



A. ALLEY-WEST



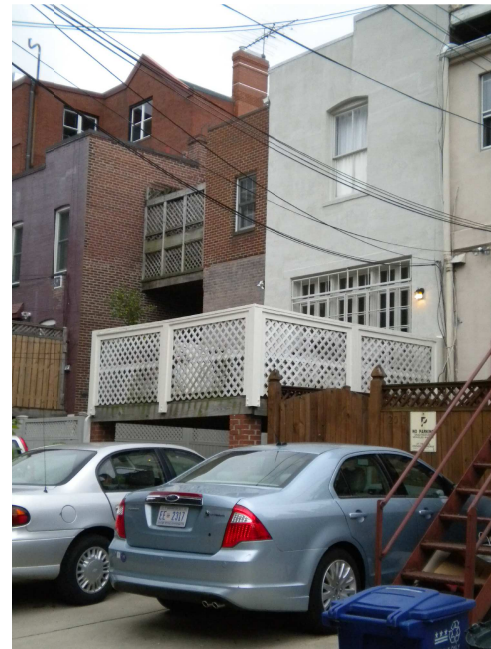
B. ALLEY-WEST



C. ALLEY-LOOKING EAST



D. ALLEY-LOOKING SOUTH



E. ALLEY-SOUTH



F. ALLEY-SOUTH WEST



G. ALLEY-SOUTH EAST



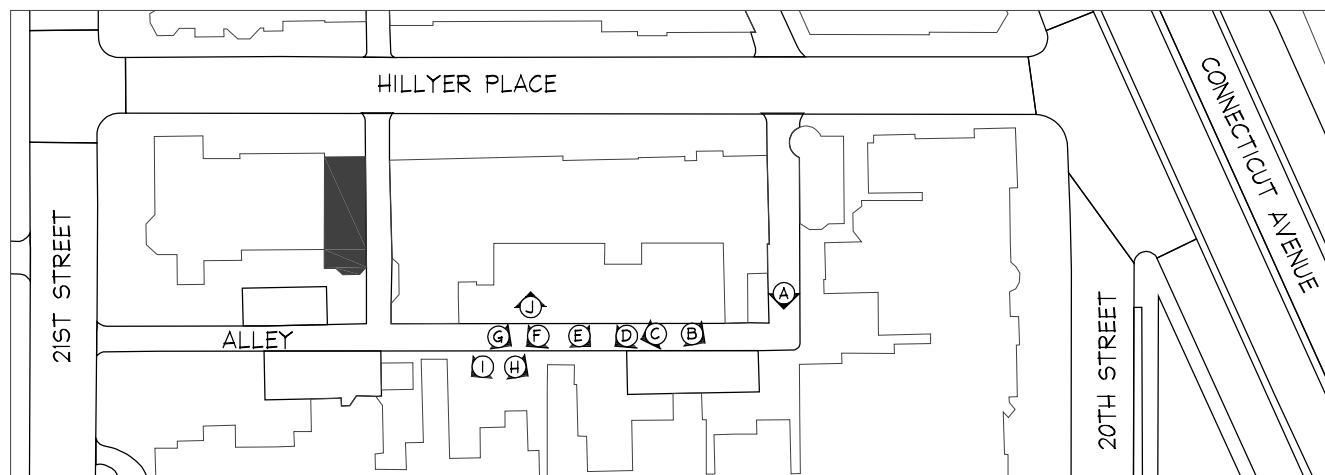
H. ALLEY-SOUTH EAST



I. ALLEY-SOUTH WEST



J. ALLEY-NORTH



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EXISTING CONDITION PICTURES

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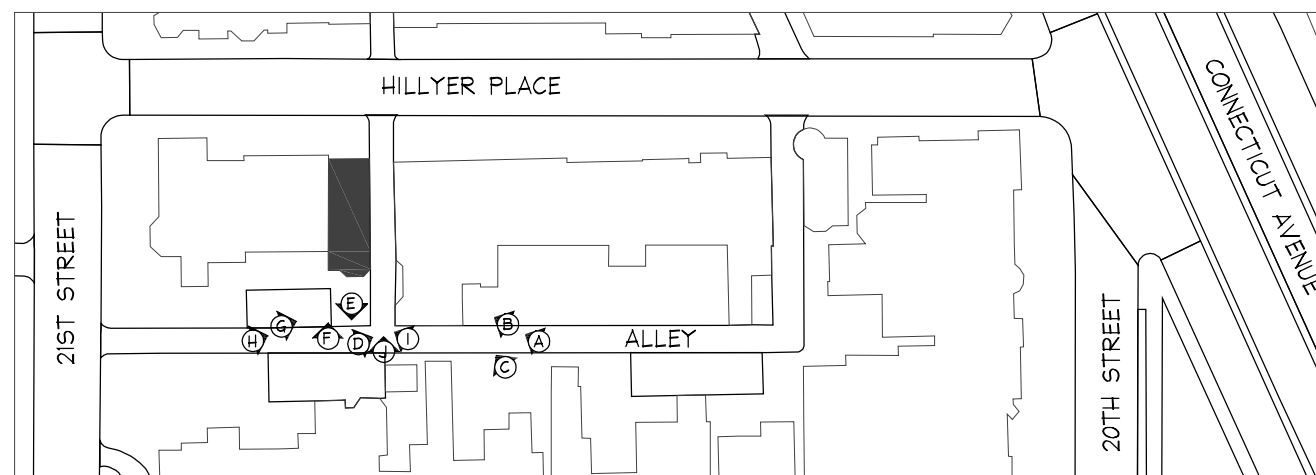
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04.18.14	PERMIT SET
06.03.14	ZONING SUB

Proj. No.: 1306

EX-1





WALL LEGEND


- | | |
|----------|-----------------------------|
| == == == | EXISTING WALL TO BE REMOVED |
| — — — | EXISTING ITEM TO BE REMOVED |
| ===== | EXISTING WALL TO REMAIN |
| ===== | NEW WALL OR STRUCTURE |

