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BENNETT-GRAHAM
Terrace Renovation
2028 HILLIER PLACE NW
WASHINGTON DC 20009

CODE INFORMATION

<u>REQUIRED SETBACKS</u>	
FRONT YARD S.B.	N/A
SIDE YARD S.B.	NONE
REAR YARD S.B.	4" PER FOOT OF VERTICAL DISTANCE FROM THE MEAN FINISH GRADE AT THE MIDDLE OF THE REAR OF THE STRUCTURE TO THE HIGHEST POINT OF THE MAIN ROOF OR PARAPET WALL BUT NOT LESS THAN 15'-0"
CONSTRUCTION TYPE	5B
USE GROUP	R-3
APPLICABLE CODES	2006 INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS AS AMMENDED BY DC RESIDENTIAL CODE SUPPLEMENT 2008 (DCRM 12B)

SCOPE OF WORK

REMOVE EXISTING WOOD DECK AND STAIRS. CONSTRUCT NEW WOOD DECK AT EXISTING RESIDENTIAL FIRST FLOOR ELEVATION WITH A PERGOLA, SUN SHADE, PRIVACY SCREENING AND A PARKING SPACE UNDERNEATH WITH ACCESS THROUGH EXISTING SECURITY GATE.

INDEX OF DRAWINGS

CS COVER SHEET
EX1 EXISTING CONDITION PICTURES @ ALLEY
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A1 PARKING & DECK LEVEL PLANS
A2 ELEVATIONS
A3 SECTIONS
A4 DETAILS
A5 DETAILS
S1 FOUNDATION & FRAMING PLANS
E1 ELECTRICAL/POWER PLANS

ABBREVIATIONS

LOCATION MAP
NO SCALE

PROJECT LOCATION

Legend:

- ABV ABOVE
- APPROX APPROXIMATE(LY)
- ADJ ADJUSTABLE
- AD.F. ADJUSTABLE FLOOR
- ALT ALTERNATE
- ALUM ALUMINUM
- ARCH ARCHITECTURAL
- A.S.F. ABOVE SUBFLOOR
- B.E. BEAM
- BLDG BUILDING
- B.U.R. BUILD-UP ROOF
- C. COURSES
- C.J. CONTROL JOINT
- C.L. CROWN LINE
- C.T. CERAMIC TILE
- COL. COLUMN
- CONC CONCRETE
- CMU CONCRETE MASONRY UNIT
- CONT CONTINUOUS
- C.O. CASED OPENING
- DTL. DETAIL
- DR. DOOR
- DRW. DRAWING
- DT. DOUBLE
- DIA. DIAMETER
- DIM. DIMENSION
- DN. DOWNSPOUT
- DOS. DOWNSPOUT
- ELEV. ELEVATION
- EA. EACH
- ELEC. ELECTRICAL
- EQ. EQUIPMENT
- EQUIP. EQUIPMENT
- E.T.R. EXISTING TO REMAIN
- EXIST. EXISTING
- E.J. EXPANSION JOINT
- E.W. EXTERIOR
- F.F. FINISHED FLOOR
- FIXT. FIXTURE
- F.O.S. FACE OF STUD
- FLASH. FLASHING
- F. FLOR
- FP. FIREPLACE
- FURR. FURRING
- F.D. FLOOR DRAIN
- F.D. FLOOR DRAIN
- FLUOR. FLUORESCENT
- FT. (or') FOOT (or FEET)
- FTG. FOOTING
- FRMNG. FRAMING
- GMB. GYPSUM WALLBOARD
- HGT. HEIGHT
- HT. HOLE
- LB. LIP BIBB
- HORIZ. HORIZONTAL
- H.M. HOLLOW METAL
- HVAC. HEATING, VENTILATING, & AIR CONDITIONING
- HR. HOUR
- I.D. INSIDE DIAMETER
- INSUL. INSULATION
- IN (or') INCHES (or')
- JCT. JOINT
- LVL. LAMINATED VENEER LUMBER
- LAV. LAVATORY
- MIL. 1/100 INCH
- MATL. MATERIAL
- MTL. METAL
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- MTD. MOUNTED
- MAX. MAXIMUM
- MECH. MECHANICAL
- MFR. MANUFACTURER
- MASONRY OPENING
- REDUCED THICKNESS OVERLAY
- NOT IN CONTRACT
- NOT TO SCALE
- NOM. NOMINAL
- O.D. OUTSIDE DIAMETER
- O.C. OPENING
- OPG. OPPOSITE
- OPP. OPPOSITE HAND
- O.H. OWNER SUPPLIED
- OSCI. CONTRACTOR INSTALLED
- OZ. OUNCE(S)
- PTD. PAINTED
- P. PLATE
- P.LAM. PLASTIC LAMINATE
- PR. PAIR
- P.T. PRESSURE-TREATED
- PSI. POUNDS PER SQUARE INCH
- PSF. POUNDS PER SQUARE FOOT
- PVC. POLYVINYL CHLORIDE
- R. RISER(S)
- REV. REVISION
- R.O. ROUGH OPENING
- REF. REFERENT
- REFIN. REINFORCING
- R.A. RETURN AIR
- ROOM
- SM. SIMILAR
- SS. STAINLESS STEEL
- STL. STEEL
- SC. SOLID CORE
- SCHED. SCHEDULE
- STAND. STANDOFF
- STRUC. STRUCTURE/STRUCTURAL
- SUSP. SUSPENDED
- SQ. SQUARE
- T. TREAD(S)
- TEL. TELEPHONE
- TV. TELEVISION
- TYP. TYPICAL
- TH. THICKNESS
- GYPSUM TONGUE & GROOVE
- HT. TOP HOLLOW
- UL. UNDERWRITERS LABORATORY
- U.N.O. UNLESS NOTED OTHERWISE
- VERT. VERTICAL
- V.B. VAPOR BARRIER
- VIT. VINTAGE
- V.F. VERIFY IN FIELD
- WITH
- WIND. WINDOW
- ADJ. ADJUSTABLE
- WITHOUT
- HEIGHT
- HELDING WIRE FABRIC
- YARD

REVISIONS

No	Date	Purpose
	04/18/14	PERMIT SET
	06/03/14	ZONING SUB.

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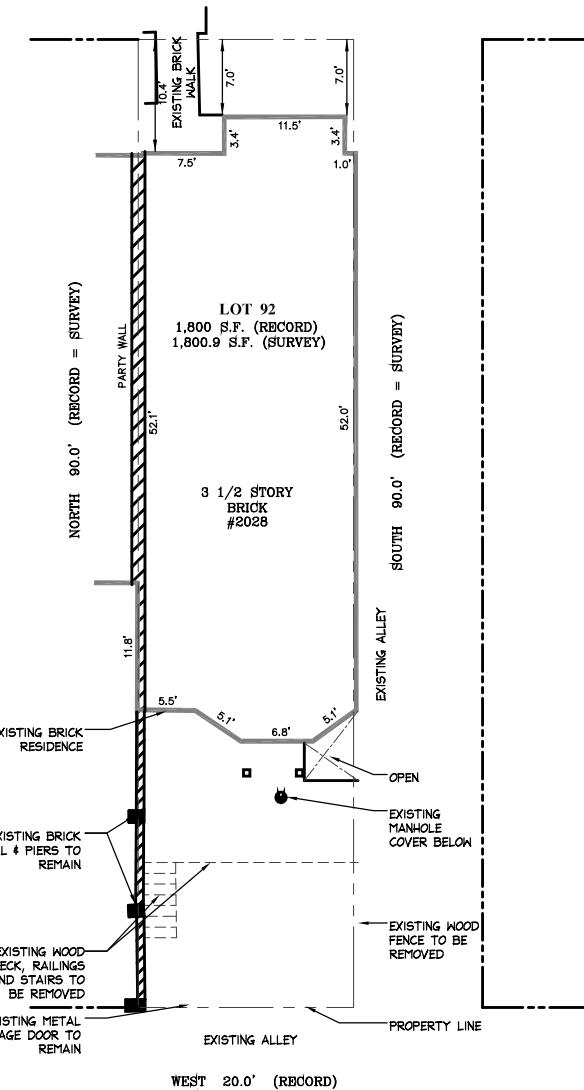
Board of Zoning Adjustment
District of Columbia
CASE NO.18845
EXHIBIT NO.9

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HILLYER PLACE, N.W.

