

DRAWING LIST

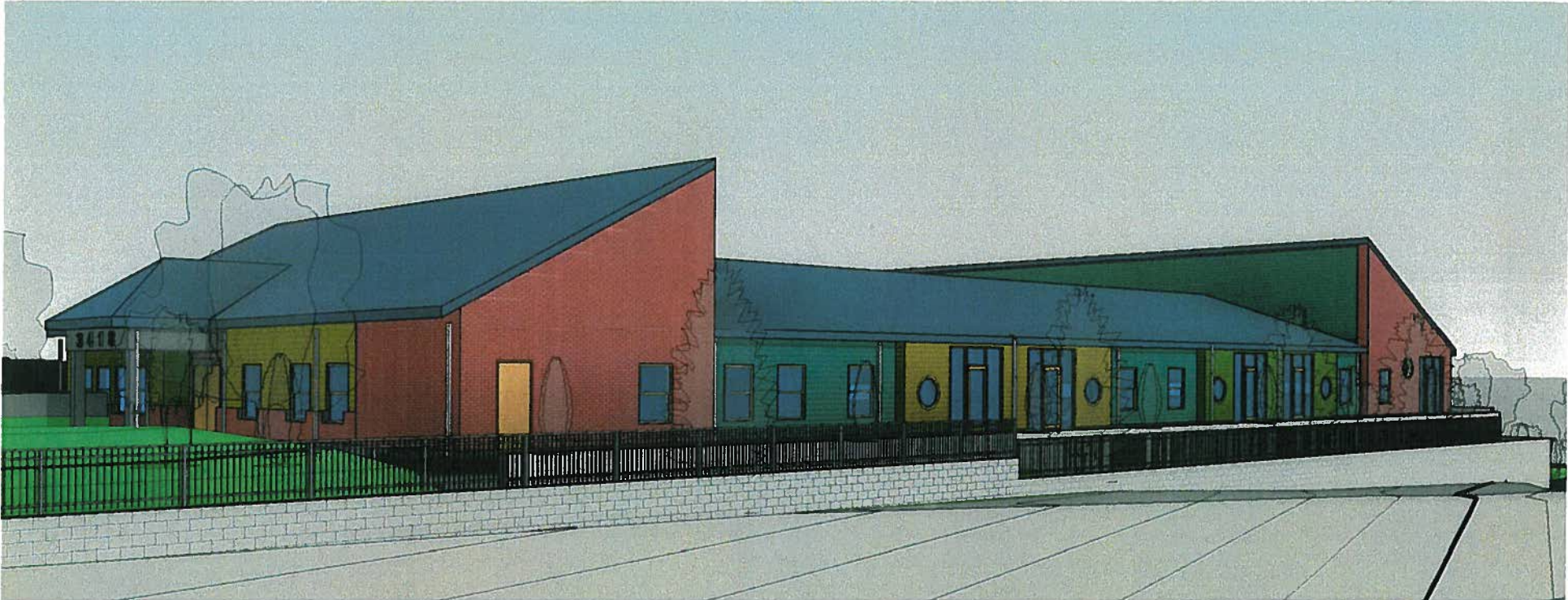
COVER SHEET
CS-1 COVER SHEET

CIVIL
C-100 EXISTING CONDITIONS
C-101 SITE PLAN
C-102 CONCEPT STORMWATER PLAN
LP-101 LANDSCAPE PLAN

ARCHITECTURAL
A-101 ARCHITECTURAL SITE PLAN
A-102 ARCHITECTURAL FLOOR PLAN
A-201 ARCHITECTURAL BUILDING ELEVATIONS
A-202 ARCHITECTURAL BUILDING ELEVATIONS

BRIGHT BEGINNINGS DAY CARE CENTER
EAST OF THE RIVER

BZA APPLICATION SET
JUNE 19, 2014



HAMILTON ASSOCIATES, LLC

CS-1 COVER SHEET

JUNE 19, 2014



BRIGHT BEGINNINGS DAY CARE
CENTER, EAST OF THE RIVER

3418 4TH STREET, S.E.
WASHINGTON, DC 20032

UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS

DC-BENCHMARK

SOUTHWEST CORNER 1ST CONCRETE STEP MAIN ENTRANCE ABRAM SIMON SCHOOL @ 4TH STREET AND MISSISSIPPI AVE S.E.

ELEVATION = 71.70

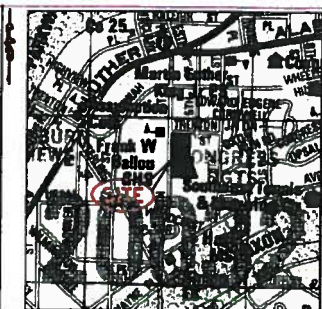
Node #	North	East	Elev	Descr
1	8632.2867	3828.0386	187.33	trav pt
2	8392.3910	3468.8409	188.66	trav pt
3	8576.7420	3824.8740	171.30	ty pt
4	8446.3301	3870.7127	187.80	ty pt
5	8311.2131	3470.0288	148.86	cc fd
6	8311.2828	3828.0386	147.87	cc fd
7	8311.2067	3821.0429	148.26	cc fd

LEGAL DESCRIPTION

ALL OF THOSE LOTS OR PARCELS OF LAND LOCATED IN THE DISTRICT OF COLUMBIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