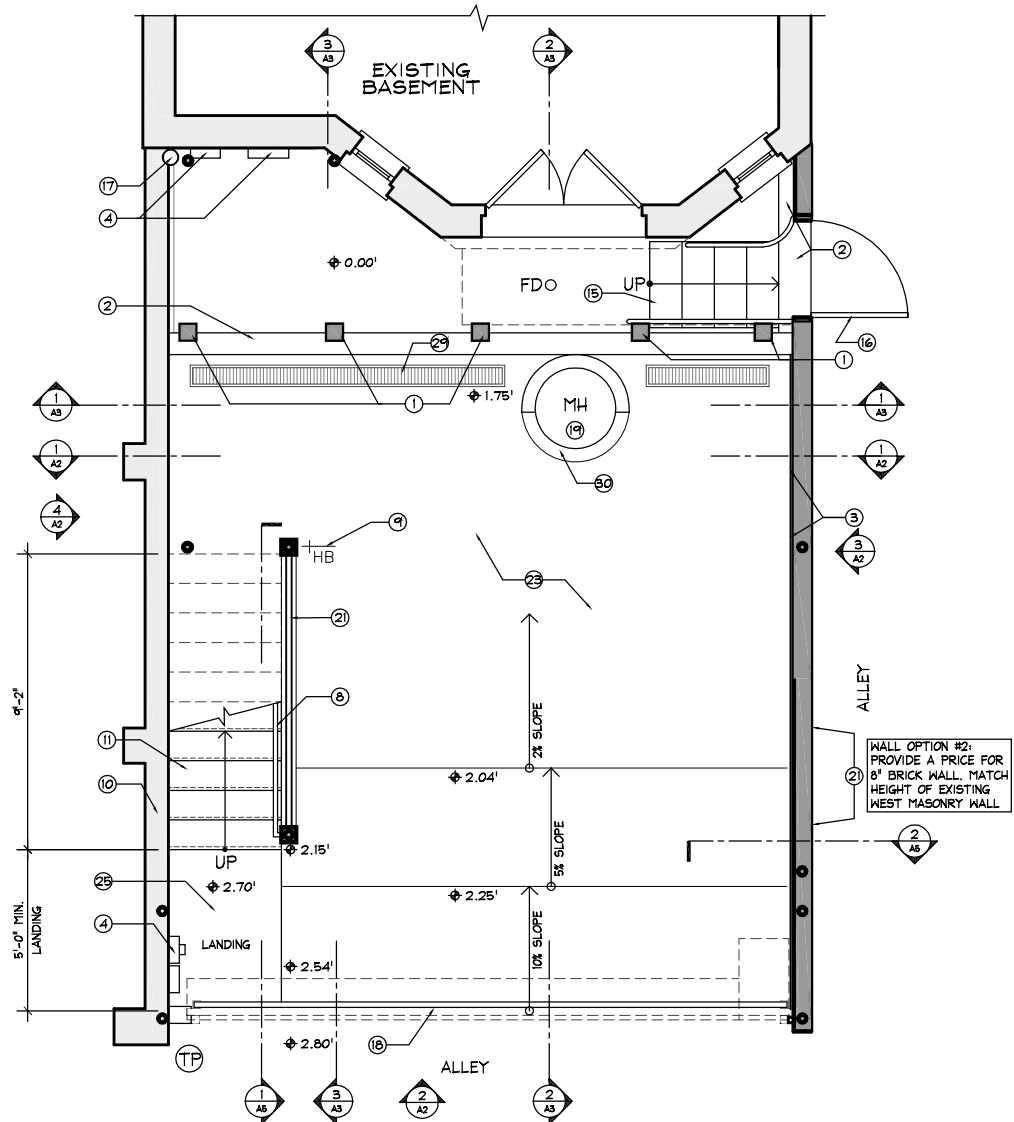
GENERAL DEMO NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
3. SEAL OFF UNDISTURBED AREAS FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
4. EXISTING CONCEALED ELEMENTS ARE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