EAST 20.01' (SURVEY)
EAST 20.0' (RECORD)

EXISTING CONCRETE SIDEWALK

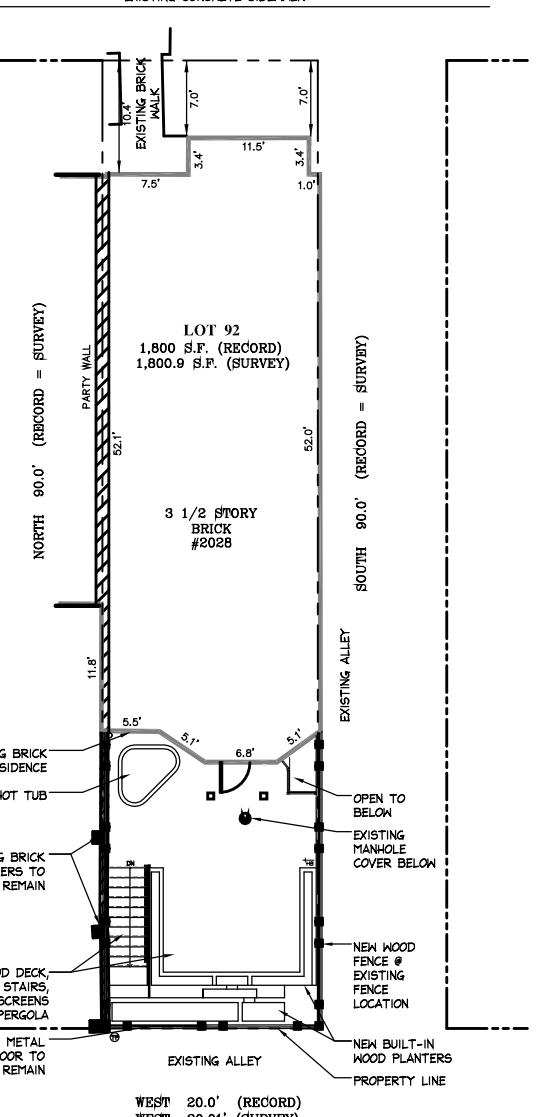


2 CS EXISTING SITE PLAN
1/8" = 1'-0"

HILLYER PLACE, N.W.

EAST 20.01' (SURVEY)
EAST 20.0' (RECORD)