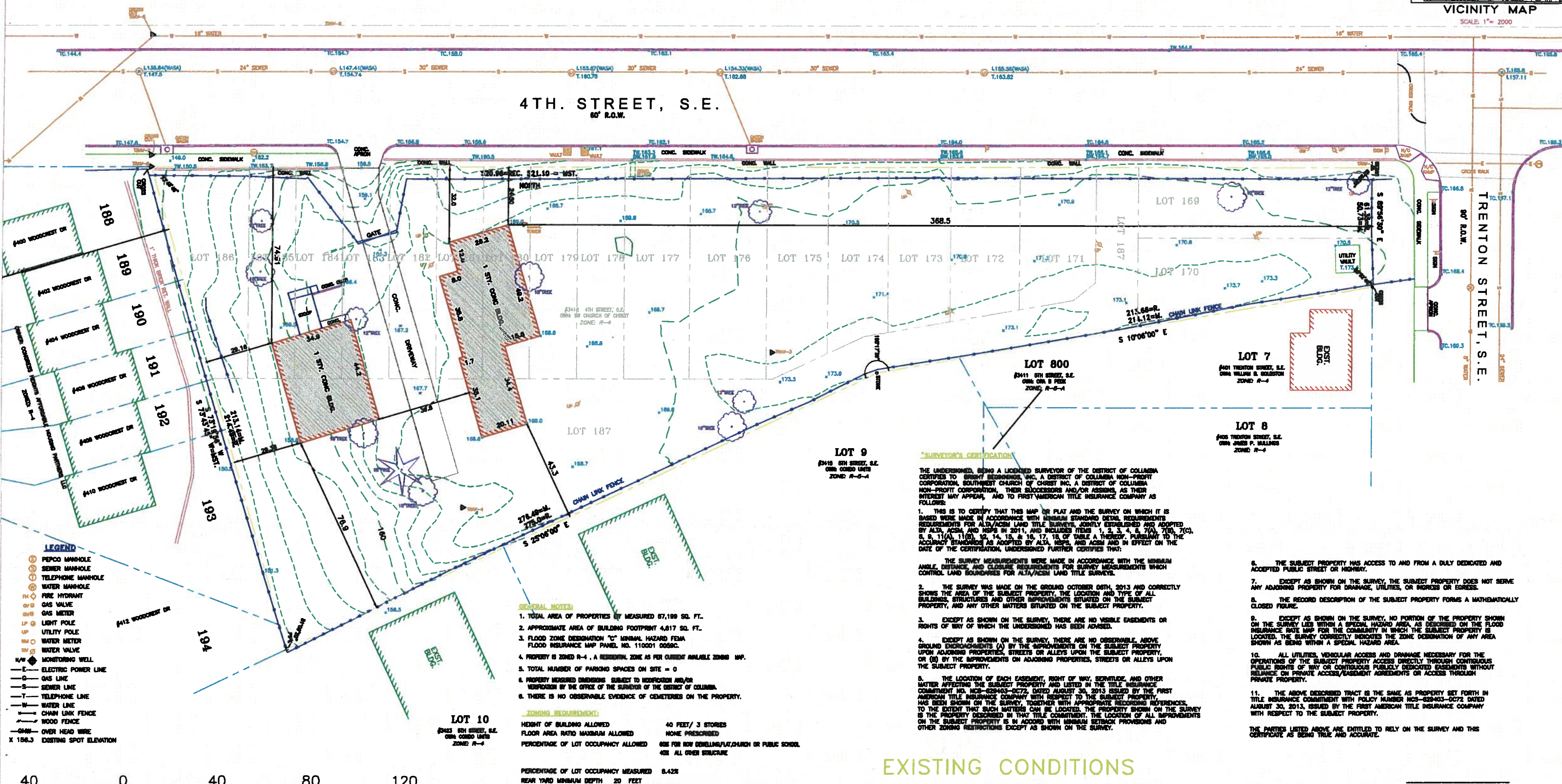
LOTS 189 THROUGH 187, INCLUSIVE IN SQUARE 5989 IN A SUBDIVISION MADE BY 3418 4TH STREET S.E., LLC, AS PER PLAT RECORDED IN LIBER NO. 199 AT FOLIO 71 AMONG THE RECORDS OF THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.

SCALE: 1" = 40'



VICINITY MAP

SCALE: 1" = 2000



4TH. STREET, S.E.
60' R.O.W.

TRENTON STREET, S.E.
60' R.O.W.

GENERAL NOTES

1. TOTAL AREA OF PROPERTIES BY MEASURED 57,189 SQ. FT.
2. APPROXIMATE AREA OF BUILDING FOOTPRINT 4,817 SQ. FT.
3. FLOOD ZONE DESIGNATION "C" MINIMAL HAZARD FEMA FLOOD INSURANCE MAP PANEL NO. 110001 0059C.
4. PROPERTY IS ZONED R-4, A RESIDENTIAL ZONE AS PER CURRENT ANNUAL ZONING MAP.
5. TOTAL NUMBER OF PARKING SPACES ON SITE = 0
6. PROPERTY MEASURED DIMENSIONS SUBJECT TO MODIFICATION AND/OR VERIFICATION BY THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.
7. THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES ON THE PROPERTY.

ZONING REQUIREMENTS

HEIGHT OF BUILDING ALLOWED	40 FEET / 3 STORES
FLOOR AREA RATIO MAXIMUM ALLOWED	NONE PRESCRIBED
PERCENTAGE OF LOT OCCUPANCY ALLOWED	60% FOR ROW DOUBLEW/PLAZA/CHURCH OR PUBLIC SCHOOL
	40% ALL OTHER STRUCTURE

PERCENTAGE OF LOT OCCUPANCY MEASURED 6.42%
REAR YARD MINIMUM DEPTH 20 FEET

"SURVEYOR'S CERTIFICATION"

THE UNDERSIGNED, BEING A LICENSED SURVEYOR OF THE DISTRICT OF COLUMBIA CERTIFIED TO BRIGHT BEGINNING DAYCARE, INC. A DISTRICT OF COLUMBIA NON-PROFIT CORPORATION, SOUTHWEST CHURCH OF CHRIST INC. A DISTRICT OF COLUMBIA NON-PROFIT CORPORATION, THEIR SUCCESSORS AND/OR ASSIGNS, AS THEIR INTEREST MAY APPEAR, AND TO FIRST AMERICAN TITLE INSURANCE COMPANY AS FOLLOWS:

1. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM, AND NSPS IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B), 7(C), 8, 9, 11(A), 11(B), 12, 14, 15, 8 & 16, 17, 18 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THE CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT:
- THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.
- THE SURVEY WAS MADE ON THE GROUND OCTOBER 08TH, 2013 AND CORRECTLY SHOWS THE AREA OF THE SUBJECT PROPERTY, THE LOCATION AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY, AND ANY OTHER MATTERS SITUATED ON THE SUBJECT PROPERTY.
- EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED.
- EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO OBSERVABLE ABOVE GROUND ENCROACHMENTS (A) BY THE IMPROVEMENTS ON THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY, OR (B) BY THE IMPROVEMENTS ON ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY.
- THE LOCATION OF EACH EASEMENT, RIGHT OF WAY, SERVITUDE, AND OTHER MATTER AFFECTING THE SUBJECT PROPERTY AND LISTED IN THE TITLE INSURANCE COMMITMENT NO. HCS-659403-0072, DATED AUGUST 30, 2013 ISSUED BY THE FIRST AMERICAN TITLE INSURANCE COMPANY WITH RESPECT TO THE SUBJECT PROPERTY, HAS BEEN SHOWN ON THE SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES TO THE EXTENT THAT SUCH MATTERS CAN BE LOCATED. THE PROPERTY SHOWN ON THE SURVEY IS THE PROPERTY DESCRIBED IN THAT TITLE COMMITMENT. THE LOCATION OF ALL IMPROVEMENTS ON THE SUBJECT PROPERTY IS IN ACCORD WITH MINIMUM SETBACK PROVISIONS AND OTHER ZONING RESTRICTIONS EXCEPT AS SHOWN ON THE SURVEY.

8. THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY.
- EXCEPT AS SHOWN ON THE SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS.
- THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE.
- EXCEPT AS SHOWN ON THE SURVEY, NO PORTION OF THE PROPERTY SHOWN ON THE SURVEY LIES WITHIN A SPECIAL HAZARD AREA, AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED. THE SURVEY CORRECTLY INDICATES THE ZONE DESIGNATION OF ANY AREA SHOWN AS BEING WITHIN A SPECIAL HAZARD AREA.
- ALL UTILITIES, VEHICULAR ACCESS AND DRAINAGE NECESSARY FOR THE OPERATIONS OF THE SUBJECT PROPERTY ACCESS DIRECTLY THROUGH CONTIGUOUS PUBLIC RIGHTS OF WAY OR CONTIGUOUS PUBLICLY DEDICATED EASEMENTS WITHOUT RELIANCE ON PRIVATE ACCESS/EASEMENT AGREEMENTS OR ACCESS THROUGH PRIVATE PROPERTY.
- THE ABOVE DESCRIBED TRACT IS THE SAME AS PROPERTY SET FORTH IN TITLE INSURANCE COMMITMENT WITH POLICY NUMBER HCS-659403-0072 DATED AUGUST 30, 2013, ISSUED BY THE FIRST AMERICAN TITLE INSURANCE COMPANY WITH RESPECT TO THE SUBJECT PROPERTY.

THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.

AAH CONSULTANTS LLC
4200 FORBES BLVD, SUITE 203
LANHAM, MARYLAND 20706
ENGINEERS
SURVEYORS
CONSULTANTS

BRIGHT BEGINNING DAYCARE
3418 4TH STREET, S.E.
LOTS 189 THRU 187 SQUARE 5969

DATED:

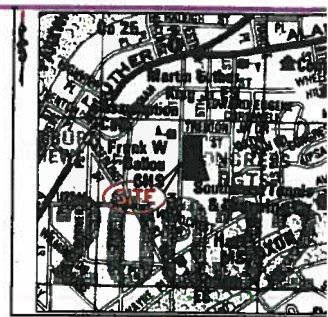
ANDREW HUSBANDS
LICENSED NO.



Scale 1" = 40'