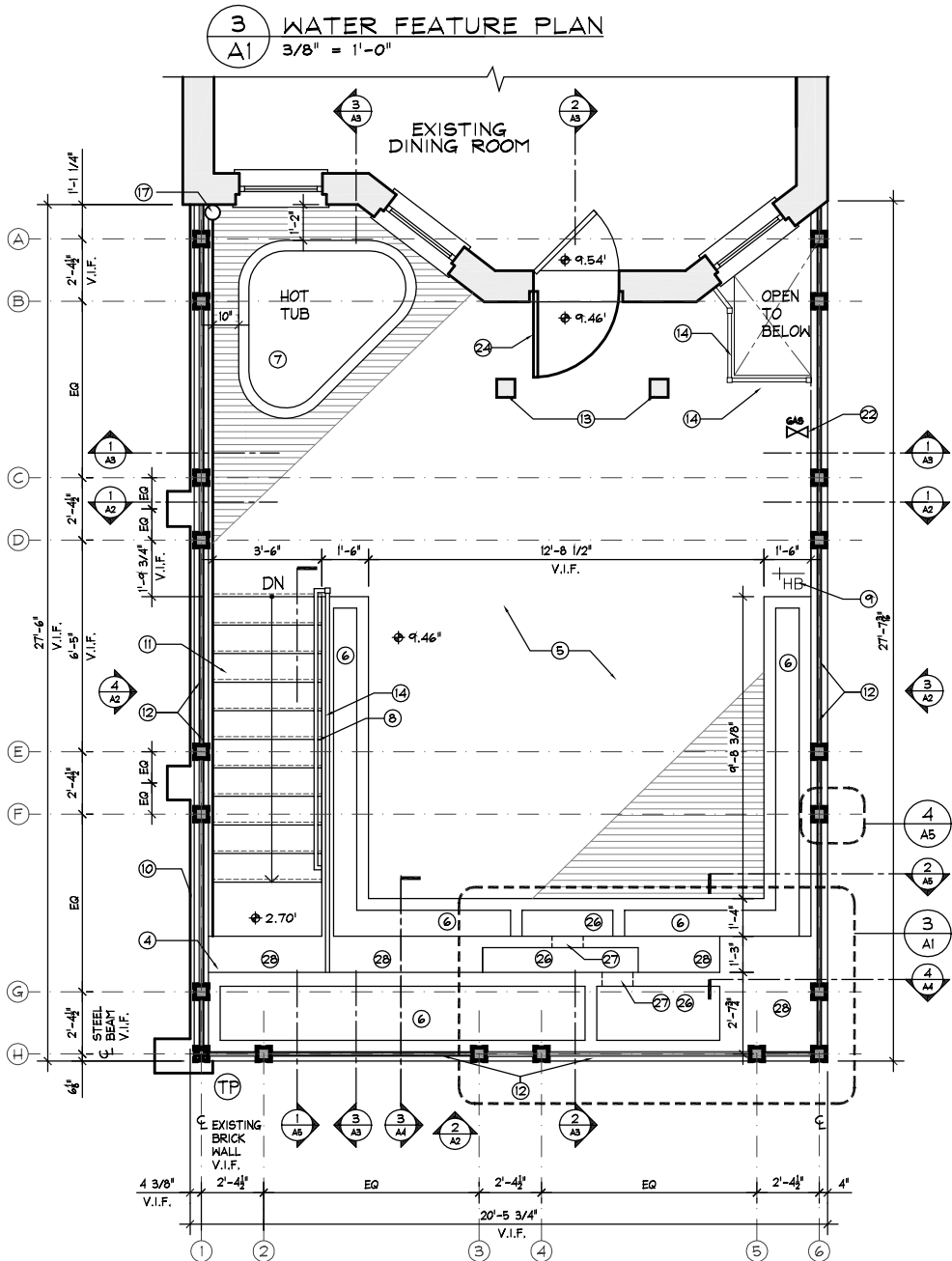
DEMOLITION KEYNOTES

- ① REMOVE EXISTING DECKING
- ② REMOVE EXISTING STAIR AND RAILING
- ③ REMOVE EXISTING DECK RAILING
- ④ REMOVE EXISTING TREE
- ⑤ REMOVE EXISTING RECESSED PLANTER
- ⑥ EXISTING ELEC. PANEL AND METER TO REMAIN
- ⑦ EXISTING BRICK WALL TO REMAIN
- ⑧ EXISTING METAL ROLL-UP GARAGE DOOR, HOUSING AND STRUCTURE TO REMAIN
- ⑨ EXISTING METAL STAIRS TO REMAIN
- ⑩ REMOVE EXISTING HOSE BIB
- ⑪ REMOVE EXISTING WOOD COLUMNS
- ⑫ REMOVE AND SAVE EXISTING METAL SECURITY DOOR FOR REINSTALLATION
- ⑬ EXISTING DOWNSPOUT TO REMAIN
- ⑭ EXISTING MECHANICAL BOXES TO REMAIN
- ⑮ EXISTING CONCRETE RETAINING WALL TO REMAIN
- ⑯ EXISTING MAN HOLE COVER AND WELL TO REMAIN
- ⑰ EXCAVATE NEW PARKING AREA
- ⑱ EXISTING WOOD FENCE AND POSTS TO BE REMOVED
- ⑲ EXISTING PORTICO COLUMNS & ROOF STRUCTURE TO REMAIN. PROVIDE TEMPORARY SUPPORT DURING STRUCTURAL DEMOLITION & RECONSTRUCTION
- 20 EXISTING GAS LINE AND VALVE TO BE DISCONNECTED
- 21 REMOVE EXISTING STONE PAVING
- 22 REMOVE EXISTING CURB

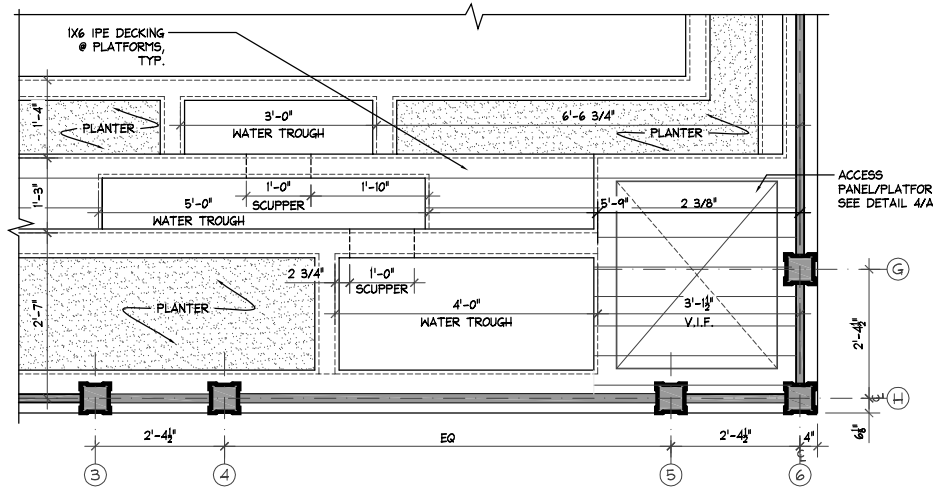
	
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BENNETT-GRAHAM Terrace Renovation 2028 HILLYER PLACE NW WASHINGTON DC 20009	
DEMOLITION PLANS	
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2 PROPOSED PARKING PLAN
A1 3/8" = 1'-0"



1 PROPOSED DECK PLAN
A1 3/8" = 1'-0"



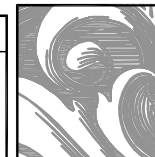
3 WATER FEATURE PLAN
A1 3/8" = 1'-0"

WALL LEGEND

- ===== EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- ===== EXISTING WALL TO REMAIN
- ===== NEW WALL OR STRUCTURE

FLOOR PLAN KEYNOTES

- NEW 6"x6" PRESSURE TREATED WOOD POST ON EXISTING FOOTING V.I.F.
- EXISTING CONC. FOUNDATION BELOW TO REMAIN
- LINE OF NEW 8" CMU RETAINING WALL BELOW
- EXISTING MECHANICAL PANELS TO REMAIN
- 1X6 IPE HARDWOOD DECK WITH CONCEALED FASTENERS APPLY 2 COATS PENOFIN 'HARDWOOD FORMULA'
- BUILT-IN PLANTERS
- NEW RECESSED HOT TUB BY HOT SPRING 'HOT SPOT TX' SERIES -OSCI
- NEW 36" HIGH METAL HANDRAIL
- NEW HOSE BIB
- EXISTING BRICK WALL TO REMAIN
- NEW IPE HARDWOOD STAIR TREAD
- NEW WOOD SLAT PRIVACY FENCE
- EXISTING COLUMNS TO REMAIN. PREPARE AND PAINT
- NEW 42" HIGH METAL GUARDRAIL
- EXISTING METAL STAIR AND HANDRAIL TO REMAIN
- REINSTALL EXISTING METAL SECURITY DOOR
- EXISTING DOWNSPOUT TO REMAIN
- EXISTING ROLL-UP METAL PARKING DOOR AND EQUIPMENT ABOVE TO REMAIN
- EXISTING MAN HOLE COVER
- NEW WALL AT EXISTING WALL LOCATION
- NEW 1X6 WOOD SHIPLAP SIDING BY WINDSOR ONE 'PROTECTED' SPECIALTY BOARDS: WORKS 3/4"x5 1/2"
- NEW NATURAL GAS CONNECTION AND SHUT-OFF VALVE FOR GRILL
- NEW 4" CONCRETE PARKING PAD W/ STIFF BRISTLE BROOM FINISH FOR TRACTION
- NEW CUSTOM SCREEN DOOR 1 3/4" THICK STYLE AND RAIL PAINTED POPLAR DOOR HEIGHT AND WIDTH TO MATCH ENTRY DOOR
- NEW CONCRETE LANDING. SEE 1/A5 & 3/A3 FOR DETAILS
- NEW TROUGH WATER FEATURE
- 12" WIDE OVERFLOW SCUPPER AT WATER FEATURE TROUGHS
- TERRACED PLANTER PLATFORM 1X6 IPE HARDWOOD WITH CONCEALED FASTENERS, APPLY 2 COATS PENOFIN 'HARDWOOD FORMULA'
- FERNCO TRENCH DRAIN #FSDP-GP3G. CONNECT TO EXISTING STORM DRAIN
- NEW CONCRETE CURB AROUND EXISTING MANHOLE TO MATCH EXISTING



