

ABBREVIATIONS

ABV	above	INS	inches
AC	acoustical	INSUL	insulate (d, inq)
ACC	access	INT	interior
ACCP	access floor	INTL	interior's closet
ACT	acrylic planker	J	joint filler
ACT.	acoustical tile	JST	joint
AD	area drain	JT	joint
ADJ	adjustable	K	kitchen
AFF	above finish floor	KITCH.	kitchen
AL	aluminum	KO	kick out
APPROX	approximate	KPL	kick plate
ASP	asbestos	L	length
ASPH	asphalt	LAB	laboratory
AUTO	automatic	LAM	laminated
AVG	average	LAV	lavatory
AVC	air conditioning	LH	live load
B	below	LH	light
BET	between	LVR	louver
BHT	blumious	MAS	masonry
B.IT	best joint	MCH	mechanical
BLDG	building	MFD	metal floor decking
BLK	black	MIN	minimum
BLKG	blocking	MISC	miscellaneous
BLL	burn	MISCR	masonry opening
BOY	bottom	MISCR	moisture resistant
BP	back plaster (ed)	MWB	marble
BPL	bearing plate	MIL	milling
BRA	brick	NLL	north
BS	both sides	N	not in contract
BSMT	basement	NIS	not to scale
BUR	built up roofing	OA	outside air
BVL	both ways	OD	outside diameter
BW	cabinet	OH	overhead
CAD	cadmit	OP	opening
CD	catch basin	OPG	open site drain
CEM	cement	OSD	open-web joist
CER	ceramic	OWJ	on center (s)
CH	chanter flashing	O.C.	on center (s)
CHT	cubic foot	PAR	parallel
CA	corner guard	PB	panic bar
CHAM	chanter	PCC	precast concrete
CHD	challboard	PCF	pounds per cubic foot
CHC	cast iron	PCPE	pounds per square foot
CIPC	cast-in-place concrete	PEB	pedestal
CIR	circle	PERF	perforated
CIRC	circular	PFN	prefinished
C.I.H	control joint	PL	plate glass
CK	calc. (sq) calc. (sq)	PLG	plating
CL	center line	PL	plastic, property line
CLA	ceiling	PLAM	plastic laminate
CLCHT	ceiling height	PLAS	plaster, plastic
CLL	contract limit line	PLP	pounds per linear foot
CLR	clear (ance)	PLYMD	plywood
CLS	close	PL	point
CLD	close	PNID	painted
CM	centimeters	PSC	prestressed concrete
CMU	concrete masonry unit	PSF	pounds per square foot
COL	column	PS	pounds per square inch
COMP	combination	PT	point
COMP	compress (ed, ton, ed)	PTD	paper towel dispenser
COMPO	composition	PTR	paper towel receptor
COMPT	compartment	PVC	pvc
CONC	concrete	PVMT	pavement
CONC	construction	Q	quarry tile
CONT	continuous or continue	Q	quarry tile
CONTR	contract (or)	R	radius, riser
CONTR	contract (or)	RA	return air
CONTR	contract (or)	RAD	radius
CONTR	contract (or)	RBT	radius, rebate
CONTR	contract (or)	RCP	reinforced concrete pipe
CONTR	contract (or)	RE	reinforce (d, inq)
CONTR	contract (or)	REF	reference
CONTR	contract (or)	REFR	refrigerator
CONTR	contract (or)	REM	remove
CONTR	contract (or)	RES	resilient
CONTR	contract (or)	RET	return
CONTR	contract (or)	REV	revision (s), revised
CONTR	contract (or)	RFG	roofing
CONTR	contract (or)	RFL	reflect (ed, ne, or)
CONTR	contract (or)	RI	right hand
CONTR	contract (or)	RM	room
CONTR	contract (or)	RO	rough opening
CONTR	contract (or)	RQW	right of way
CONTR	contract (or)	RWC	rainwater conductor
CONTR	contract (or)	S	soak
CONTR	contract (or)	S	sink base
CONTR	contract (or)	SCT	structural clay tile
CONTR	contract (or)	SD	storm drain
CONTR	contract (or)	SE	square foot
CONTR	contract (or)	SIM	similar
CONTR	contract (or)	SLT	scalant
CONTR	contract (or)	SPCS	specification (s)
CONTR	contract (or)	SPK	speaker
CONTR	contract (or)	SQ	square
CONTR	contract (or)	SS	service sink
CONTR	contract (or)	STA	station
CONTR	contract (or)	STG	seating
CONTR	contract (or)	STL	storage
CONTR	contract (or)	STO	storage
CONTR	contract (or)	STRUC	structural
CONTR	contract (or)	SUS	suspended
CONTR	contract (or)	SVM	summit (local)
CONTR	contract (or)	SVM	synthetic
CONTR	contract (or)	SYS	system
CONTR	contract (or)	T	tread
CONTR	contract (or)	TEL	telephone
CONTR	contract (or)	TH	threshold
CONTR	contract (or)	TRPD	threshold
CONTR	contract (or)	T.O.W	top of wall
CONTR	contract (or)	TV	television
CONTR	contract (or)	TYP	typical
CONTR	contract (or)	TEM	temporal
CONTR	contract (or)	VB	varnish
CONTR	contract (or)	VB	vinyl base
CONTR	contract (or)	VERT	vertical
CONTR	contract (or)	VN	vinyl
CONTR	contract (or)	VT	vent tile
CONTR	contract (or)	V.I.F.	verify in field
CONTR	contract (or)	W	west
CONTR	contract (or)	WC	water closet
CONTR	contract (or)	WD	wood
CONTR	contract (or)	WG	wire glass
CONTR	contract (or)	WM	wire mesh
CONTR	contract (or)	WPM	water proof membrane
CONTR	contract (or)	WRCMB	water resistant appsum wall board
CONTR	contract (or)	WWF	welded wire fabric
CONTR	contract (or)	WWM	welded wire mesh
CONTR	contract (or)	W/	with
CONTR	contract (or)	W/O	without
CONTR	contract (or)	YD	yard drain