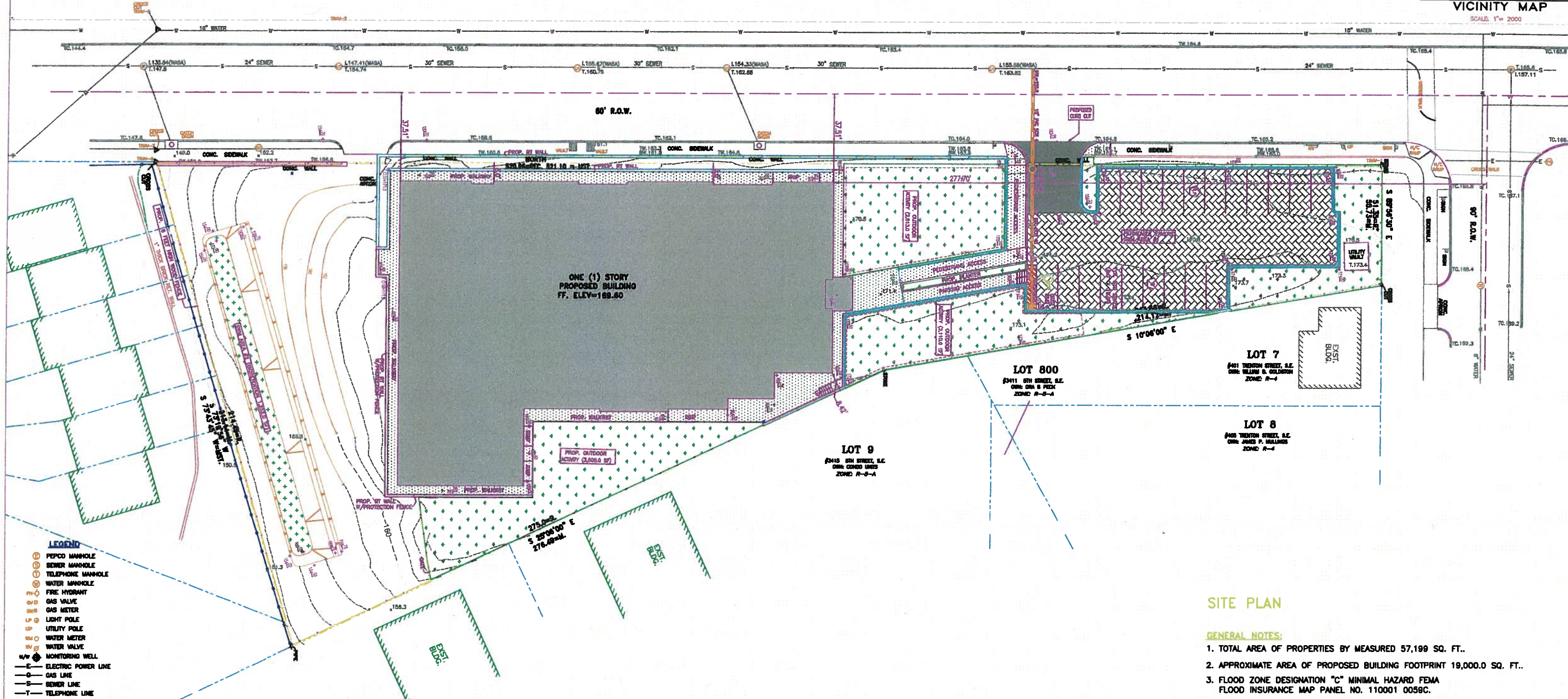
C-100

SCALE: 1" = 40'



VICINITY MAP

SCALE: 1" = 2000



- LEGEND**
- PEPCO MANHOLE
 - SEWER MANHOLE
 - TELEPHONE MANHOLE
 - WATER MANHOLE
 - FIRE HYDRANT
 - GAS VALVE
 - GAS METER
 - LIGHT POLE
 - UTILITY POLE
 - WATER METER
 - WATER VALVE
 - MONITORING WELL
 - ELECTRIC POWER LINE
 - GAS LINE
 - SEWER LINE
 - TELEPHONE LINE
 - WATER LINE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - OVER HEAD WIRE
 - EXISTING SPOT ELEVATION
 - PROPOSED GRADE ELEVATION



Scale 1" = 40'

SITE PLAN

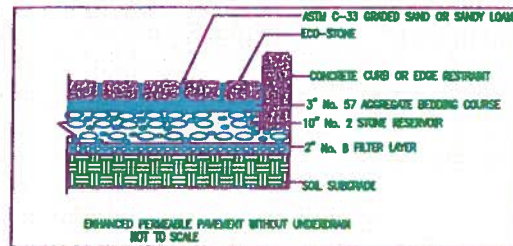
GENERAL NOTES:

1. TOTAL AREA OF PROPERTIES BY MEASURED 57,199 SQ. FT..
2. APPROXIMATE AREA OF PROPOSED BUILDING FOOTPRINT 19,000.0 SQ. FT..
3. FLOOD ZONE DESIGNATION "C" MINIMAL HAZARD FEMA FLOOD INSURANCE MAP PANEL NO. 110001 0059C.
4. PROPERTY IS ZONED R-4, A RESIDENTIAL ZONE AS PER CURRENT AVAILABLE ZONING MAP.
5. TOTAL NUMBER OF PROVIDED PARKING SPACES ON SITE = 20
6. TOTAL NUMBER OF CHILDREN: 100
7. REQUIRED OUTDOOR ACTIVITY AREA: 7,500.0 SF (75 SF OUTDOOR ACTIVITY AREA PER CHILD)
8. PROPOSED OUTDOOR ACTIVITY AREA: 8,223.0 SF
9. WATER CONNECTION WILL BE FROM THE EXISTING ONSITE WATER VAULT.
10. EXISTING SEWER LINE WILL BE RE-USED OR UPGRADED BASED ON THE CCTV.
11. A SAFETY FENCE WILL BE PROVIDED AROUND THE ENTIRE PROPERTY AS SPECIFIED BY THE ARCHITECT

