

GOVERNMENT OF THE DISTRICT OF COLUMBIA
Board of Zoning Adjustment



JUN 25 2014

APPLICATION NUMBER 18815
TO WHOM IT MAY CONCERN

Notice is hereby given that the Board of Zoning Adjustment will hold a public hearing at 441 4th Street, N.W., Suite 220 South, Washington, D C , 20001 on Tuesday, September 16, 2014, on the following application

Application of Amanda Bennett and Donald Graham, pursuant to 11 DCMR § 3103.2, for variances from the floor area ratio (section 402), lot occupancy (section 403), rear yard (section 404) and nonconforming structure (subsection 2001.3) requirements to allow a rear deck addition to a one-family row dwelling in the D/DC/R-5-B District at premises 2028 Hillyer Place, N W (Square 93, Lot 92).

NOTE: This case was filed electronically through the Interactive Zoning Information System ("IZIS") and all submission must be made via IZIS. You can access and file documents for this case through IZIS at <http://app.dcoz.dc.gov>.

At the public hearing, all interested persons will be given an opportunity to express their views. However, in lieu of appearing at the hearing you may also submit written views about this case. All written views should be sent to the address below, and must be received by the Board before the hearing on the case is concluded. Except for the affected ANC, any person who desires to participate as a party in this case must clearly demonstrate that the person's interests would likely be more significantly, distinctly, or uniquely affected by the proposed zoning action than other persons in the general public. If you are unsure of what it means to participate as a party and would like more information on this, please contact the Office of Zoning at dcoz@dc.gov or at (202) 727-6311.

Persons seeking party status shall file with the Board, not less than 14 days prior to the date set for the hearing, a Form 140 – Party Status Request form, a copy of which may be downloaded from the Office of Zoning's website at: <http://dcoz.dc.gov/services/app.shtm>. This form may also be obtained from the Office of Zoning at the address stated. This application is located within the boundaries of Advisory Neighborhood Commission 2B. This application will be heard at 9:30 a.m. If you have any questions about this application, please call the Office of Zoning on (202) 727-6311, or visit the office at 441 4th Street, N W , Suite 200 South, Washington, D C 20001. Please refer to the application number when you write or call about this case.

SINCERELY,

RICHARD S. NERO, JR.
Deputy Director of Operations
Office of Zoning

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2014

Telephone (202) 727-6311

Facsimile (202) 727-6072

E-Mail dcoz@dc.gov

Web Site www.dcoz.dc.gov

441 4th Street, N W , Suite 200/210-S, Washington, D C 20001

Board of Zoning Adjustment
District of Columbia
CASE NO.18815
EXHIBIT NO.23

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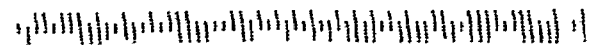


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Joseph McManus Jr
2021 Q Street NW
Washington DC 20009
Lot 83

20009#1009 C034



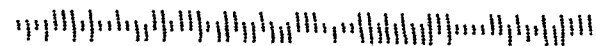
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T G Boggs
 2023 Hillyer Place NW
 Washington DC 20009
 Lot 106

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Melinda Liu
 2029 Hillyer Place NW
 Washington DC 20009
 Lot 815

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