PROJECT DATA

COMMUNITY CONNECTIONS
HOUSING INC.

801 PENNSYLVANIA, AVE.
S. E. WASHINGTON, D.C. 20003

BUILDING ADDITION AND
RENOVATIONS AT
5422 BLAIR RD., N.E.

OWNER:

COMMUNITY CONNECTIONS INC.
801 PENNSYLVANIA AVE.
S.E. WASHINGTON, D.C. 20005
Telephone: (202) 281-2900

ARCHITECT/DESIGNER:

NOW OR LATER CONSULTING SERVICES, LLC
14701 DANTON COURT
BOWIE MARYLAND, 20721
Telephone: (301) 390-5877

GRAPHIC SYMBOLS



BUILDING DATA

THE EXISTING 6 PERSON CRP IS TO BE RENOVATED AND MODIFIED TO ALLOW FOR A NEW 8 PERSON CRP. THE ENTIRE LOWER LEVEL OF THE NEW AND EXISTING BUILDING WILL BE FULLY ACCESSIBLE TO PERSONS WITH PHYSICAL DISABILITIES. A SEPARATE REAR WHEEL CHAIR LIFT IS TO BE INSTALLED PRIOR TO CONSTRUCTION BEING COMPLETE. THE EXISTING BUILDING HAS EMERGENCY EXIT SIGNS THROUGHOUT AND THEY WILL BE RE-USED TO BE INTO THE NEW EXTENDED EMERGENCY SIGNS FOR THE NEW SPACE. THE CURRENT SITE PLAN WENT THROUGH A "SUB-DIVISION" REVIEW AND HAS BEEN APPROVED AS THE PLAN IS SUBMITTED.

1.	APPLICABLE BUILDING CODES:	2006 IBC (INTERNATIONAL BUILDING CODE) 2006 IRC (INTERNATIONAL RESIDENTIAL CODE)	1.	EXISTING LOT SIZE:	8482 SF.
2.	FIRE EXTINGUISHERS:	YES, ON EVERY LEVEL	m.	LOT COVERAGE ALLOWED:	40% MAXIMUM
3.	SMOKE DETECTORS:	YES, (HARDWIRED & INTERCONNECTED THROUGHOUT)	n.	LOT COVERAGE PROPOSED:	1. BUILDING: 2472 SF. 2. SITE: 419 SF. 3. PARKING LOT: 0 SF. (GRAVEL PARKING LOT PLUS ADDED LAWN - PANELS)
4.	INTERIOR EXIT SIGNS	YES, (THROUGHOUT)			
5.	FIRE ALARM:	NO			
6.	SPRINKLER SYSTEM (FIRE SUPPRESSION):	YES, 100% SPRINKLED THROUGHOUT	a.	TOTAL LOT COVERAGE:	4,289 SF. (54%)
7.	BUILDING DESCRIPTION:				
a.	ZONING:	R1b			
b.	USE GROUP:	I (INSTITUTIONAL)			
c.	CONSTRUCTION TYPE:	2-B			
d.	FIRE WALLS:	NO			
e.	EXISTING BUILDING USE:	6 PERSON ORP (COMMUNITY RESIDENTIAL FACILITY) - SINGLE FAMILY DWELLING- RD			
f.	PROPOSED BUILDING USE:	8 PERSON ORP (COMMUNITY RESIDENTIAL FACILITY) - ASSISTED LIVING FACILITY W/ 3 ROTATING STAFF- R4			
g.	EXISTING BUILDING AREA:	2900 SF.			
h.	PROPOSED BUILDING AREA:	1946 SF.			
i.	TOTAL BUILDING AREA:	4446 SF.			
j.	EXISTING BUILDING HEIGHT:	2 STORES PLUS A BASEMENT			
k.	ALLOWABLE SET BACKS:	1. FRONT YARD; 2. REAR YARD; 3. SIDE YARD:			