EXISTING CONCRETE SIDEWALK



3 PROPOSED SITE PLAN
CS 1/8"=1'-0"

1 LOCATION MAP
CS NO SCALE

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Terrace Renovation
2009

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A. ALLEY-WEST



B. ALLEY-WEST



C. ALLEY-LOOKING EAST



D. ALLEY-LOOKING SOUTH



E. ALLEY-SOUTH



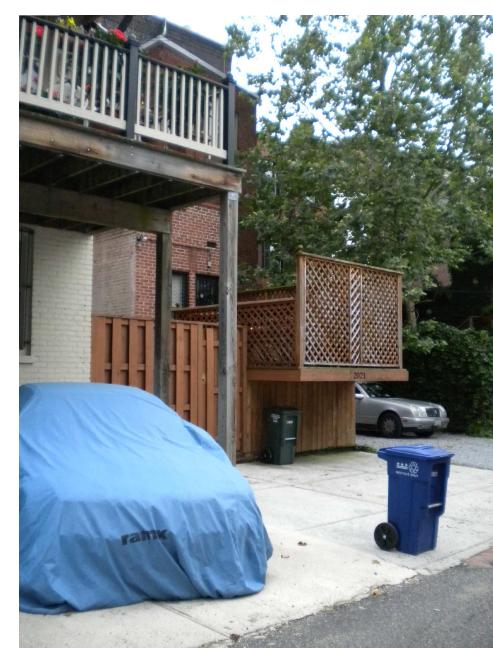
F. ALLEY-SOUTH WEST



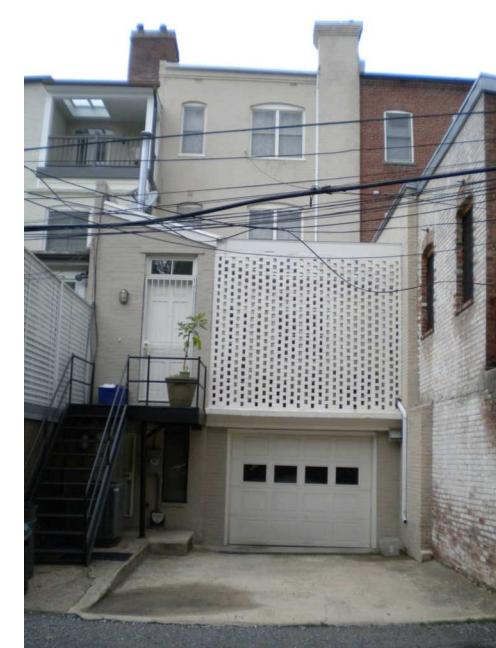
G. ALLEY-SOUTH EAST



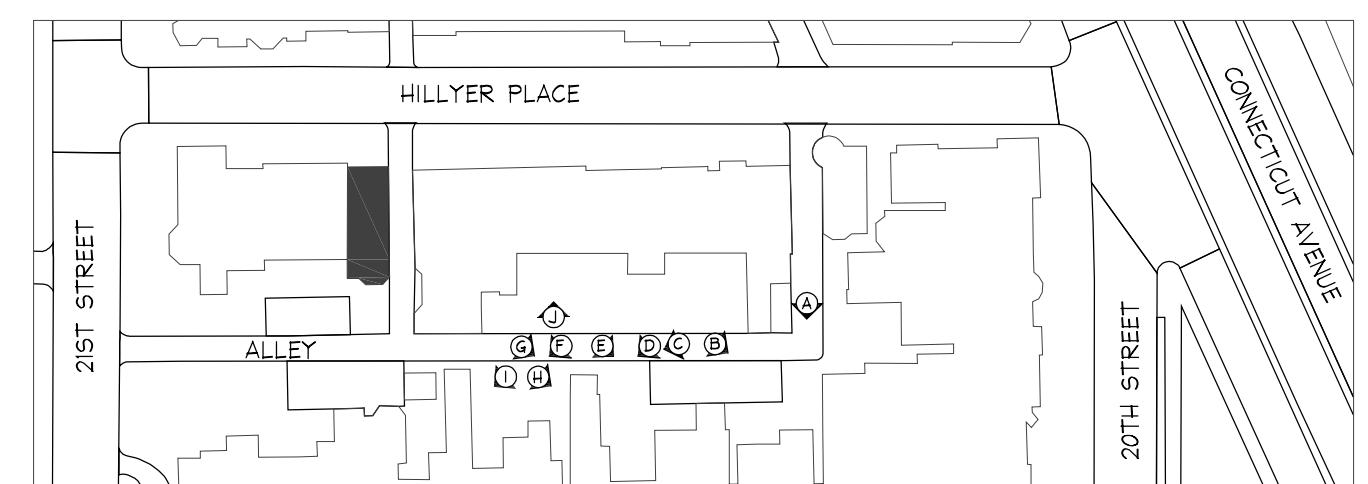
H. ALLEY-SOUTH EAST



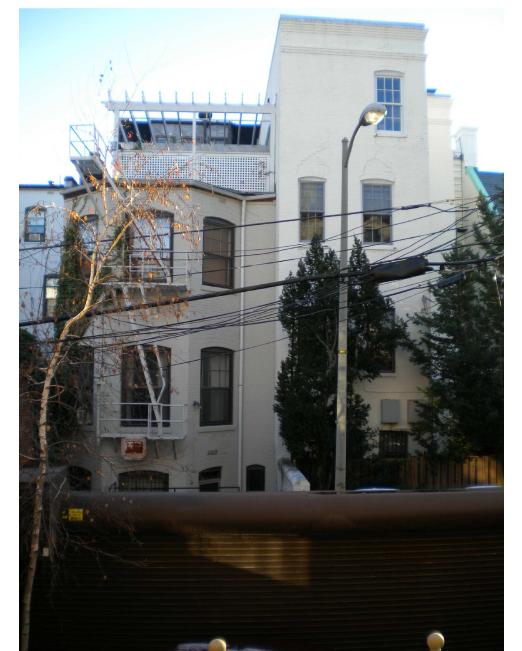
I. ALLEY-SOUTH WEST



J. ALLEY-NORTH



EX-1



E. ALLEY - LOOKING SOUTH OF RESIDENCE



A. ALLEY - LOOKING WEST



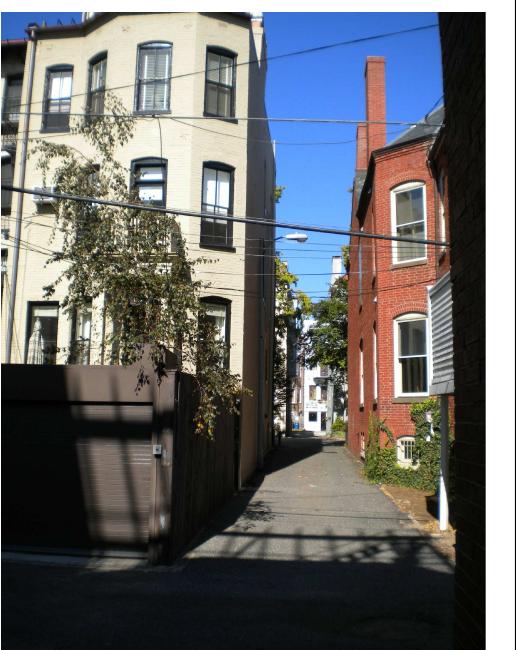
B. ALLEY - NORTH WEST



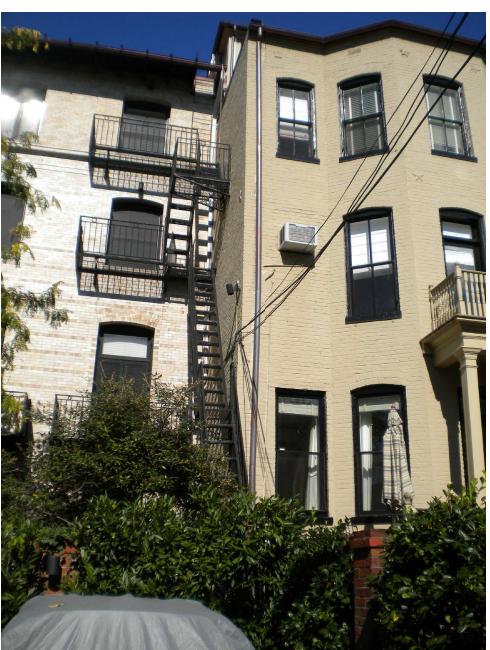
C. ALLEY - NORTH



D. ALLEY - LOOKING EAST



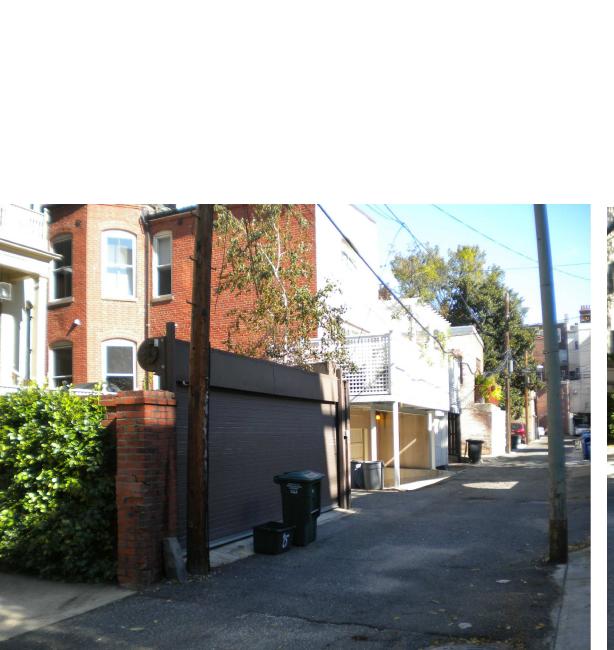
J. ALLEY TO THE EAST OF RESIDENCE



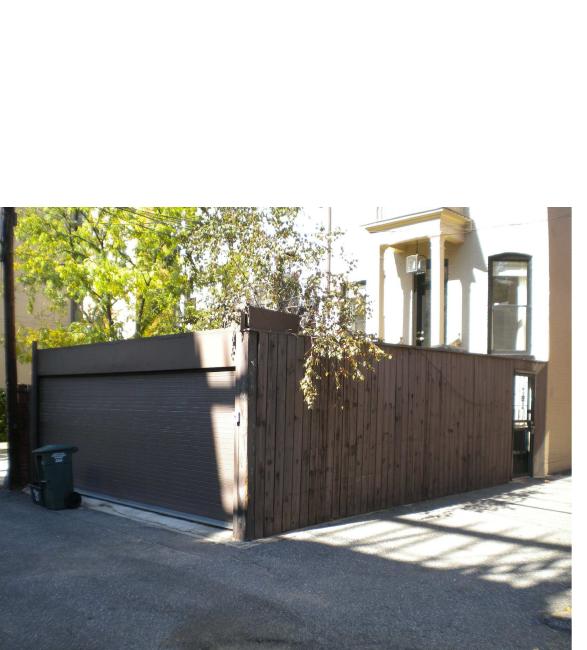
F. ALLEY - ADJOINING NEIGHBOR TO THE WEST