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PROPOSED PLAN, EXTERIOR
ELEVATION & SECTION

REVISIONS

No.	Date	DESCRIPTION

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A1



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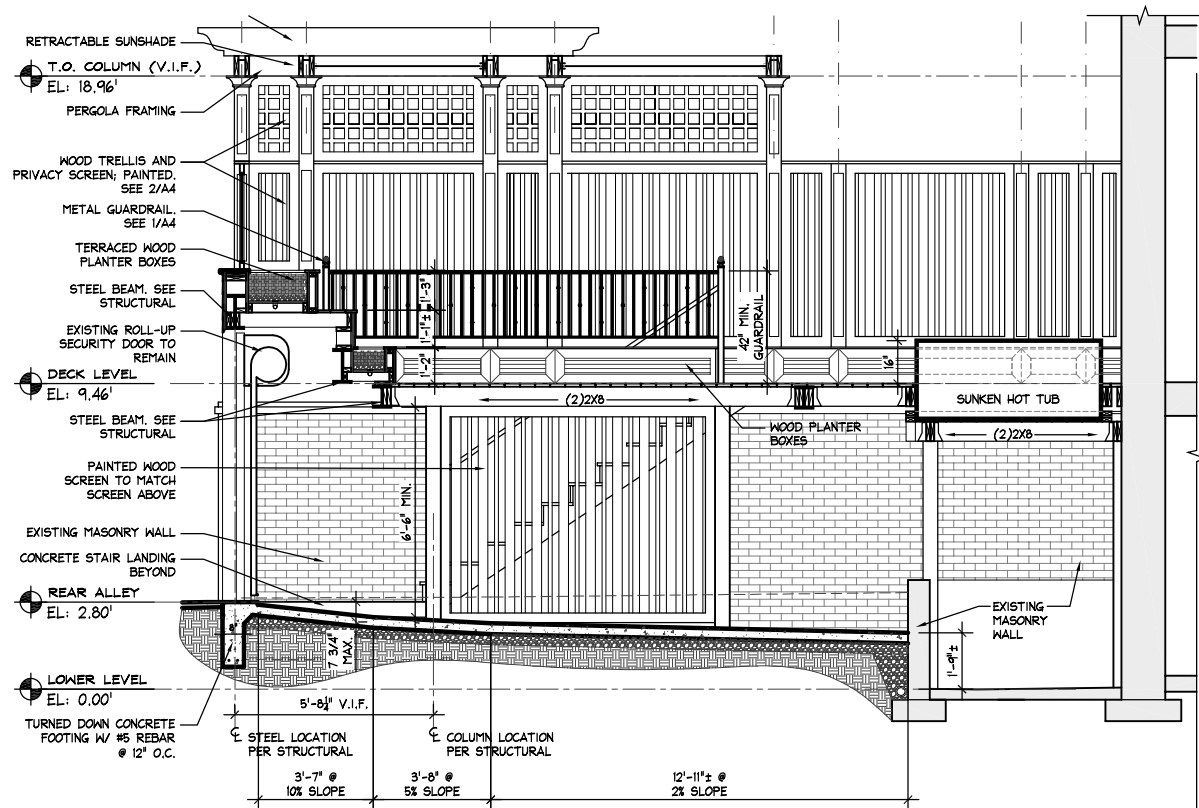