AAH CONSULTANTS LLC
4200 FORBES BLVD, SUITE 203
LANHAM, MARYLAND 20706

BRIGHT BEGINNING DAYCARE
3418 4TH STREET, S.E.
LOTS 169 THRU 187 SQUARE 5969

ENGINEERS
SURVEYORS
CONSULTANTS

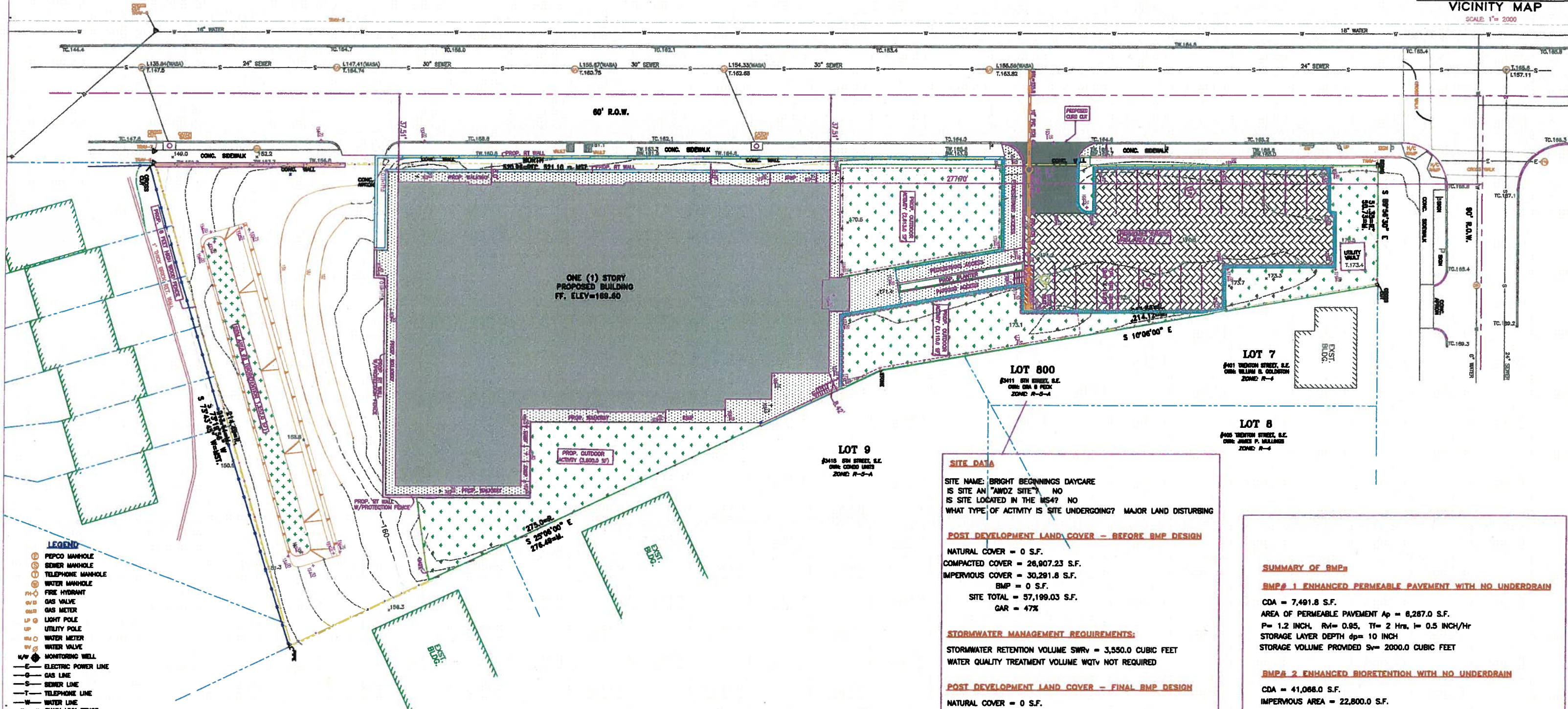


SCALE: 1" = 40'



VICINITY MAP

SCALE: 1" = 2000'



- LEGEND**
- PEPCO MANHOLE
 - SEWER MANHOLE
 - TELEPHONE MANHOLE
 - WATER MANHOLE
 - FIRE HYDRANT
 - GAS VALVE
 - GAS METER
 - LIGHT POLE
 - UTILITY POLE
 - WATER METER
 - WATER VALVE
 - MONITORING WELL
 - ELECTRIC POWER LINE
 - GAS LINE
 - SEWER LINE
 - TELEPHONE LINE
 - WATER LINE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - OVER HEAD WIRE
 - X 158.3 EXISTING SPOT ELEVATION
 - + 160.0 PROPOSED GRADE ELEVATION



CONCEPT C-102 STORMWATER PLAN

AAH CONSULTANTS LLC
4200 FORBES BLVD, SUITE 203
LANHAM, MARYLAND 20706

ENGINEERS
SURVEYORS
CONSULTANTS

BRIGHT BEGINNING DAYCARE
3418 4TH STREET, S.E.
LOTS 169 THRU 187 SQUARE 5969

SITE DATA

SITE NAME: BRIGHT BEGINNINGS DAYCARE
IS SITE AN "AMDZ SITE"? NO
IS SITE LOCATED IN THE MS4? NO
WHAT TYPE OF ACTIVITY IS SITE UNDERGOING? MAJOR LAND DISTURBING

POST DEVELOPMENT LAND COVER - BEFORE BMP DESIGN

NATURAL COVER = 0 S.F.
COMPACTED COVER = 26,907.23 S.F.
IMPERVIOUS COVER = 30,291.8 S.F.
BMP = 0 S.F.
SITE TOTAL = 57,199.03 S.F.
GAR = 47%

STORMWATER MANAGEMENT REQUIREMENTS:

STORMWATER RETENTION VOLUME SWRV = 3,550.0 CUBIC FEET
WATER QUALITY TREATMENT VOLUME WQTV NOT REQUIRED

POST DEVELOPMENT LAND COVER - FINAL BMP DESIGN

NATURAL COVER = 0 S.F.
COMPACTED COVER = 25,855.0 S.F.
IMPERVIOUS COVER = 24,024.8 S.F.
BMP = 7,519.0 S.F.
SITE TOTAL = 57,199.03 S.F.
GAR = 57.9%