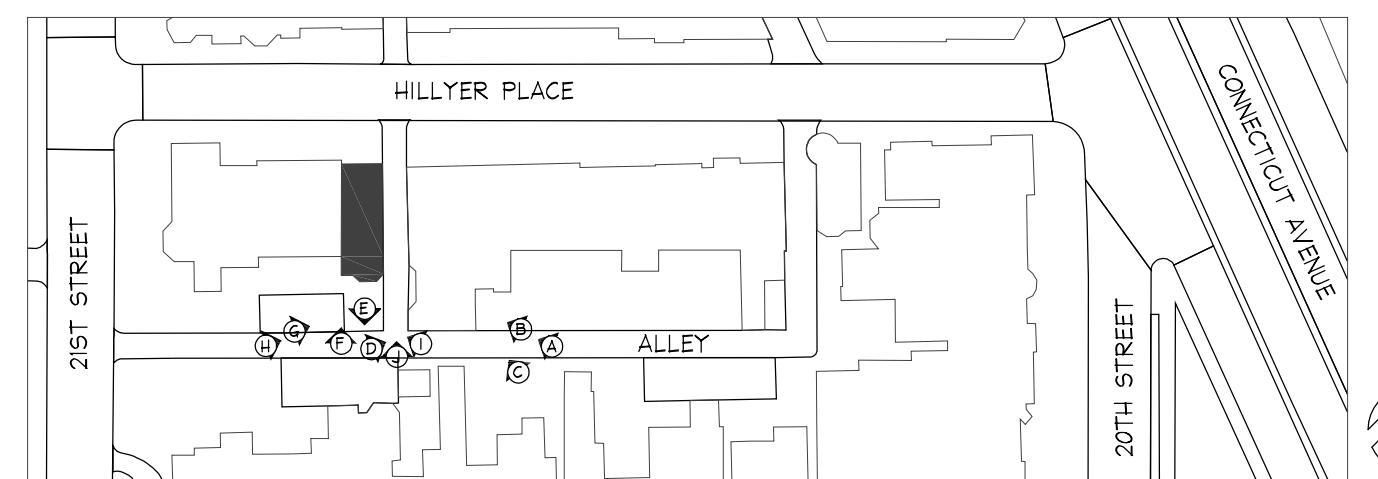
G. ALLEY - LOOKING EAST AT RESIDENCE

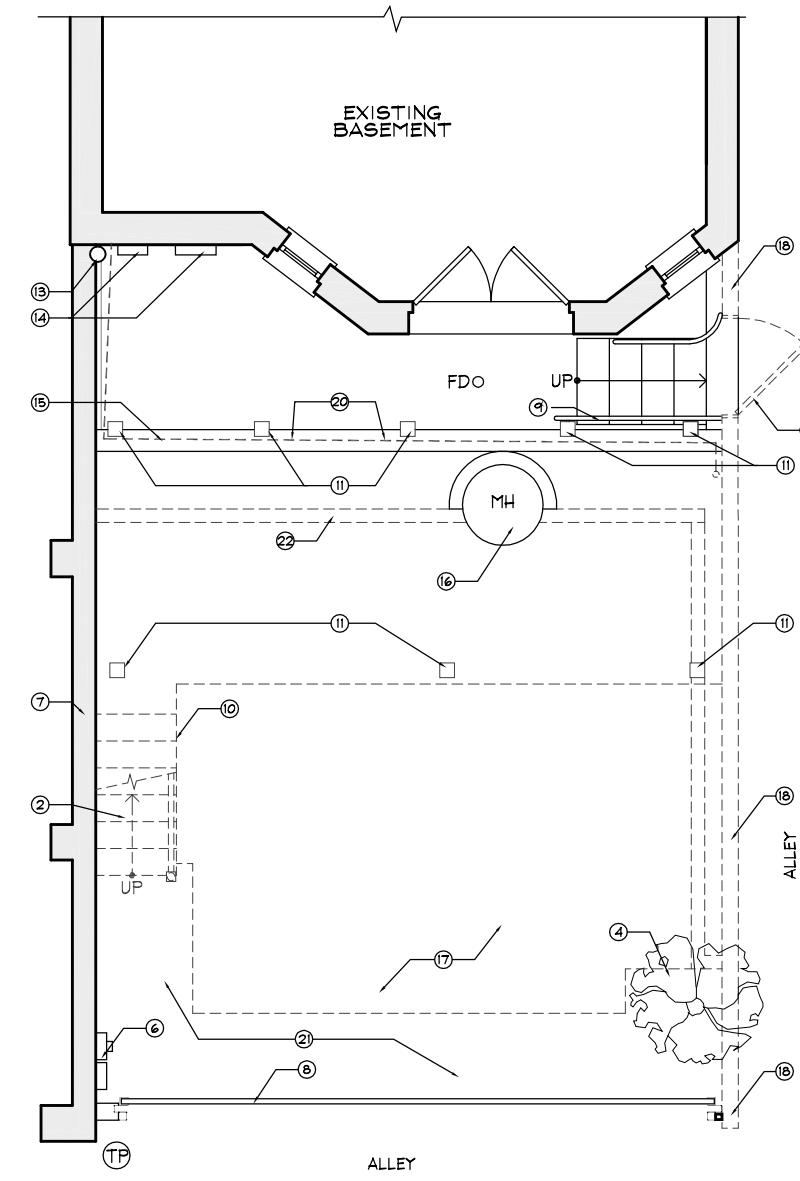


H. ALLEY - EXISTING ACCESS DOOR

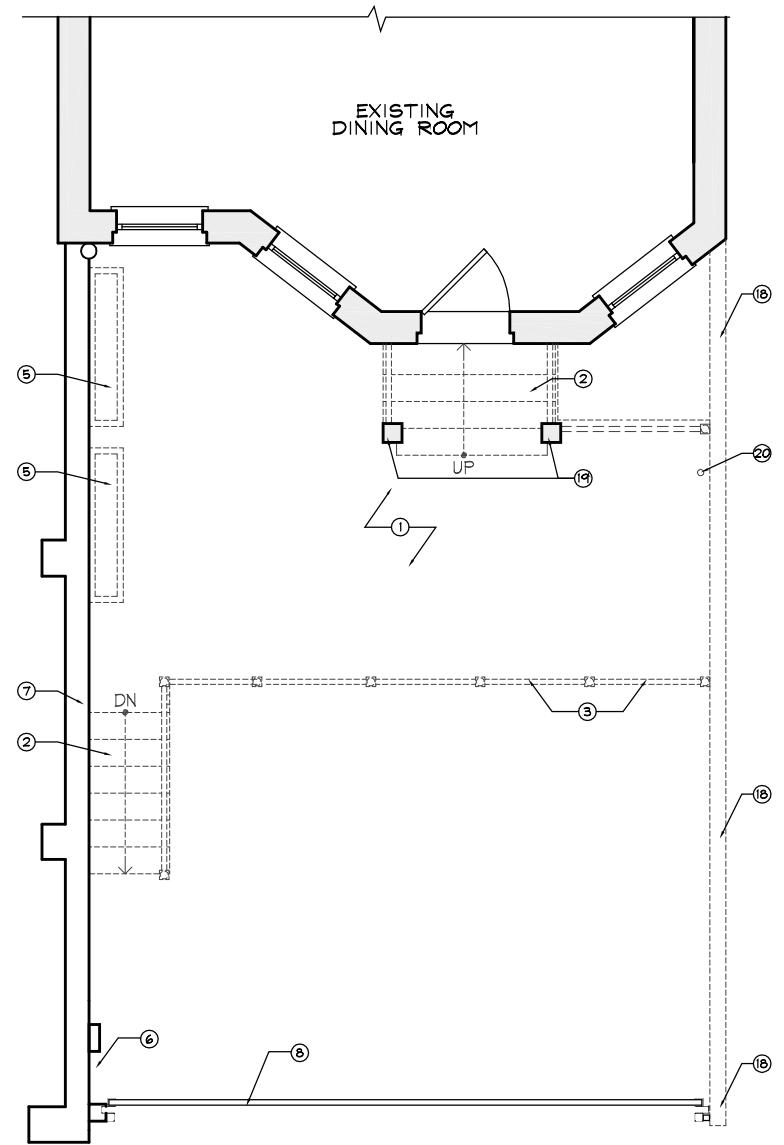
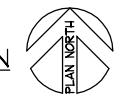


I. ALLEY - EXISTING REAR ENCLOSURE





2 D1 DEMOLITION PARKING PLAN
3/8" = 1'-0"



1 D1 DEMOLITION DECK PLAN
3/8" = 1'-0"



WALL LEGEND	
====	EXISTING WALL TO BE REMOVED
-----	EXISTING ITEM TO BE REMOVED
=====	EXISTING WALL TO REMAIN
=====	NEW WALL OR STRUCTURE

GENERAL DEMO NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- SEAL OFF UNDISTURBED AREAS FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS, SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

DEMOLITION KEYNOTES

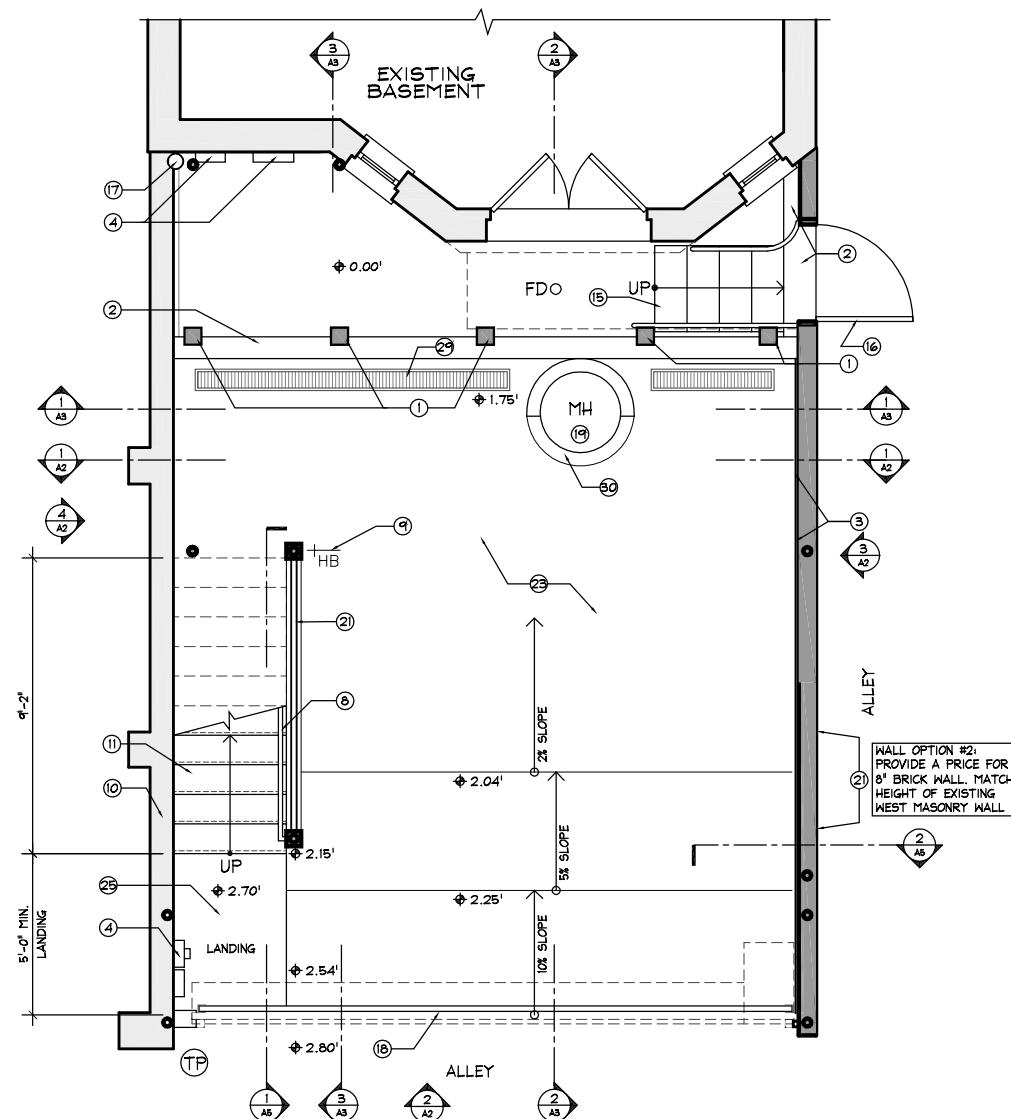
- REMOVE EXISTING DECKING
- REMOVE EXISTING STAIR AND RAILING
- REMOVE EXISTING DECK RAILING
- REMOVE EXISTING TREE
- REMOVE EXISTING RECESSED PLANTER
- EXISTING ELEC. PANEL AND METER TO REMAIN
- EXISTING BRICK WALL TO REMAIN
- EXISTING METAL ROLL-UP GARAGE DOOR, HOUSING AND STRUCTURE TO REMAIN
- EXISTING METAL STAIRS TO REMAIN
- REMOVE EXISTING HOSE BIB
- REMOVE EXISTING WOOD COLUMNS
- REMOVE AND SAVE EXISTING METAL SECURITY DOOR FOR REINSTALLATION
- EXISTING DOWNSPOUT TO REMAIN
- EXISTING MECHANICAL BOXES TO REMAIN
- EXISTING CONCRETE RETAINING WALL TO REMAIN
- EXISTING MAN HOLE COVER AND WELL TO REMAIN
- EXCAVATE NEW PARKING AREA
- EXISTING WOOD FENCE AND POSTS TO BE REMOVED
- EXISTING PORTICO COLUMNS & ROOF STRUCTURE TO REMAIN. PROVIDE TEMPORARY SUPPORT DURING STRUCTURAL DEMOLITION & RECONSTRUCTION
- EXISTING GAS LINE AND VALVE TO BE DISCONNECTED
- REMOVE EXISTING STONE PAVING
- REMOVE EXISTING CURB