INDEX OF DRAWINGS

LATEST REV.	SHEET NO.	DRAWING TITLE
—		COVERSHEET
—		SITE PLAN
1 of 12		EXISTING BUILDING FLOOR PLANS
2 of 12		EXISTING BUILDING ELEVATIONS & NOTES
3 of 12		DEMOLITION PLANS AND NOTES
4 of 12		PROPOSED NEW BASEMENT AND FIRST FLOOR PLAN W/ ELECTRICAL LAYOUT
5 of 12		PROPOSED EXISTING BASEMENT PLAN, WINDOW, DOOR SCHEDULE, WINDOW ELEVATIONS AND DETAILS
6 of 12		PROPOSED SECOND FLOOR PLAN, DOOR & FRAMING TYPES WITH NOTES
7 of 12		PROPOSED BUILDING ELEVATIONS
7A of 12		PROPOSED BUILDING ELEVATIONS
8 of 12		BUILDING SECTION, WALL TYPES, WALL SECTIONS & OTHER DETAILS
9 of 12		ROOF DRAINAGE AND PORCH FRAMING PLANS
10 of 12		FRAMING PLANS FOR NEW ADDITION
11 of 12		ROOF FRAMING PLAN & STRUCTURAL NOTES
12 of 12		PROJECT SHORT FORM SPECIFICATIONS
PI		WATER AND PLUMBING RISER DIAGRAM

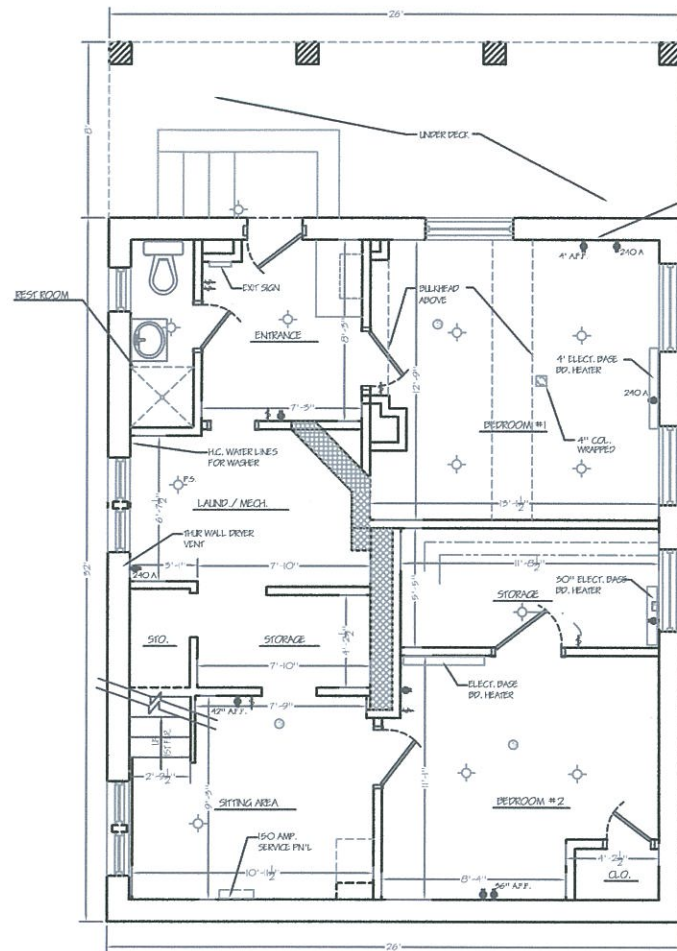
NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING ALL FINAL MEASUREMENTS FIT AND ALIGN WITH NEW PROPOSED PLANS TO MAKE ADJUSTMENTS TO THE EXISTING INTERIOR SPACE.
2. ALL PROJECT DEMOLITION IS TO COMPLY WITH THE PROPOSED DEMOLITION PLANS THAT ARE BEING PROVIDED AT THIS TIME. WHEN ACTUAL WORK BEGINS AND A QUESTION ARISES THAT CAN NOT BE ADDRESSED BY THE DRAWINGS, CONTACT NLC'S IMMEDIATELY (301.390.5877).
3. ALL EXISTING DIMENSIONS ARE BASED ON ACTUAL FIELD MEASUREMENTS. SOME OF THE OVERALL DIMENSIONS MIGHT BE OFF TARGET BY AN INCH OR TWO.
4. ALL SPACES APPEAR AS THEY ARE LOCATED IN THE EXISTING BUILDING.

LEGEND:

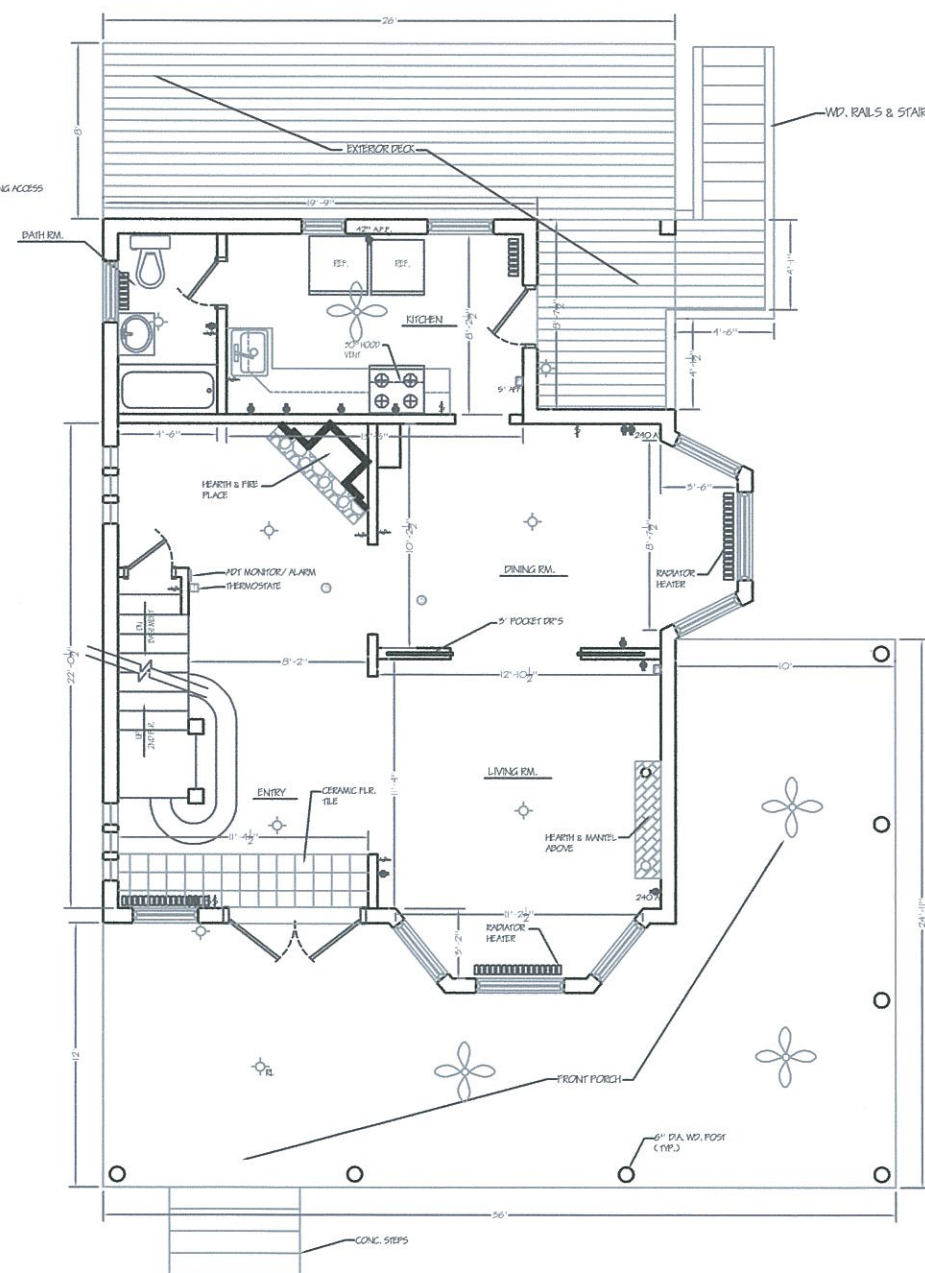
- XXXX DEMOLITION TO OCCUR
- CEILING FAN
- SWITCHES/ OUTLETS
- NEW OUTLETS
- RECESSED LIGHTS OR SURFACE MTD. LIGHT
- WINDOW & DOOR SYMBOLS
- SMOKE DETECTOR (HARD WIRED)
- EXHAUST VENT
- SUPPLY VENT
- PHONE JACK & RELAYS/CONTROLS
- WALL TYPES
- FIRE EXTINGUISHER
- EMERGENCY EXIT

SEE LARGER LEGEND FOR OTHER SYMBOLS. IF THERE IS A CONFLICT, THIS LEGEND IS FINAL.