TOTAL SWRV VOLUME PROVIDED IS 4,754.4 CUBIC FEET

SUMMARY OF BMPs

BMP# 1 ENHANCED PERMEABLE PAVEMENT WITH NO UNDERDRAIN

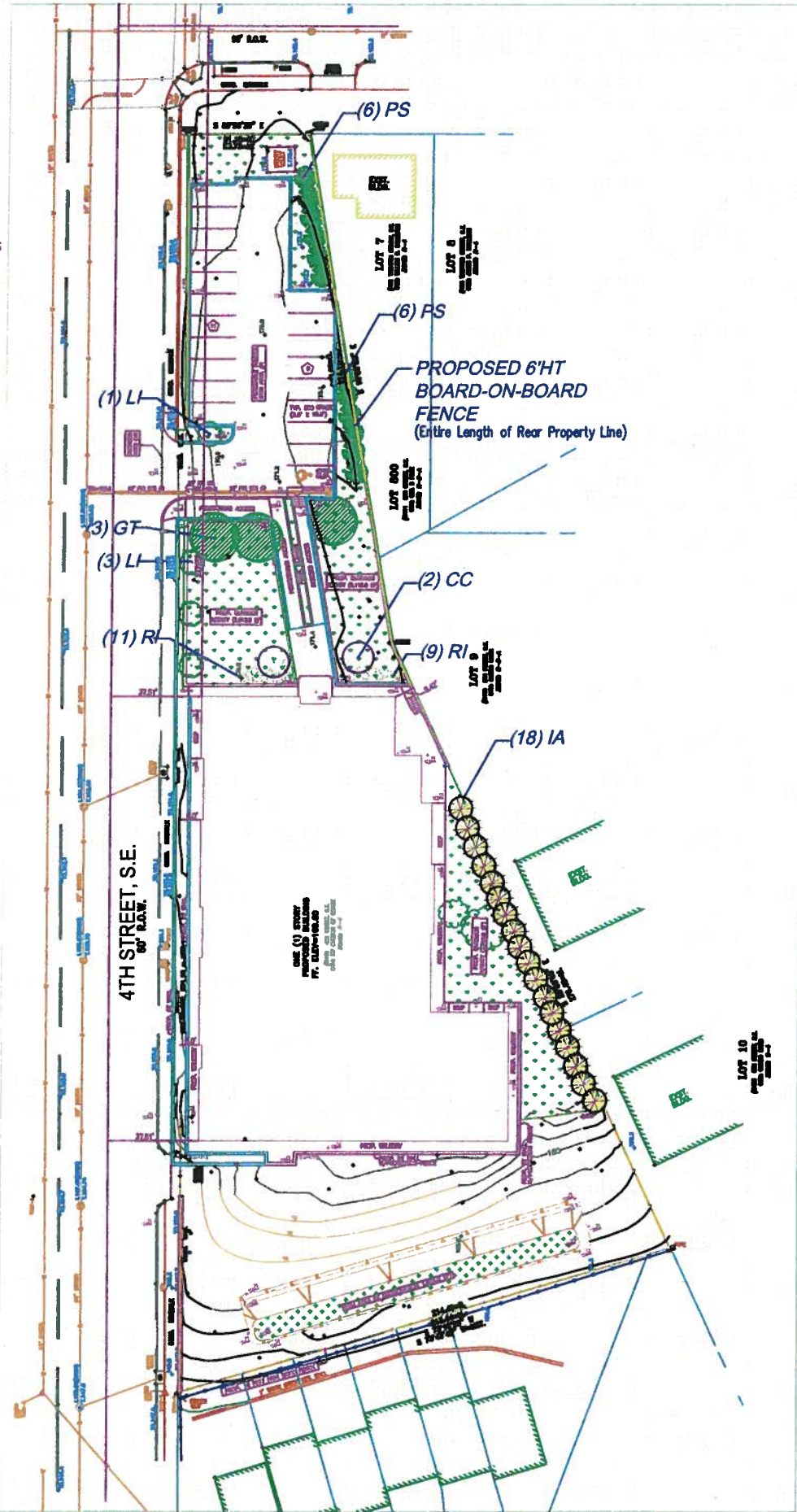
CDA = 7,491.8 S.F.
AREA OF PERMEABLE PAVEMENT A_p = 6,267.0 S.F.
 P = 1.2 INCH, R_v = 0.95, T = 2 Hrs, I = 0.5 INCH/Hr
STORAGE LAYER DEPTH d_p = 10 INCH
STORAGE VOLUME PROVIDED S_v = 2000.0 CUBIC FEET

BMP# 2 ENHANCED BIORETENTION WITH NO UNDERDRAIN

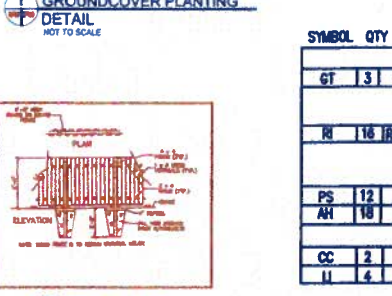
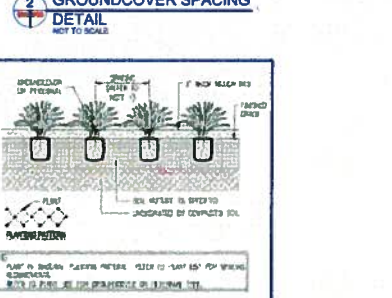
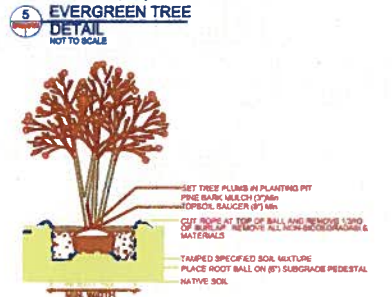
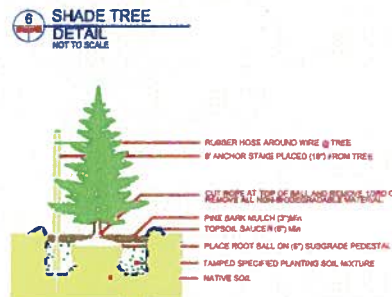
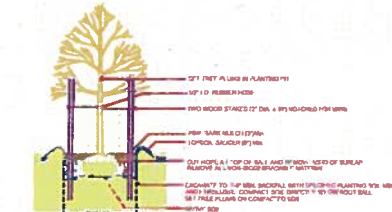
CDA = 41,066.0 S.F.
IMPERVIOUS AREA = 22,800.0 S.F.
COMPACTED COVER = 18,266.0 S.F.
FILTER MEDIA DEPTH = 54 INCH
GRAVEL OR STONE DEPTH = 12 INCH
BIORETENTION SURFACE AREA: BOTTOM (1,252.0 S.F.) AND TOP (1,384.0 S.F.)
BIORETENTION SURFACE PONDING DEPTH = 6 INCH
STORAGE VOLUME PROVIDED $S_{vpractice}$ = 2,754.4 CUBIC FEET

PLANTING NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MUST LOCATE AND VERIFY ALL EXISTING UTILITY LINES TO THEIR OWN SATISFACTION PRIOR TO PLANTING. THE CONTRACTOR MUST REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR IS PERMITTED TO MAKE MINOR ADJUSTMENTS IN THE FIELD TO AVOID SUCH CONFLICTS DUE TO EXISTING AND PROPOSED CONDITIONS.
- 2. THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPANT (IF APPLICABLE) ALL PLANT MATERIALS CALLED FOR ON THE LANDSCAPE PLAN AND/OR LISTED IN THE PLANT SCHEDULE.
- 3. ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE.
- 4. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTS FOR NINETY (90) DAYS AFTER THE COMPLETION OF PLANT INSTALLATION. MAINTENANCE SHALL CONSIST OF KEEPING ALL PLANTS IN A HEALTHY GROWING CONDITION.
- 5. ALL PLANTING AREAS SHALL CONTAIN A PLANTING SOIL MIX COMPRISED OF 2/3 SCREENED LOAM AND 1/3 PEAT MOSS OR LEAF COMPOST AMENDED WITH "PLANTONE" ORGANIC FERTILIZER, OR EQUAL AT THE RATE RECOMMENDED BY MANUFACTURER.
- 6. LOAM USED IN PLANTING BEDS SHALL BE UNIFORM IN COMPOSITION, FREE OF STONES LARGER THAN ONE (1) INCH AND SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH.
- 7. ALL PLANTS MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B+B) OR BARE ROOT IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
- 8. ALL PLANT MATERIAL SHALL BE SET PLUMB AND TO BEAR NATURAL REALTIONSHIP WITH FINISHED GRADE.
- 9. ALL PLANT MATERIAL SHALL BE WATERED IMMEDIATELY AFTER PLANTING.
- 10. STAKING, AND WRAPPING SHALL BE DONE IN ACCORDANCE TO THE LANDSCAPE SPECIFICATION GUIDELINES.
- 11. CERTIFYING LANDSCAPE ARCHITECT SHALL HAVE SOLE AUTHORITY TO DETERMINE FINAL NUMBER AND TYPE OF PLANTS INSTALLED AND WHERE THEY WILL BE PLACED ON SITE. CERTIFYING LANDSCAPE ARCHITECT MAY AUTHORIZE DEVIATION APPROVED PLAN BASED UPON FIELD/SITE CONDITIONS, AND IN COORDINATION WITH DCRA INSPECTOR.