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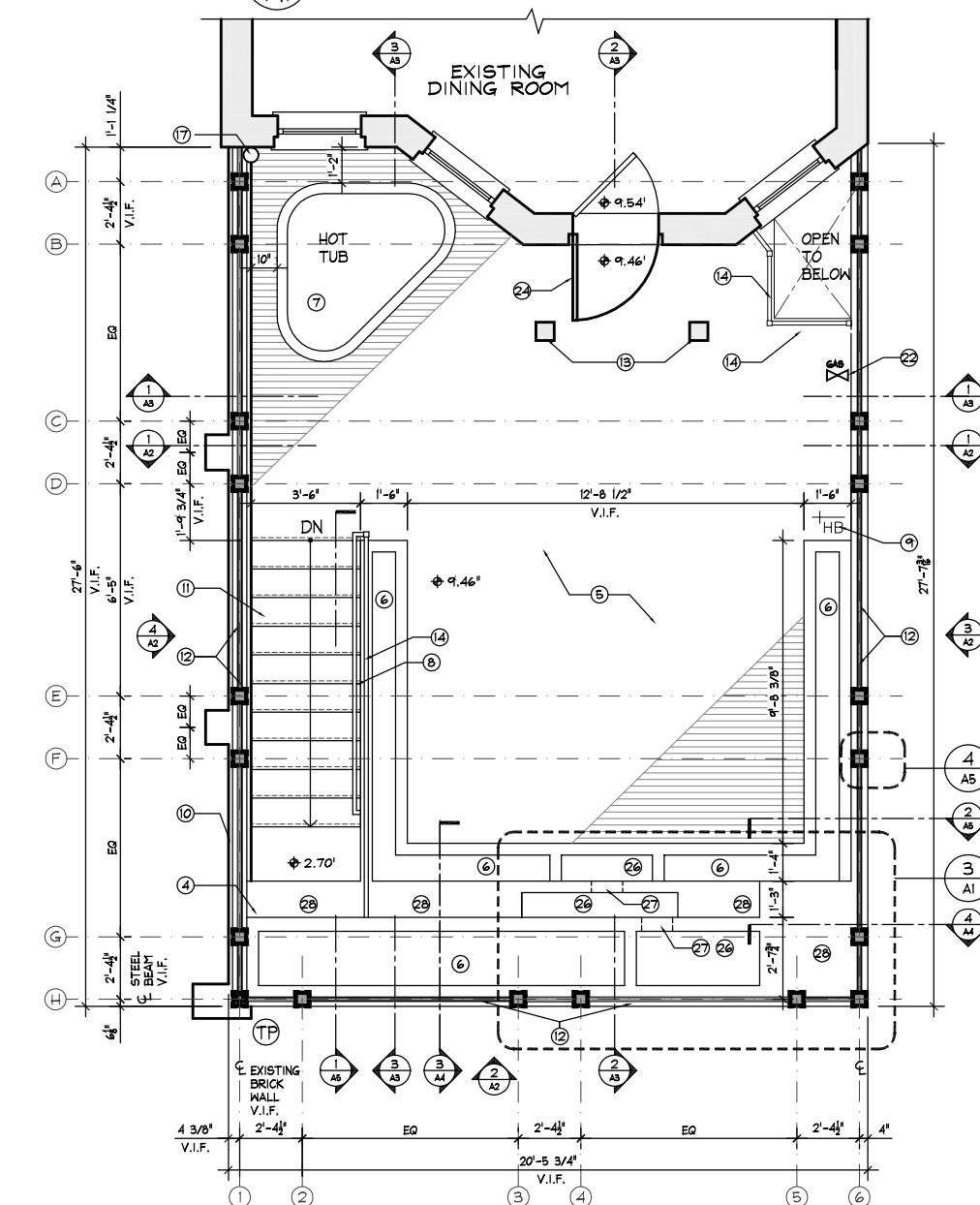
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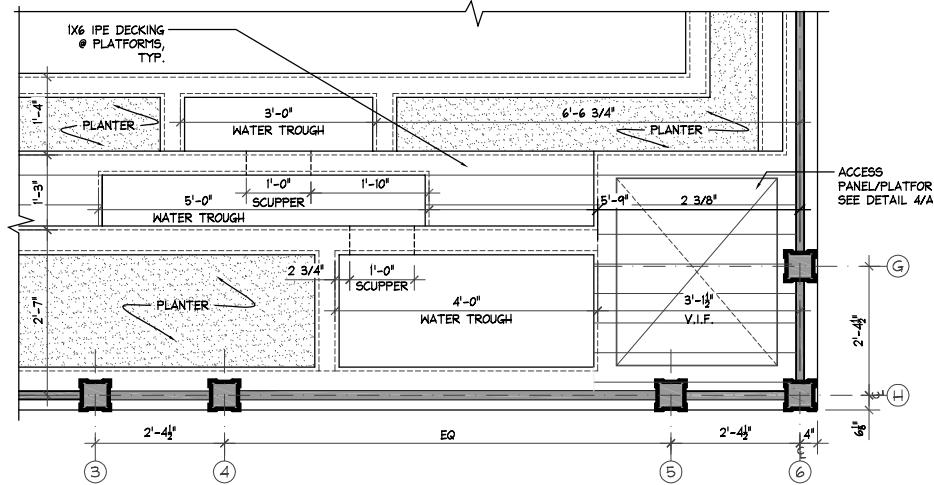
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**2 A1 PROPOSED PARKING PLAN
3/8" = 1'-0"**



1 PROPOSED DECK PLAN
A1 3/8" = 1'-0"



WALL LEGEND

— Existing wall to be removed
- - - - - Existing item to be removed
— Existing wall to remain
— New wall or structure

