2. MAP ENTITLED "FIRM, PANEL 1100010017C". PANEL HAS NOT BEEN PRINTED FOR THIS LOCATION.
3. UNTITLED MAP SHOWING GAS LINE, PRINTED FROM THE WASHINGTON GAS LIGHT COMPANY WEB PAGE ON 09-09-2013.

LAMONT STREET, N.W.

TO PALACE LAUNDRY, INC. & FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11(B), 13, 14, 15, 17 & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 05, 2013.

ROBERT C. HARR, JR.
DISTRICT OF COLUMBIA LICENSED LAND SURVEYOR
No. 508059

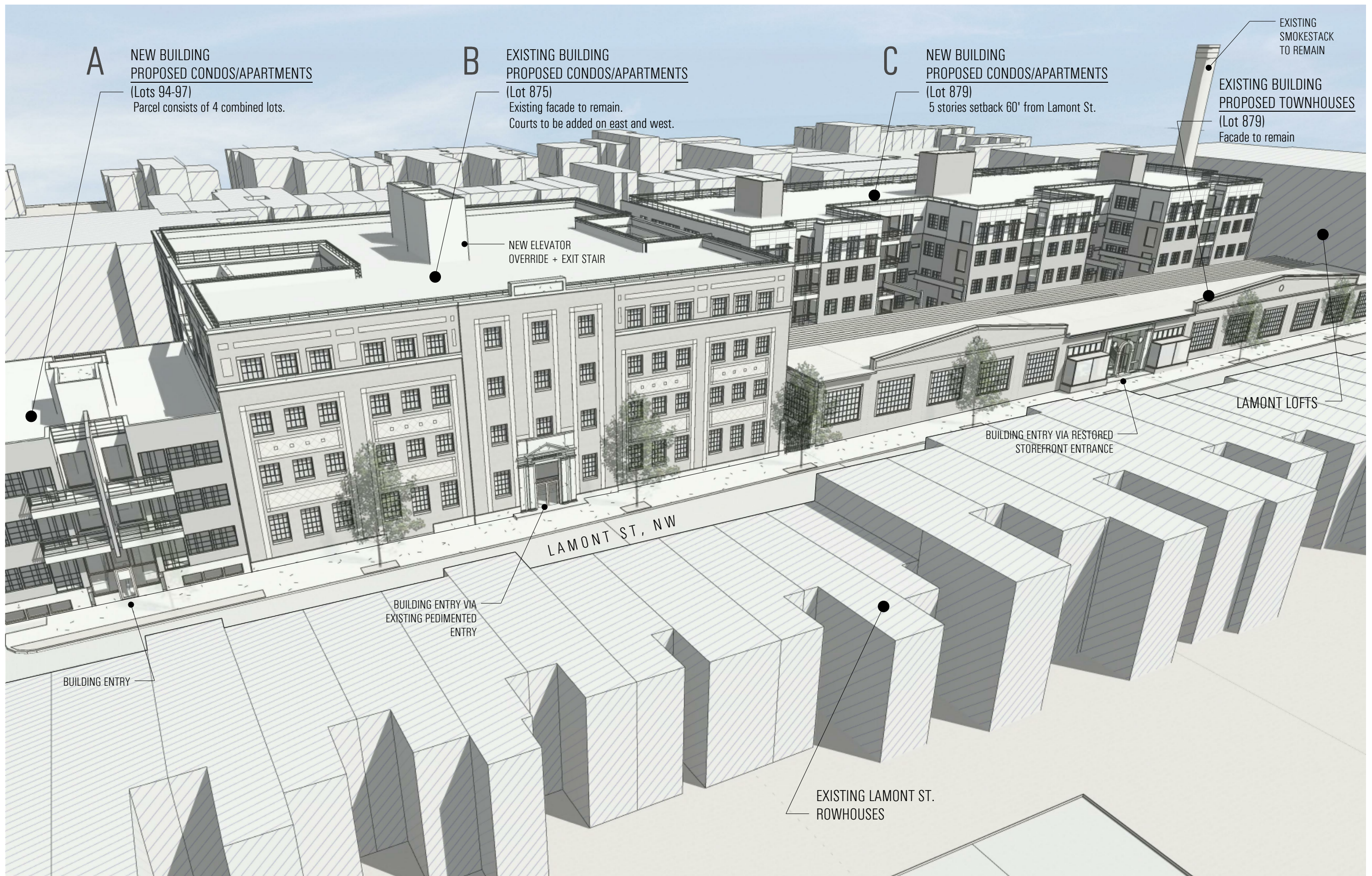
THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES AND DOES NOT COVER MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER, NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

ALTA/ACSM LAND TITLE SURVEY
LINENS OF THE WEEK

LAMONT STREET, N.W.
AND MORTON STREET, N.W.
SQUARE 2893
LOTS 36-37, 56, 94-97 AND
A&T LOTS 875 AND 879
WASHINGTON D.C., N.W.

BOHLER ENGINEERING
2308 DAVIS DRIVE, SUITE 204
BETHESDA, VIRGINIA 20814
703.729.9500 • 703.729.9011 FAX
www.bohlereng.com

FILE NO. SR135532
DATE 09-10-13
FIELD DATE 09-05-13
CREW CHIEF B.S.
DRAWN M.J.M.
REVIEWED K.A.W.
APPROVED R.C.H.
SCALE 1"=20'
DWG. NO. 1 OF 1



AERIAL RENDERING FROM LAMONT STREET



1A

LAMONT STREET, NW: View toward northwest. Existing facilities and smokestack. 4-story building in distance.



1B

LAMONT STREET, NW: View toward west. Existing facilities at right. 3-story apartments and 2-story rowhouses at left.



1C

LAMONT STREET, NW: View toward west. Existing facilities, including 4-story building, at right. 2-story rowhouses at left.



1D

LAMONT STREET, NW: View toward east. Existing building at left. 3 1/2-story apartments at right.



1E

LAMONT STREET, NW: View toward northeast. West facade of existing building in background, and west alley in foreground.