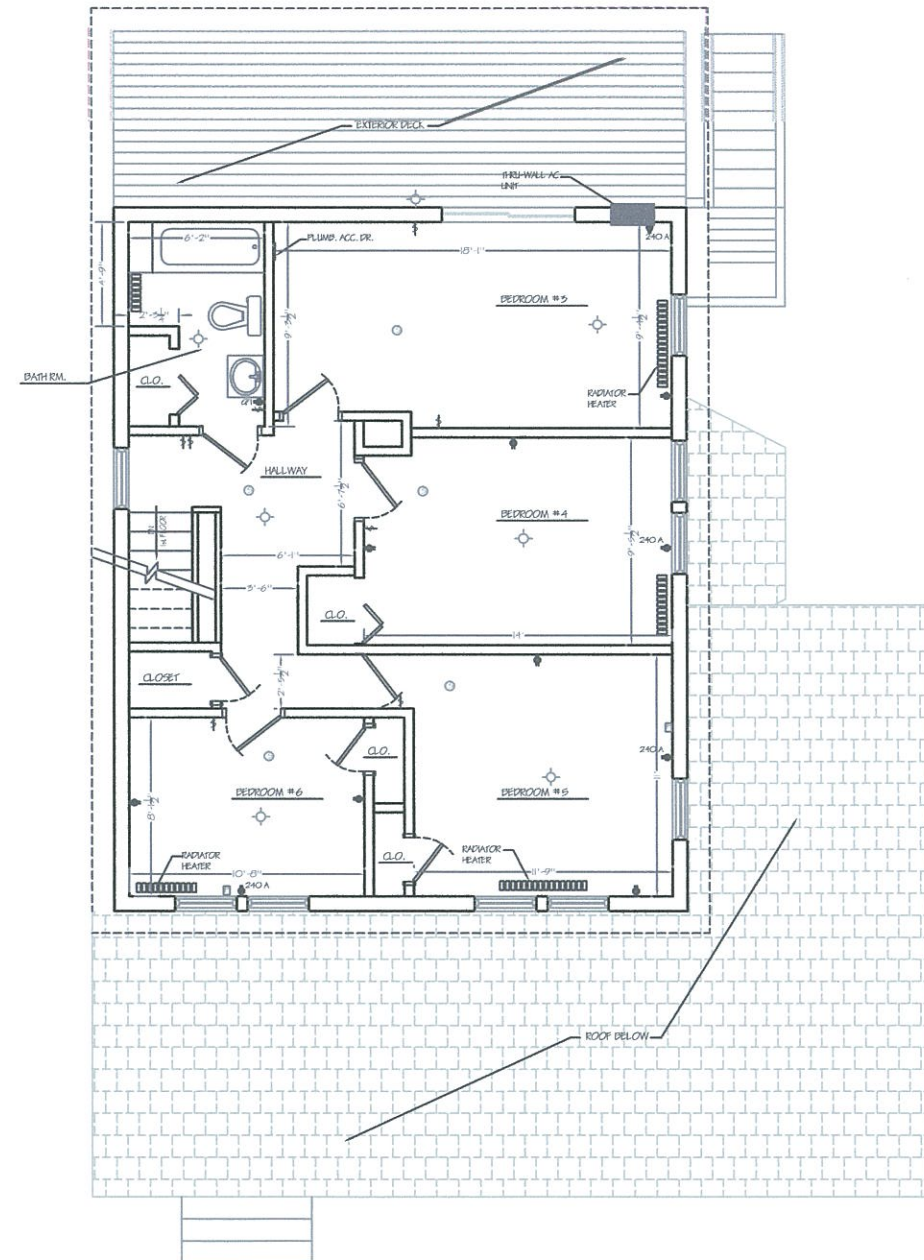
EXISTING BASEMENT FLOOR PLAN

SCALE: 1/4" = 1' - 0"



EXISTING 1st FLOOR PLAN

SCALE: 1/4" = 1' - 0"



EXISTING 2nd FLOOR PLAN

SCALE: 1/4" = 1' - 0"

5422 BLAIR RD. N.E.
BUILDING RENOVATIONS
EXISTING BUILDING FLOOR PLANS

sheet 1 of 12

scale: AS NOTED

REVISIONS:

REV. NO.	DATE	DESCRIPTION

DESIGNER:

KEITH E. BUTLER
14701 DANTON COURT
BOWIE, MD. 20721
(301) 303-0528

OWNER:

COMMUNITY CONNECTIONS INC.
650 PENNSYLVANIA AVE.
S.E. WASHINGTON, D.C. 20003

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING ALL FINAL MEASUREMENTS FIT AND ALIGN WITH NEW PROPOSED PLANS TO MAKE ADJUSTMENTS TO THE EXISTING INTERIOR SPACE.
2. ALL PROJECT DEMOLITION IS TO COMPLY WITH THE PROPOSED DEMOLITION PLANS THAT ARE BEING PROVIDED AT THIS TIME. WHEN ACTUAL WORK BEGINS AND A QUESTION ARISES THAT CAN NOT BE ADDRESSED BY THE DRAWINGS, CONTACT NLCS IMMEDIATELY (301.590.5877).
3. ALL FINISH DIMENSIONS ARE BASED ON ACTUAL FIELD MEASUREMENTS. SOME OF THE OVERALL DIMENSIONS MIGHT BE OFF TARGET BY AN INCH OR TWO.
4. ALL SPACES APPEAR AS THEY ARE LOCATED IN THE EXISTING BUILDING.
5. ALL KITCHEN AND BATHROOM APPLIANCES AND CABINETS SHALL BE REMOVED AND DISPOSED OF PROPERLY. REMOVE THE EXISTING KITCHEN DOOR AND RELOCATE A NEW DOOR BASED ON PLANS PROVIDED.
6. ALL NEW TILE FLOORS SHALL BE SUPPLIED IN THE RENOVATED KITCHEN AND THE NEW LAUNDRY ROOM. SEE FINISH SCHEDULE FOR NEW INTERIOR FINISHES.
7. EXTENSIVE CARE SHALL BE TAKEN WHEN REMOVING THE EXISTING BRICK CHIMNEY. A NEW FIRE PROOF VENT IS TO BE RE-SET IN THE EXISTING OPENING AND VENTED THROUGH THE EXISTING SECOND FLOOR ROOF. MAXIMUM MANUFACTURE FIRE RATING ON NEW GAS VENT FOR FURNACE LOCATED IN EXISTING BASEMENT.
8. EXISTING HOT WATER RADIATORS ARE TO BE RELOCATED WHERE NOTED AND RE-INSTALLED PER THE FINAL BUILDING PLAN.
9. EXTENSIVE CARE SHOULD BE TAKEN WHEN INSTALLING NEW CEILING DRAFT TO SUPPORT THE NEW WALL SHAVES. PROPER SHORING AND BRACING SHALL BE PROVIDED BY A STRUCTURAL ENGINEER TO ENSURE THE OVERALL INTEGRITY OF THE EXISTING HOUSE AND THE OVERALL SAFETY OF THE WORKERS IN THE SPACE.
10. ALL EXISTING INTERIOR FLOOR FINISHES SHALL BE REMOVED AND REPLACED WITH NEW FINISHES ACCORDING TO THE FINISH SCHEDULE.
11. ALL EXISTING INTERIOR WOOD FINISHES ARE TO BE RE-TRIMMED AND RE-FINISHED AS NOTED AT THE FIRST FLOOR STAIR AND USE THE SAME WOOD TO FINISH THE NEW RELOCATED RISERS. MINIMIZE THE DAMAGE TO THE EXISTING WOOD IN THAT IT IS TO BE RE-USED.
12. ALL DOORS AND WINDOW, APPLIANCES THAT ARE TO BE REMOVED THAT ARE IN GOOD WORKING ORDER, SHALL BE PRESENTED TO THE OWNER FOR RE-USE ELSEWHERE. IF THE OWNER DOES NOT SELECT TO STORE, CONTRACTOR SHALL REMOVE FROM BUILDING SITE AND DISPOSE OF.
13. REMOVE THE EXISTING FLOOR TILE LOCATED AT THE FRONT DOOR AND REPLACE WITH NEW TILE PER THE FINISH SCHEDULE.
14. ALL EXTERIOR VINYL AND WOOD SIDING SHALL BE REMOVE AND DISPOSED OF. ALL EXISTING WINDOWS SHALL BE RE-TRIMMED AND RE-FINISHED WITH VINYL. WRAP ONCE NEW WOOD LAP BOARD SIDING HAS BEEN INSTALLED.
15. TAKE EXTENSIVE CARE WHEN REMOVING THE EXISTING OUTSIDE PORCH ROOF AND INDIVIDUAL 6" WOOD COLUMNS. RE-FRAME THE PORCH ROOF TO PROVIDE MAX DRAINAGE TO NEW METAL GUTTERS, DOWN SPOUTS AND SPLASHES. ALL EXISTING GUTTERS ARE TO BE REMOVED AND RE-USED. REMOVE EXISTING FASCIA AND SOFFIT WOOD FINISH ON THE EXISTING HOUSE AND REPLACE WITH NEW VINYL. SOFFIT AND NEW WOOD TRIM.

16. ALL DAMAGE TO EXISTING WALLS IS THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR AND CORRECT PRIOR TO APPLYING THE FINAL FINISH. SELECTION OF ALL FINAL WALL COLORS ARE THE RESPONSIBILITY OF THE OWNER.
17. ALL FIXTURES, FLOOR AND WALL TILES SHALL BE REMOVED AND REPLACED IN-KIND, SEE FINISHED SCHEDULE FOR FINAL FINISHES.
18. REMOVE ALL NON-BEARING WOOD STUD WALLS AND DRYWALL IN THE BASEMENT AREA. ALL FLOOR FINISH SHALL BE REMOVED ALSO. CONTRACTOR SHALL RE-PAINT ALL EXTERIOR WALLS TO CREATE A UNIFORM FINAL FINISH. SEE NEW LIGHTING SCHEDULE AND FINISHES FOR THIS AREA.
19. EXISTING STAIRWELL TO BE RE-CONFIGURED TO ALLOW FOR PROPER EGRESS FROM THE BASEMENT AREA. NEW STAIRS SHALL LEAD OUT OF THE BASEMENT AREA, WITH NEW 6" WALLS AND CONCRETE STEPS. SEE NEW PLAN FOR FINAL DETAILS.
20. THE EXISTING REAR 1'x1' SQ. BRICK PIER IS TO BE REMOVED AND REPLACED WITH NEW PIER THAT IS SIMILAR.
21. ALL PHONE JACKS, WALL OUTLETS AND SWITCHES SHALL BE REMOVED AND EITHER RELOCATED OR CAPPED OFF WITH A JUNCTION BOX AND DISCONNECTED.
22. CONTRACTOR SHALL PROVIDE NECESSARY REAR DECK COVERING TO PROTECT THE EXISTING FLOORS DURING THE CONSTRUCTION PERIOD.
23. PRIOR TO SETTING NEW FOUNDATIONS AND FLOOR JOIST FOR NEW ADDITION, CONTRACTOR SHALL ENSURE THAT NEW FLOOR LEVELS MATCHES WITH EXISTING FLOOR LEVELS THAT ARE TO HAVE NEW FLOOR FINISHES INSTALLED AT THE END OF CONSTRUCTION IN THE EXISTING HOUSE.
24. CONTRACTOR SHALL REMOVE THE EXISTING FIRE PLACE AND CHIMNEY AND RELOCATE NEW CHIMNEY SHIRT BASED ON THE LAYOUT OF THE NEW KITCHEN AREA.
25. CONTRACTOR SHALL REMOVE ALL INTERIOR DOORS AND TRIM (CROWN MOULDING) AND REPLACE WITH NEW ACCORDING TO DRAWINGS AND SPECIFICATIONS. ALL AREA OF WALLS THAT ARE DAMAGED BY THE REMOVAL SHALL BE GRANDED AND RE-FINISHED.
26. WHEN INSTALLING THE NEW POURED CONCRETE FOUNDATION NEXT TO THE EXISTING ONE IN THE BASEMENT AREA, IF THE EXISTING FOOTER IS DISTURBED AT ANY POINT, CALL N.C.S IMMEDIATELY TO DIRECT THE PROCESS TO ALLOW FOR PROPER UNDERPINNING OF THE EXISTING HOUSE FOUNDATION.
27. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TIEING THE NEW OUTSIDE DRAIN INTO THE EXISTING OUTSIDE DRAIN AT THE REAR OF THE EXISTING BASEMENT LANDING, OTHERWISE THE NEW CONNECTION IS TO BE TIED TO THE SAME CONNECTION THAT THE EXISTING IS TIED TO.
28. REMOVE THE UPPER LEVEL REAR DECK AND CUT EXISTING 4x4 POST DOWN TO THE LEVEL OF THE EXISTING HANDRAILS AT THE REAR. REAR DECK IS TO PAINTED/ STAINED WITH SAME FINISH AS THE NEW FRONT PORCH.
29. WHEN POURING NEW CONCRETE FOR BASEMENT, CONTRACTOR SHALL INSTALL 6" #6 REBAR POWELLS (S PRE-DRILLED) @ 50" O.C. VERTICAL WITH 42" O.C. HORIZONTALLY TO ALLOW NEW CONCRETE TO BIND WITH EXISTING FOUNDATION WALL.
30. WHEN EXISTING BASEMENT WALLS HAVE BEEN REMOVED ALONG WITH EXISTING CEILING LIGHTS, AND NEW LIGHTING HAVE BEEN INSTALLED, IT IS THE CONTRACTORS RESPONSIBILITY TO PATCH ALL DAMAGED WALLS AND CEILING, THEN PAINT ALL THE SAME COLOR.