THIS PLAN FOR LANDSCAPE USE ONLY



VICINITY MAP
38°46'45.86"N 76°53'43.16" W Elev.:3517'
Imagery Date: 10/12/2012



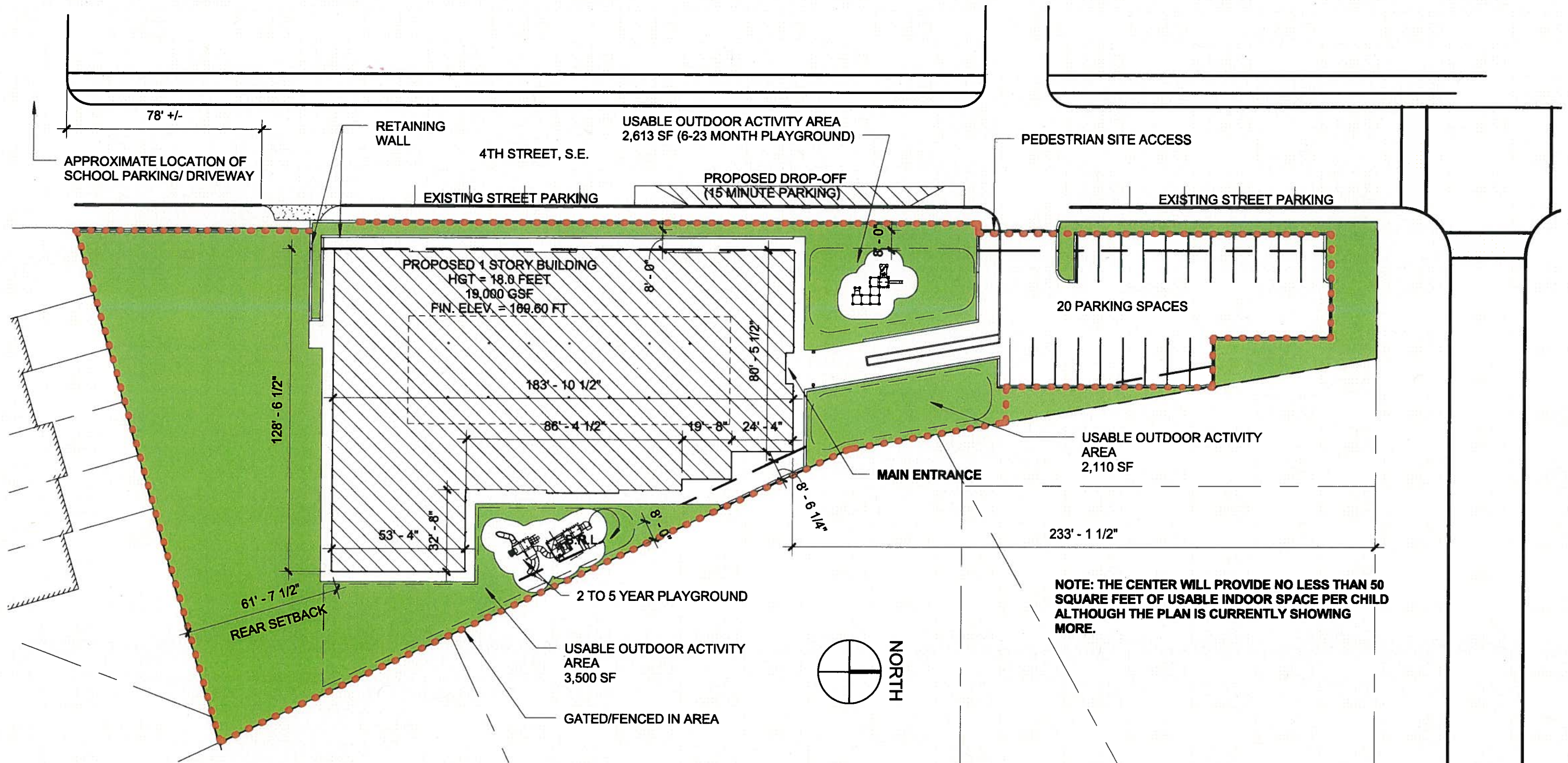
DATE	
REVISION	
NO.	