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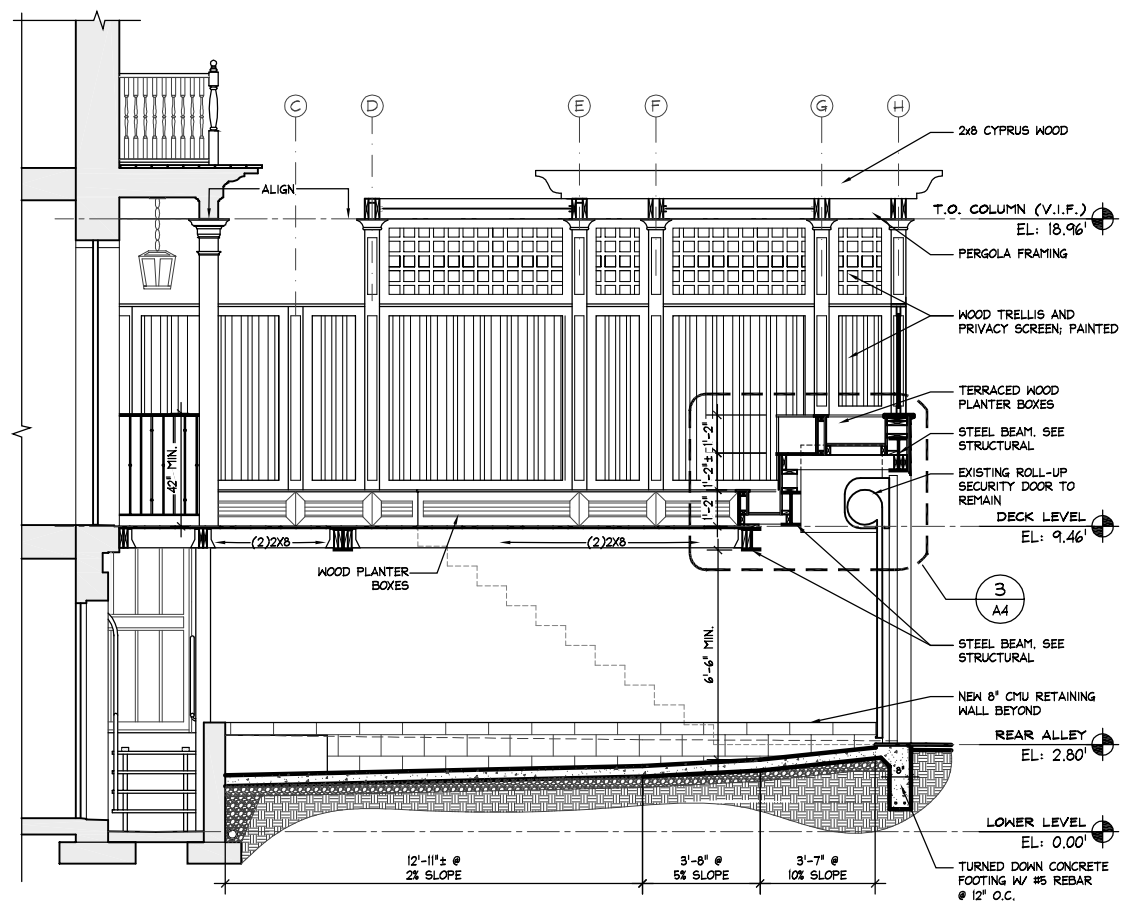
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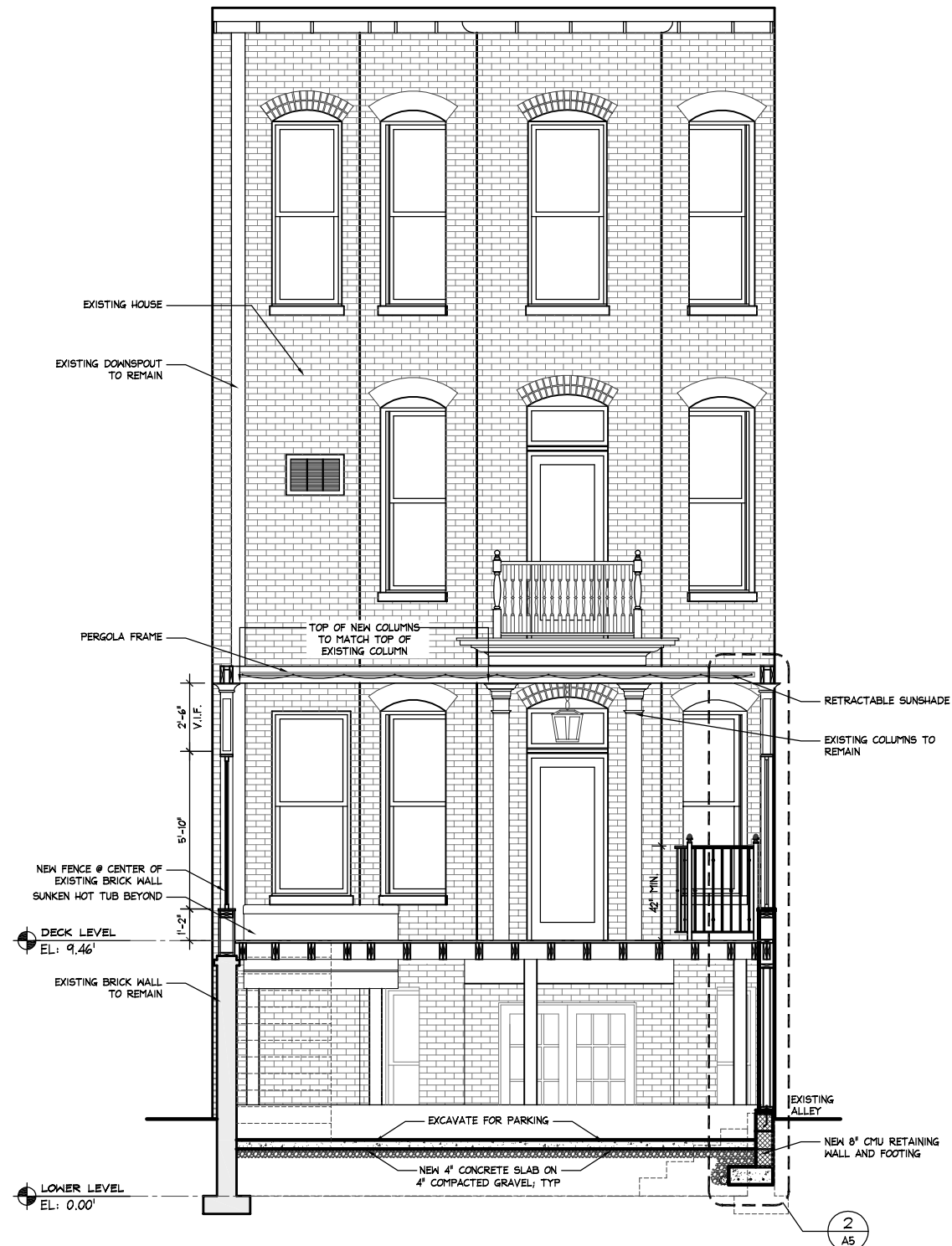
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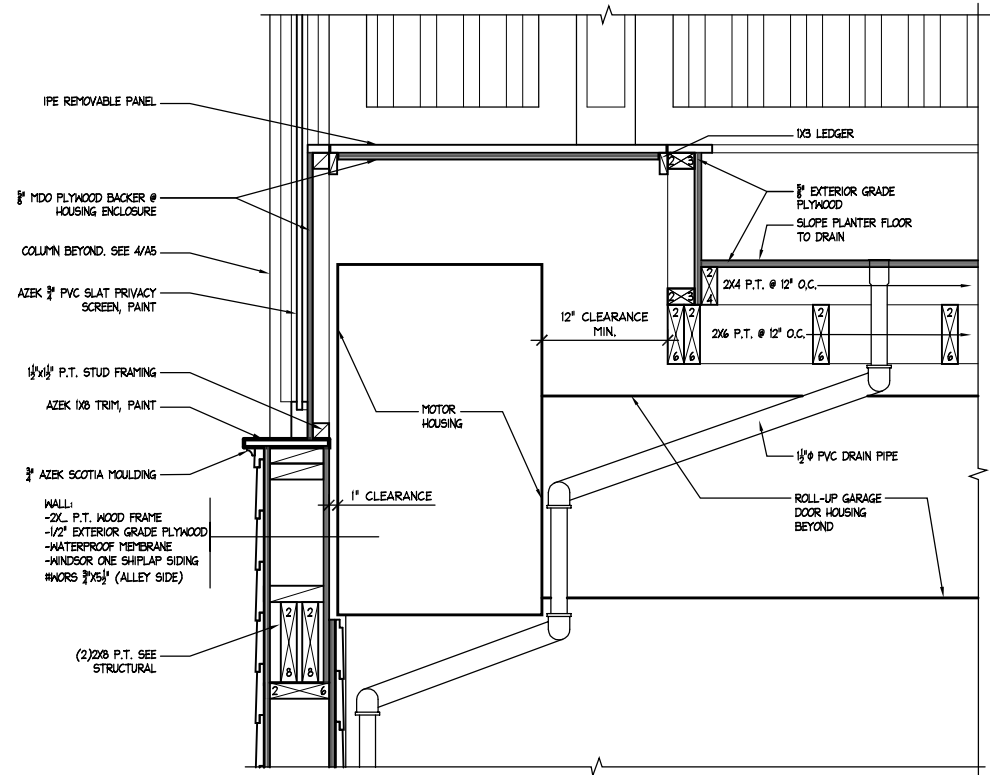
3 SECTION ELEVATION - WEST
3/8" = 1'-0"