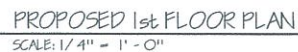


SCALE: 1/4" = 1' - 0"

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1. ALL NEW ELECTRICAL IS TO BE TIED TO THE EXISTING 200 AMP SERVICE (THE CURRENT PANEL IS 150 AMPS). THIS PANEL SHALL BE UPGRADED AT THE CONTRACTORS EXPENSE TO ALLOW FOR ALL NEW WIRING OF THE EXISTING AND THE NEW ADDITION.
2. NEW ELECTRICAL PANEL SHALL BE LABELED CORRECTLY TO SHOW WHERE EXISTING AND NEW WIRING IS TIED TO CURRENT CIRCUITS.
3. THE NEW FLOORING FOR THE NEW PORCH IS TO BE PAINTED / PRIMED WITH A RED STAIN, SAME TO BE PROVIDED WITH THE 1/2" T&G CEILING IN THE PORCH AREA.
4. ANY AND ALL TECHNICAL QUESTIONS SHOULD BE ADDRESSED TO KEITH BUTLER (NOW OR LATER CONSULTING SERVICES, 501.390.5877).
5. NEW CONCRETE FOUNDATION IS TO BE POURED IN CONCRETE FORMS THAT CREATE A STAGGARD STONE LIKE SETTING FINISH WITH THE FINAL POLUR. SEE SPECIFICATIONS FOR MORE DETAILS.
6. BE VERY CAREFUL TO NOTE THAT ALL ELECTRICAL OUTLETS, SWITCHES AND FIXTURES IN THIS BUILDING ARE NOT TO BE REPLACED, WHERE INDICATED WITH A "X" OR "X" NEXT TO THE SYMBOL, THIS IS TO HAVE A NEW SERVICE PROVIDED (SEE LEGEND). IN ADDITION AREA ALL ELECTRICAL IS TO BE NEW AND IS NOTE NOTED AS SUCH.
7. ALL NEW FIXTURES LOCATED NEAR WATER SOURCES SHALL HAVE BUILT IN GROUND FAULT INDICATOR SUPPLIED. ALL EXTERIOR OUTLETS EXPOSED TO THE ELEMENTS SHALL BE WATER PROOF.
8. ALL WALLS AND CEILINGS ON THE FIRST & SECOND FLOORS OF THE EXISTING HOUSE ARE PLASTER AND ARE TO BE PATCHED WITH COMPATIBLE MATERIALS, EITHER PLASTER OR FILLED DRYWALL (TAPED & FINISHED) PRIOR TO RE-PAINING.
9. THE EXISTING HOUSE HAS EMERGENCY EXIT SIGNS AND WILL NEED TO BE RE-LOCATED. ALL NEW ADDITIONS WILL NEED TO HAVE ADDED EMERGENCY EXIT SIGNS.
10. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR HAVING NEW WATER SERVICE PROVIDED IN ORDER TO HAVE A NEW SPRINKLER SYSTEM INSTALLED IN THE ENTIRE BUILDING. ALL DESIGN, PERMITS AND OTHER COST ASSOCIATED WITH THE NEW INSTALL SHALL BE THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR.
11. NEW HALLWAY LIGHTS SHALL BE MOUNTED ON THE WALLS AS SHOWN ON THE FLOOR PLANS (FOR BOTH FLOORS). WALL SCONCES WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
12. ALL NEW KITCHEN CABINETS SHALL HAVE "GALLEY RAIL" MOUNTING PROVIDED AT THE TOPS OF ALL CABINETS. THE FINAL COLOR OF THE CABINETS SHALL BE WHITE "QUADRIC-OSI" AS SUPPLIED BY "ARMSTRONG CABINETS" OR EQUAL.