SHEET TITLE	LANDSCAPE PLAN
PROJECT TITLE	BRIGHT BEGINNINGS DAYCARE EAST OF THE RIVER 3418 4TH STREET, S.E. WASHINGTON, DC 20032

CLIENT	HAMILTON ASSOCIATES, LLC 3203 SHORTRIDGE LANE BOWIE, MARYLAND 20721
--------	---

FILE	214-0228/DWG
DATE	JUNE 27, 2014
SCALE	1" = 30'
PLAN NUMBER	LP-101

PLANT LIST					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE & REMARKS	NATIVE
DECIDUOUS TREES					
GT	3	Gladiolus tripartitus 'Inermis'	Thornless Honey Locust	2 1/2'-3' Cal.-B&B/Thornless Variety / Space Per Plan	X
SHRUBS					
RI	18	Rhododendron Indicum	Anem	16'-24' HL. 3 Gal. / 30'-36" O.C.	X
EVERGREEN TREES					
PS	12	Pinus strobus	White Pine	6'-8' HL. / See Plan	X
AH	18	Box x Attenuata	Foster's Holly	6'-8' HL. / See Plan	X
ORNAMENTAL TREES					
CC	2	Cercis canadensis	Chinese Redbud	10'-12' HL. / Space Per Plan	X
LI	4	Lagerstraeia indica	Crimson Hibiscus	10'-12' HL. / Space Per Plan	X



1 ARCHITECTURAL SITE PLAN

A-101 SCALE 1" = 40'-0"



Hamilton ASSOCIATES LLC

A-101 ARCHITECTURAL SITE PLAN

JUNE 19 2014



BZA Application Set

BRIGHT BEGINNINGS DAY CARE
CENTER, EAST OF THE RIVER

3418 4TH STREET, S.E.
WASHINGTON, DC 20032



BZA Application Set

BRIGHT BEGINNINGS DAY CARE
CENTER, EAST OF THE RIVER

3418 4TH STREET, S.E.
WASHINGTON, DC 20032



A-102 ARCHITECTURAL FLOOR PLAN

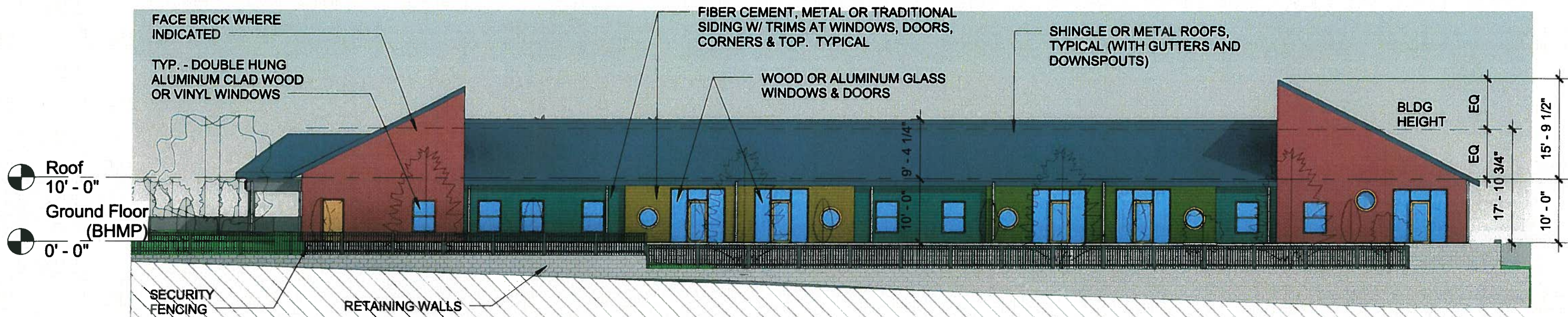
HAMILTON ASSOCIATES LLC

JUNE 19, 2014



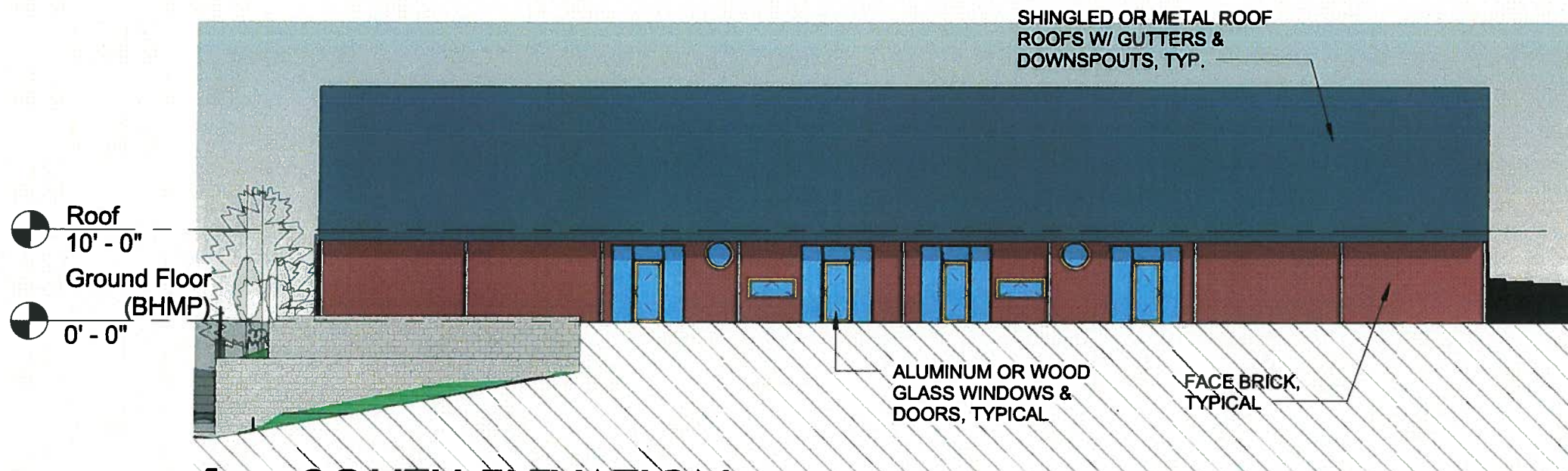


1 NORTH (FRONT) ELEVATION
A-201 SCALE 1/16" = 1'-0"



2 WEST (4TH STREET) ELEVATION
A-201 SCALE 1/16" = 1'-0"

BZA Application Set



1 SOUTH ELEVATION

A-202 SCALE 1/16" = 1'-0"



2 EAST ELEVATION

A-202 SCALE 1/16" = 1'-0"

BZA Application Set



Hamilton ASSOCIATES LLC

A-202 ARCHITECTURAL BUILDING ELEVATIONS

JUNE 19, 2014



BRIGHT BEGINNINGS DAY CARE CENTER, EAST OF THE RIVER

3418 4TH STREET, S.E.
WASHINGTON, DC 20032