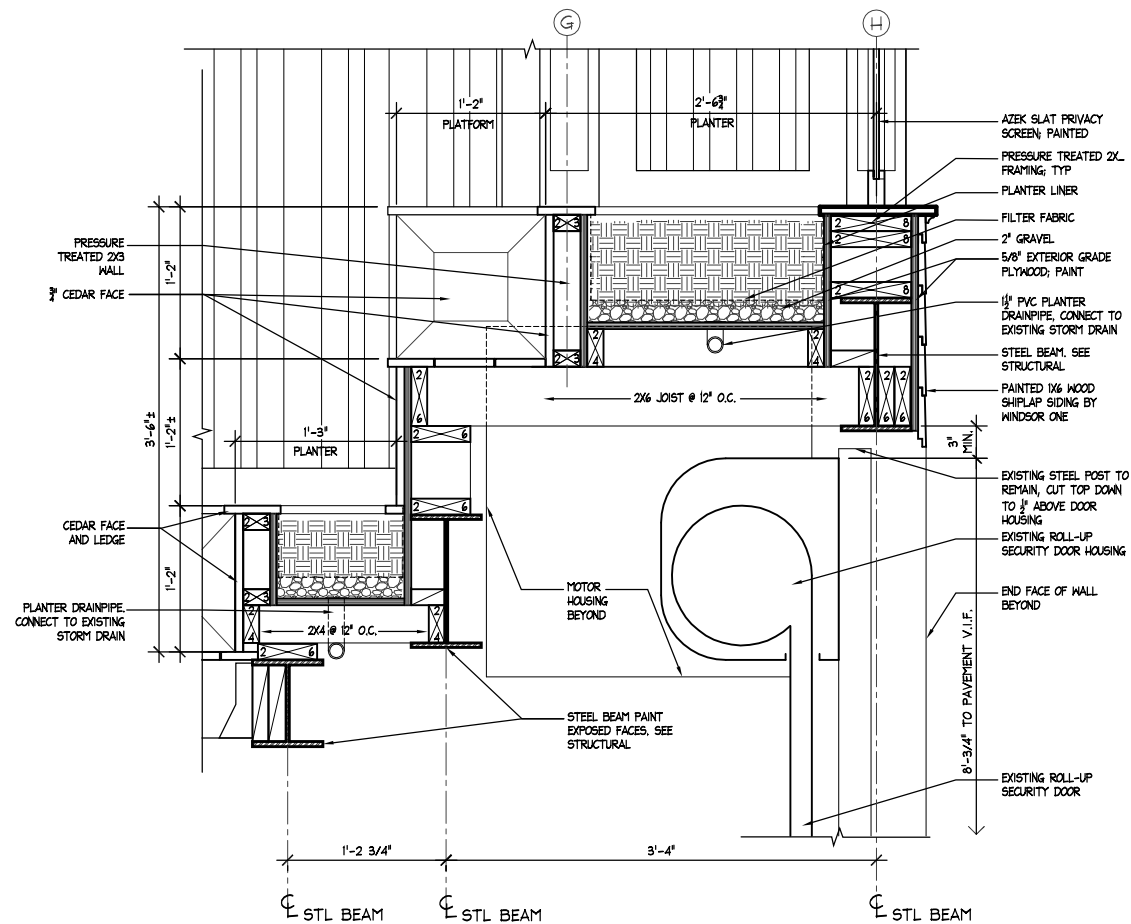
2 SECTION ELEVATION - EAST
3/8" = 1'-0"