FLOOR PLAN KEYNOTES

- ① NEW 6"x6" PRESSURE TREATED WOOD POST ON EXISTING FOOTING V.I.F.
- ② EXISTING CONC. FOUNDATION BELOW TO REMAIN
- ③ LINE OF NEW 8" CMU RETAINING WALL BELOW
- ④ EXISTING MECHANICAL PANELS TO REMAIN
- ⑤ IX6 IPE HARDWOOD DECK WITH CONCEALED FASTENERS
APPLY 2 COATS PENOFIN 'HARDWOOD FORMULA'
- ⑥ BUILT-IN PLANTERS
- ⑦ NEW RECESSED HOT TUB BY HOT SPRING 'HOT SPOT' TX[®] SERIES -OSCI
- ⑧ NEW 36" HIGH METAL HANDRAIL
- ⑨ NEW HOSE BIB
- ⑩ EXISTING BRICK WALL TO REMAIN
- ⑪ NEW IPE HARDWOOD STAIR TREAD
- ⑫ NEW WOOD SLAT PRIVACY FENCE
- ⑬ EXISTING COLUMNS TO REMAIN. PREPARE AND PAINT
- ⑭ NEW 42" HIGH METAL GUARDRAIL
- ⑮ EXISTING METAL STAIN AND HANDRAIL TO REMAIN
- ⑯ REINSTALL EXISTING METAL SECURITY DOOR
- ⑰ EXISTING DOWNSPOUT TO REMAIN
- ⑱ EXISTING ROLL-UP METAL PARKING DOOR AND EQUIPMENT ABOVE TO REMAIN
- ⑲ EXISTING MAN HOLE COVER
- ⑳ NEW WALL AT EXISTING WALL LOCATION
- ㉑ NEW IX6 WOOD SHIPLAP SIDING BY WINDSOR ONE 'PROTECTED' SPECIALTY BOARDS: WORS 3"X5"
- ㉒ NEW NATURAL GAS CONNECTION AND SHUT-OFF VALVE FOR GRILL
- ㉓ NEW 4" CONCRETE PARKING PAD W/ STIFF BRISTLE BROOM FINISH FOR TRACTION
- ㉔ NEW CUSTOM SCREEN DOOR, 8' THICK STYLE AND RAIL PAINTED POPLAR DOOR HEIGHT AND WIDTH TO MATCH ENTR^Y DOOR
- ㉕ NEW CONCRETE LANDING. SEE 1/A5 & 3/A3 FOR DETAILS
- ㉖ NEW TROUGH WATER FEATURE
- ㉗ 12" WIDE OVERFLOW SCUPPER AT WATER FEATURE TROUGHS
- ㉘ TERRACED PLANTER PLATFORM IX6 IPE HARDWOOD WITH CONCEALED FASTENERS, APPLY 2 COATS PENOFIN 'HARDWOOD FORMULA'
- ㉙ FERNCO TRENCH DRAIN #FSDP-GP3G. CONNECT TO EXISTING STORM DRAIN
- ㉚ NEW CONCRETE CURB AROUND EXISTING MANHOLE TO MATCH EXISTING

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ELEVATION & SECTION

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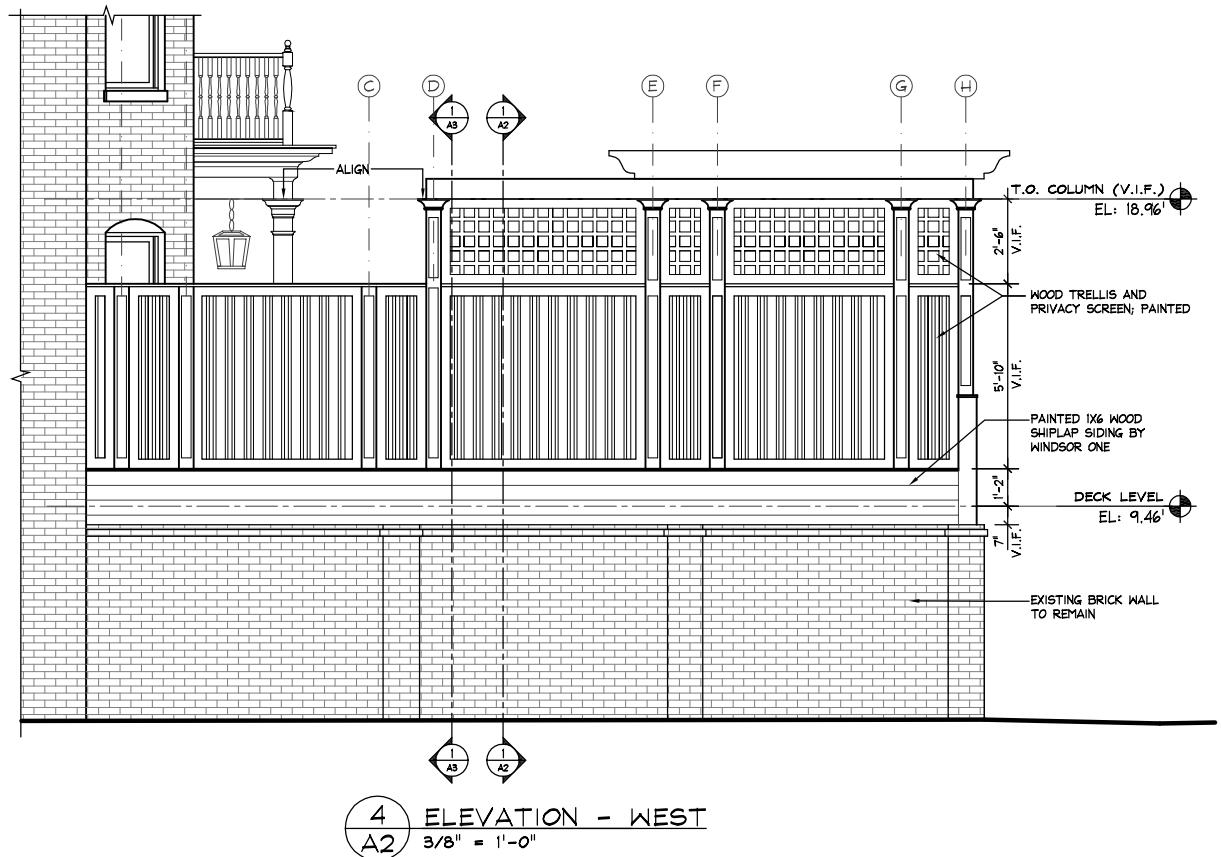
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Unit Plot Order