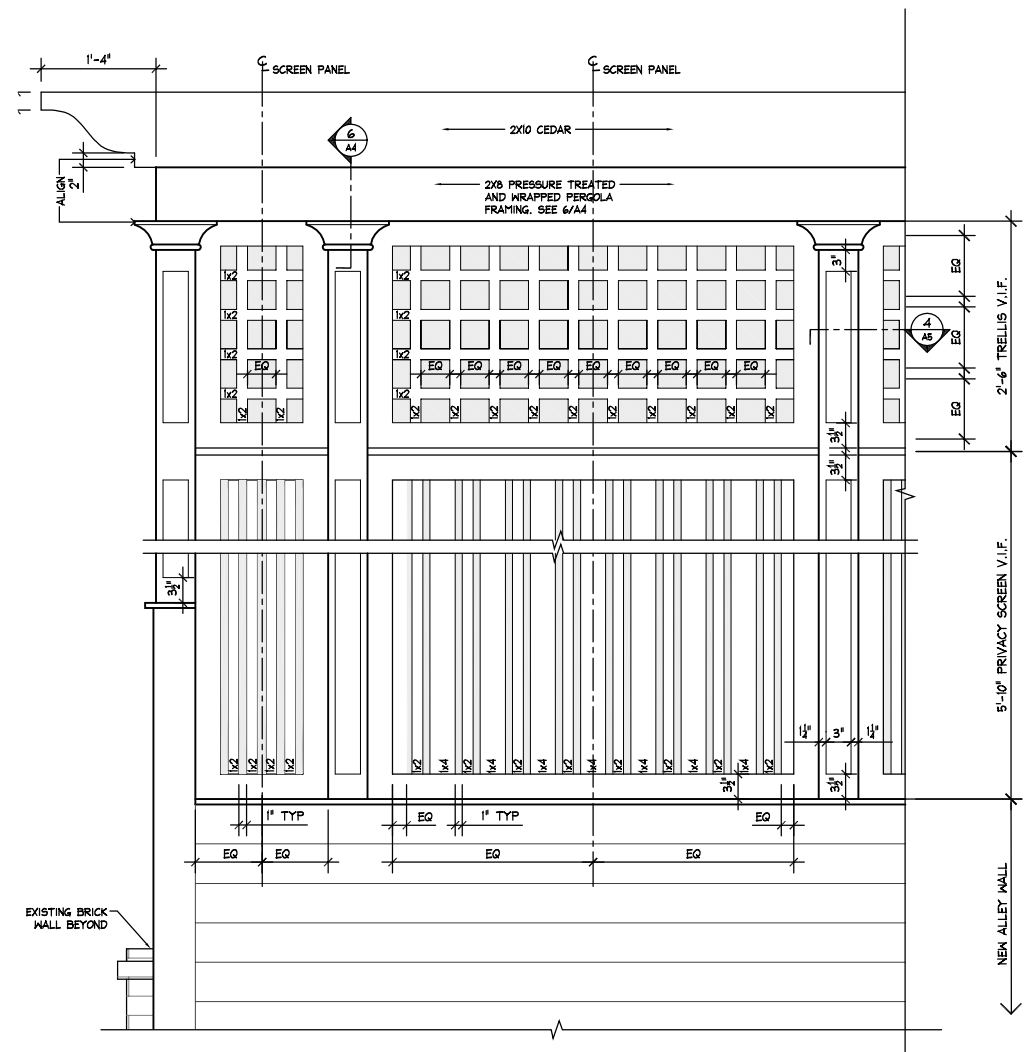
1 SECTION ELEVATION - NORTH
3/8" = 1'-0"



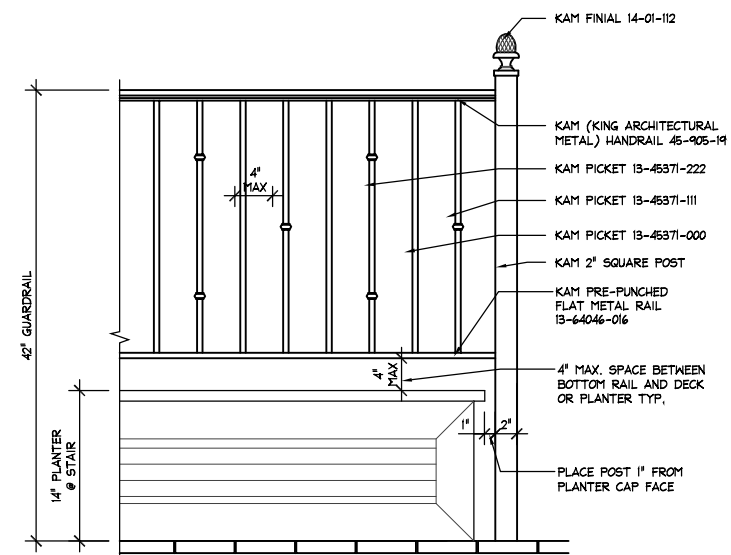
4 DETAIL @ DOOR HOUSING
1-1/2" = 1'-0"



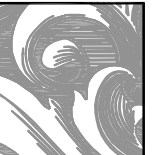
3 TERRACED WOOD PLANTER
1-1/2" = 1'-0"



2 PRIVACY FENCE DETAIL
1" = 1'-0"



1 RAILING DETAIL
1 1/2" = 1'-0"



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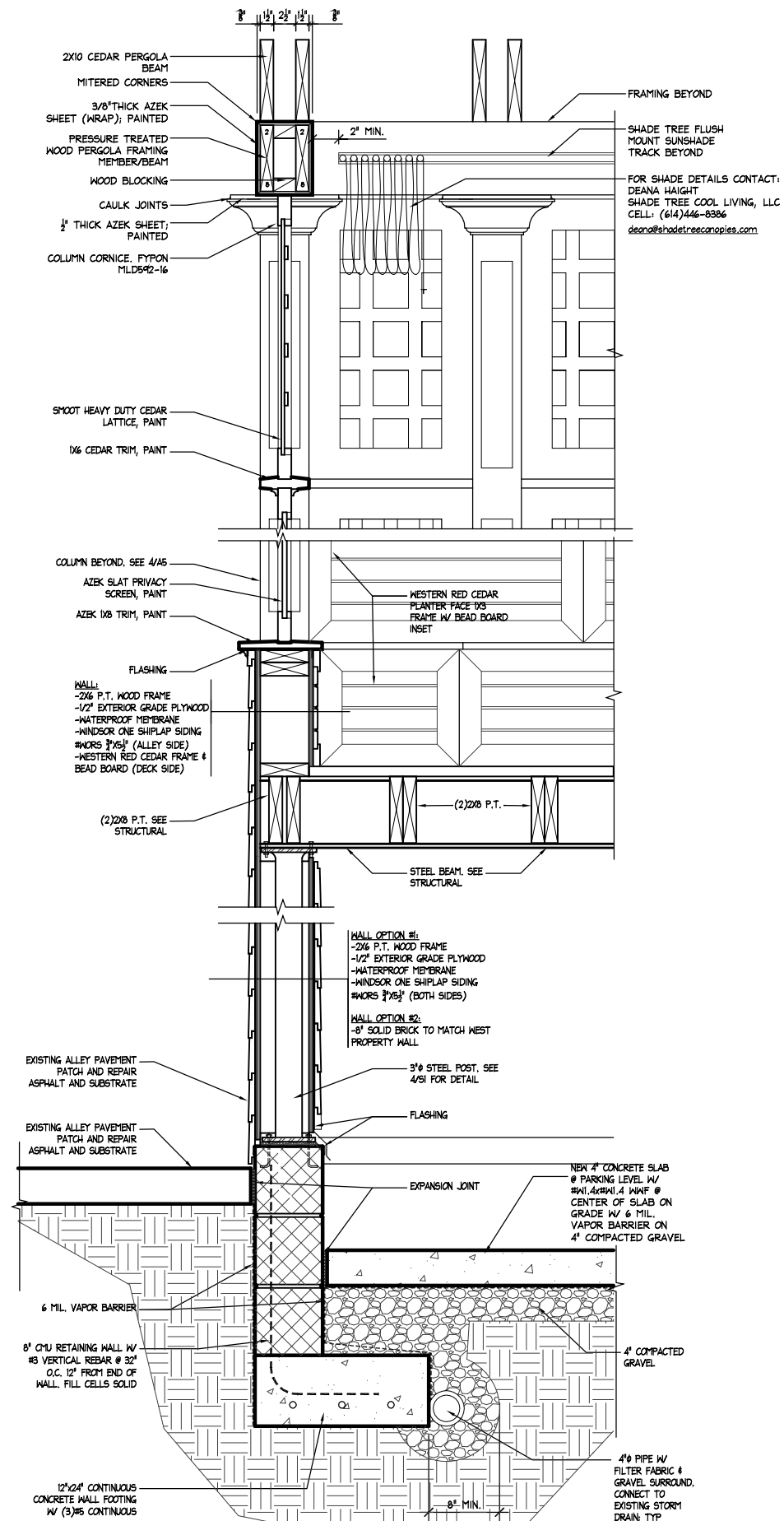
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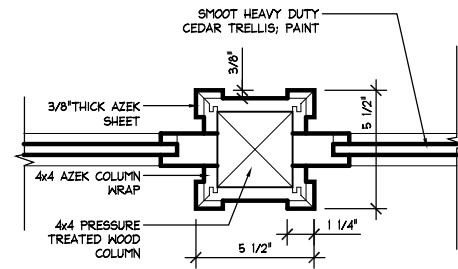
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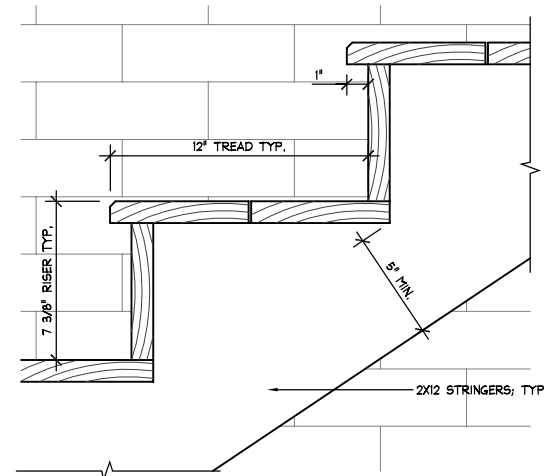
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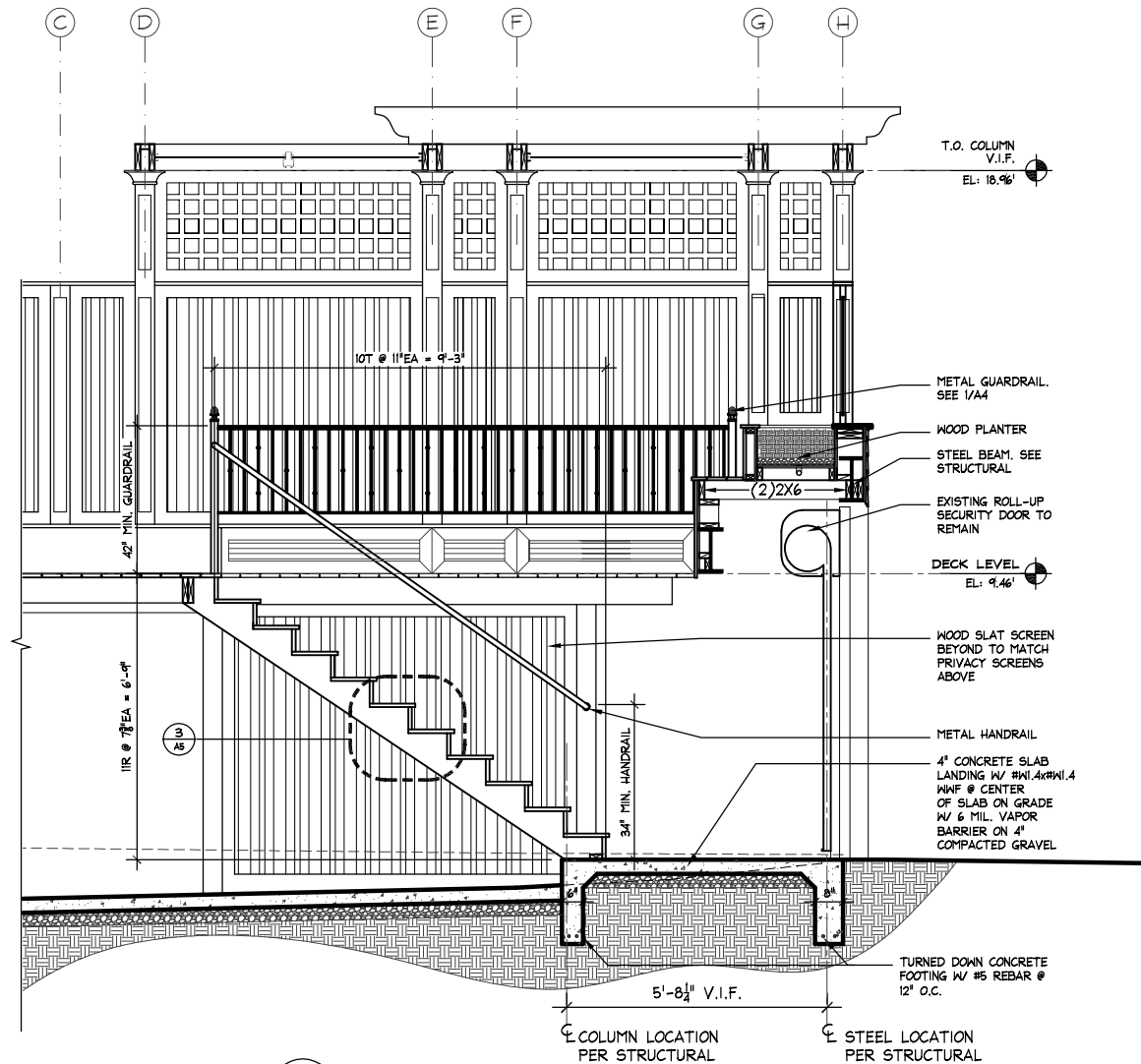
2 ALLEY WALL SECTION (OPTION #1)
 A5 1-1/2" = 1'-0"



4 COLUMN/FENCE DETAIL
 A5 3" = 1'-0"



3 STAIR DETAIL
 A5 3" = 1'-0"



1 STAIR SECTION
 A5 1/2" = 1'-0"

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