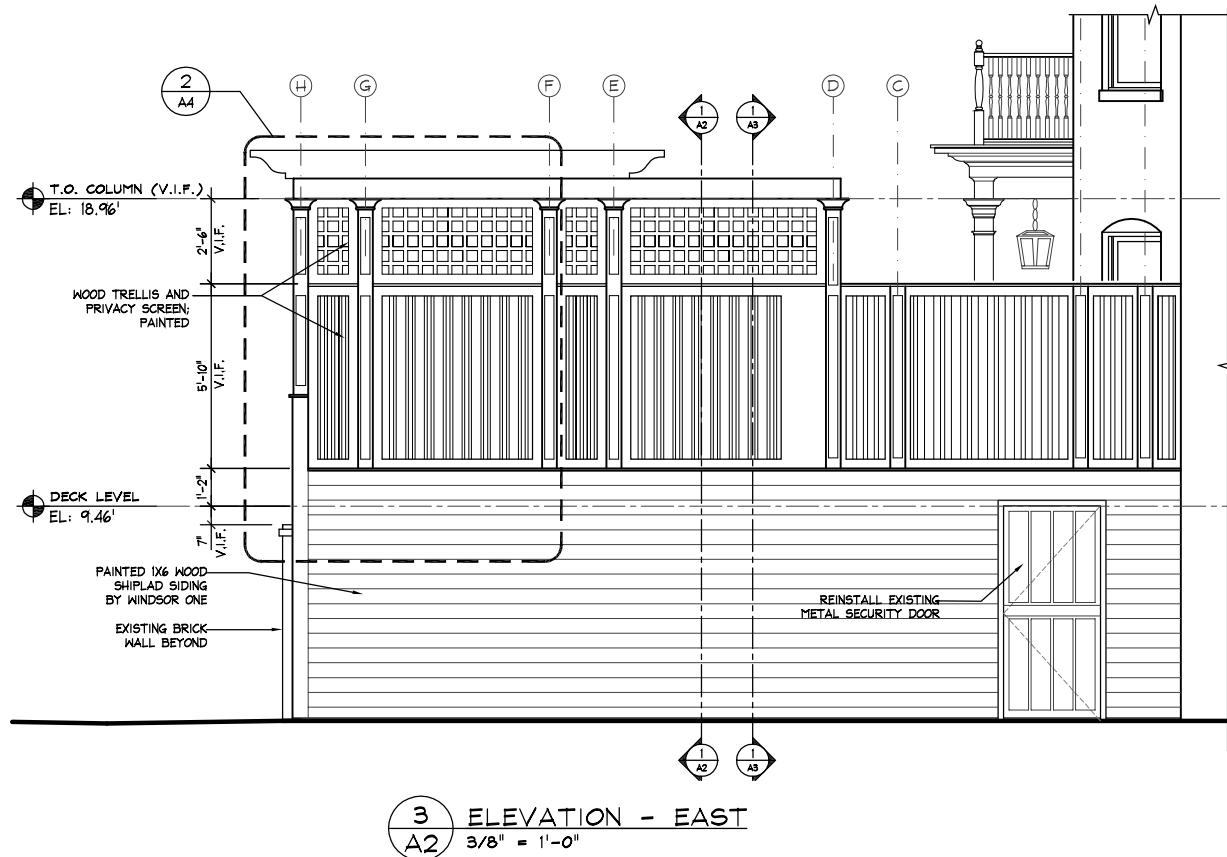
Author

Get Plot Done

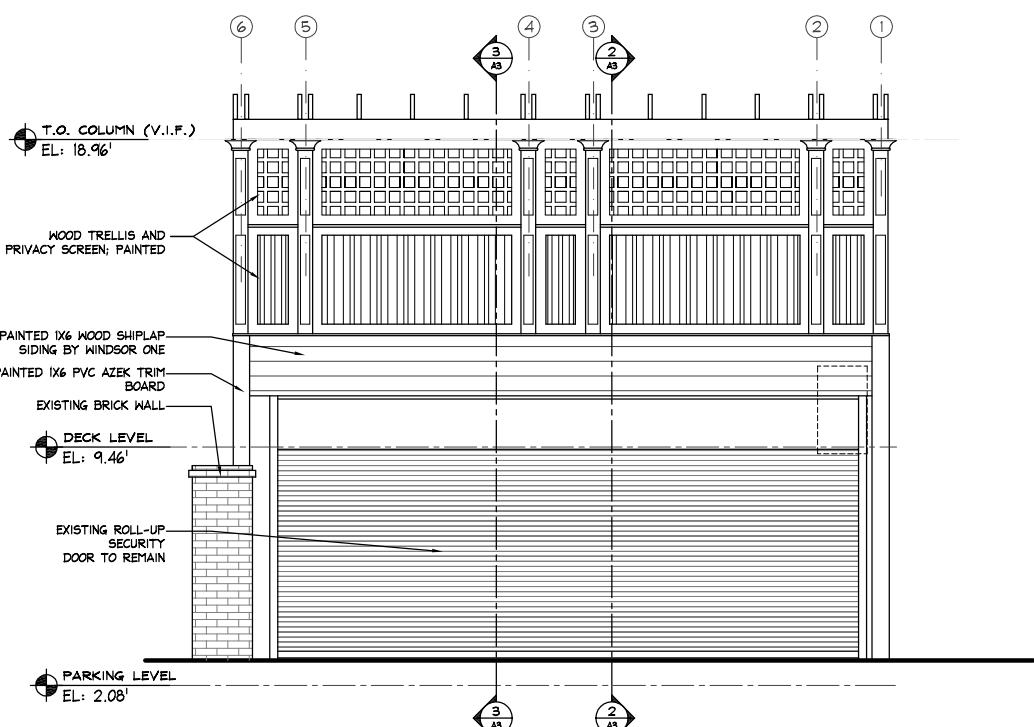
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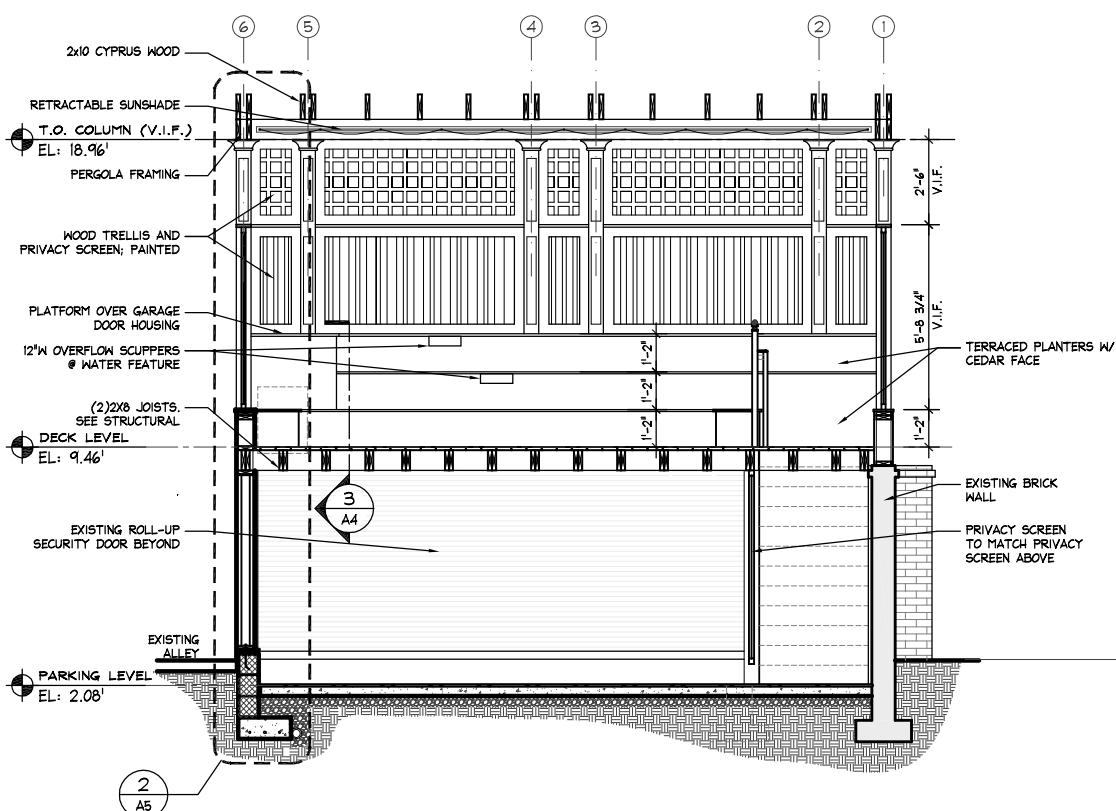
4 ELEVATION - WEST
A2 3/8" = 1'-0"



3 ELEVATION - EAST
A2 3/8" = 1'-0"



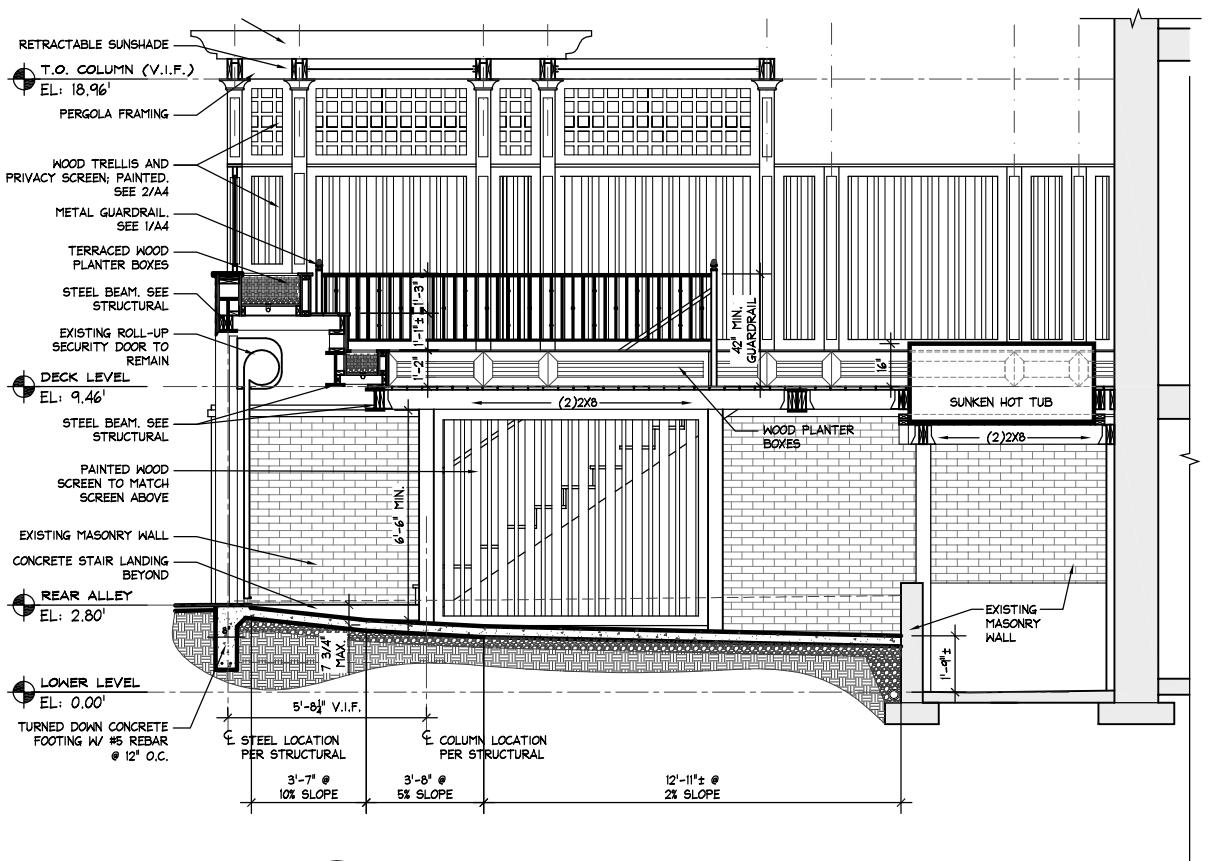
2 ELEVATION - SOUTH
A2 3/8" = 1'-0"



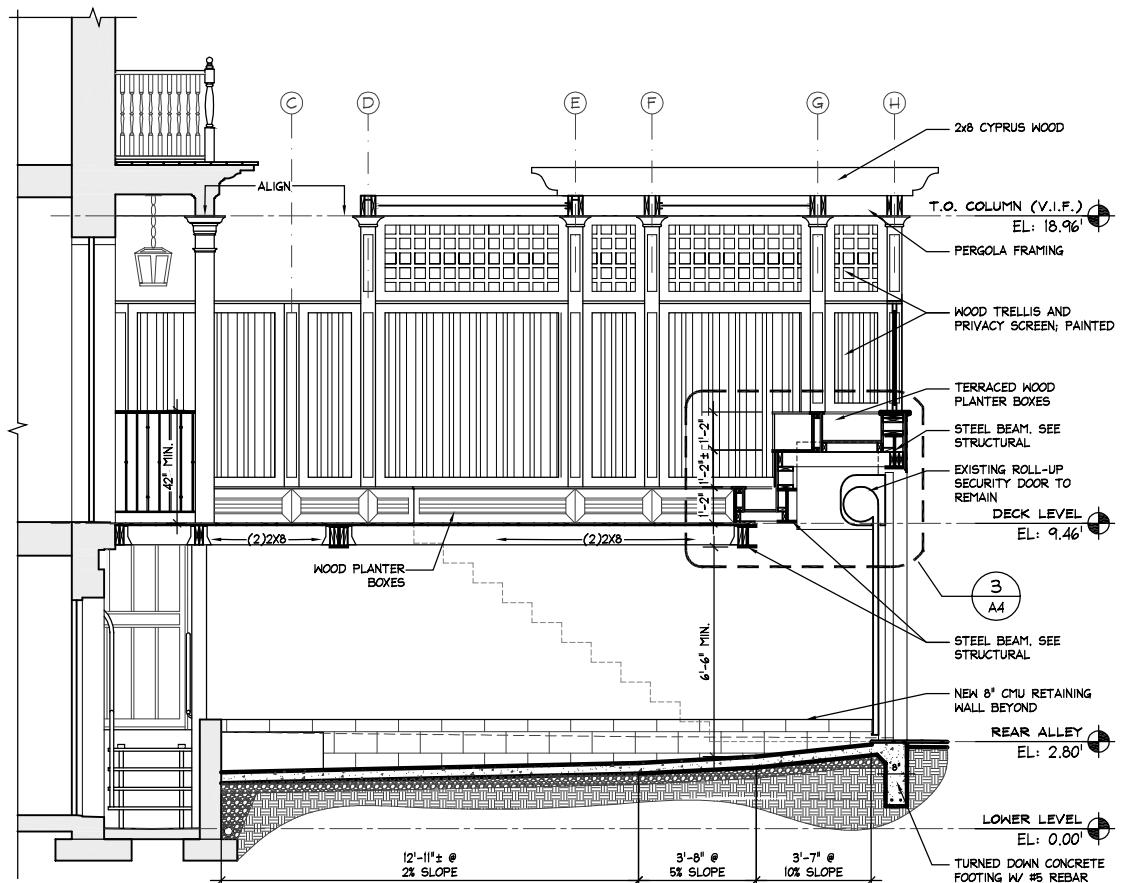
1 SECTION ELEVATION - NORTH
A2 3/8" = 1'-0"

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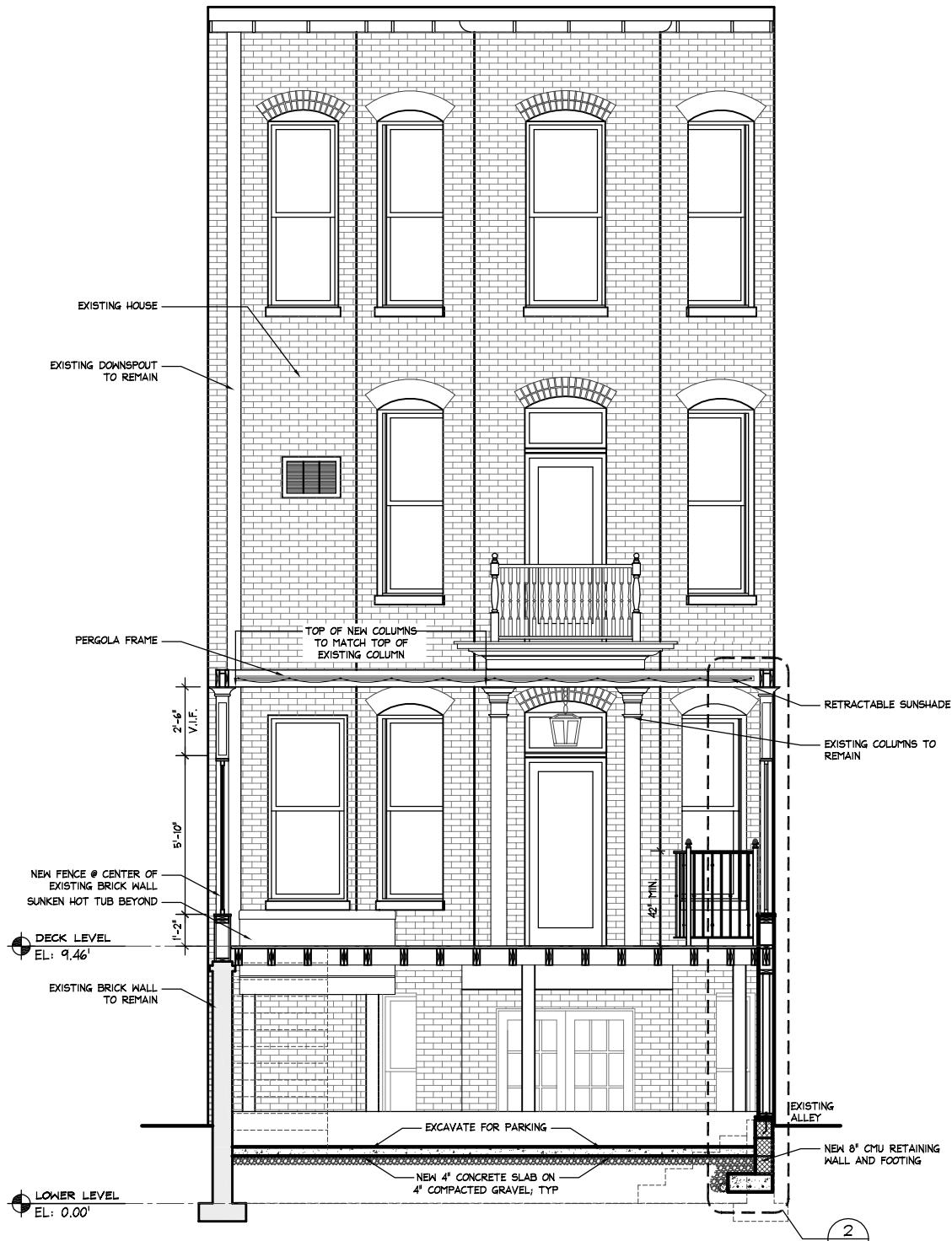
A2



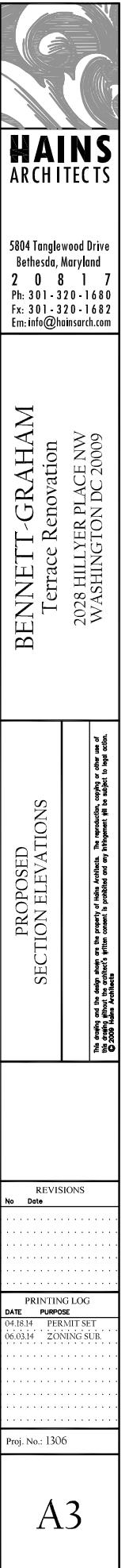
3 SECTION ELEVATION - WEST
A3 $3/8" = 1'-0"$



2 SECTION ELEVATION - EAST
A3 $3/8"$ = 1'-0"



1 SECTION ELEVATION - NORTH
A3 3/8" = 1'-0"



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PROPOSED SECTION ELEVATIONS	
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A5