5422 BLAIR RD. N.E.
BUILDING RENOVATIONS
PROPOSED NEW BASEMENT & 1st FLOOR
PLAN W/ ELECTRICAL LAYOUT
scale : AS NOTED
sheet 4 of 12

sheet 4 of 12

scale: AS NOTED

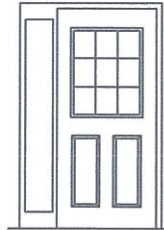
REVISIONS:		
rev. no.	date	description

NER;
KEITH E. BUTLER
14701 DANTON COURT
BOWIE, MD. 20721
(301) 303-0528

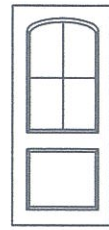
COMMUNITY CONNECTIONS INC.
650 PENNSYLVANIA AVE.
S.E. WASHINGTON, D.C. 20003



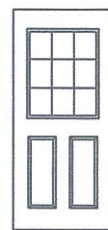
1
PR. 36" FLUSH MTD PRE-HUNG
METAL DRS. PRIMED AND
PAINTED



2
36" - 9 LITE PRE-HUNG H.M.
DOOR W/ PRIMED AND
PAINTED PANELS & WIN.
DIVIDERS & 12" SIDE LITE



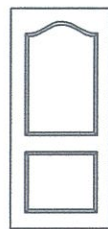
3
36" 3/4" FULL TEMPERED
GLASS FRIGGLASS FRONT
DR. PRIMED & PAINTED W/
HARDWARE



4
36" - 9 LITE H.M. DOOR W/
PRIMED AND PAINTED PANELS
W/ TEMPERED GLASS (TYP.)



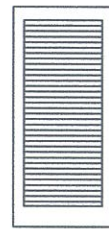
5
24" PRE-HUNG H.C. TWO
PANEL ARCHTOP TEXTURED
DR. FINISHED W/
HARDWARE



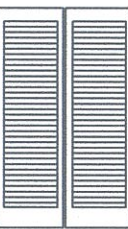
6
36" PRE-HUNG H.C. SINGLE
ARCH PANEL DRS. FINISHED
W/ HARDWARE



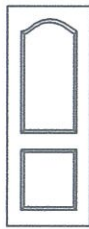
7
15" PRE-HUNG
LOUVERED WD. DR.
PRIMED & PAINTED



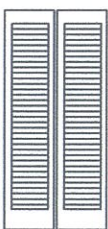
8
36" PRE-HUNG
LOUVERED WD. DR.
PRIMED & PAINTED



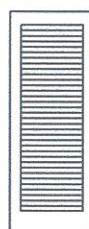
9
PR. 24" PRE-HUNG
LOUVERED WD. DR.
PRIMED & PAINTED



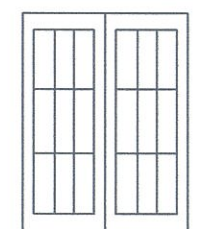
10
50" PRE-HUNG H.C. TWO
PANEL ARCHTOP TEXTURED
DR. FINISHED W/ HARDWARE



11
36" 8H-OLD PRE-HUNG
LOUVERED WD. DR.
PRIMED & PAINTED



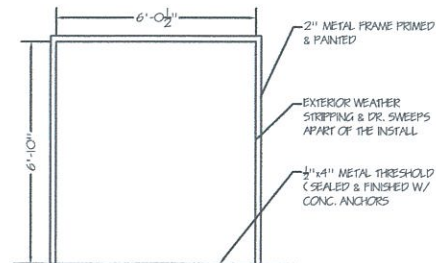
12
50" PRE-HUNG LOUVERED
WD. DR. PRIMED & PAINTED



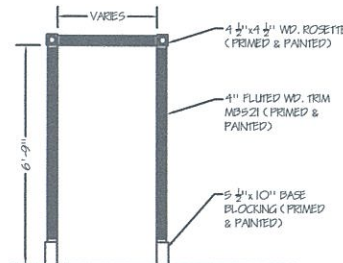
13
PR. 50" 9 LITE FRENCH PRE-HUNG
WD. DRS. FINISHED W/ MULLINS

DOOR TYPES

SCALE: 3/8" = 1' - 0"



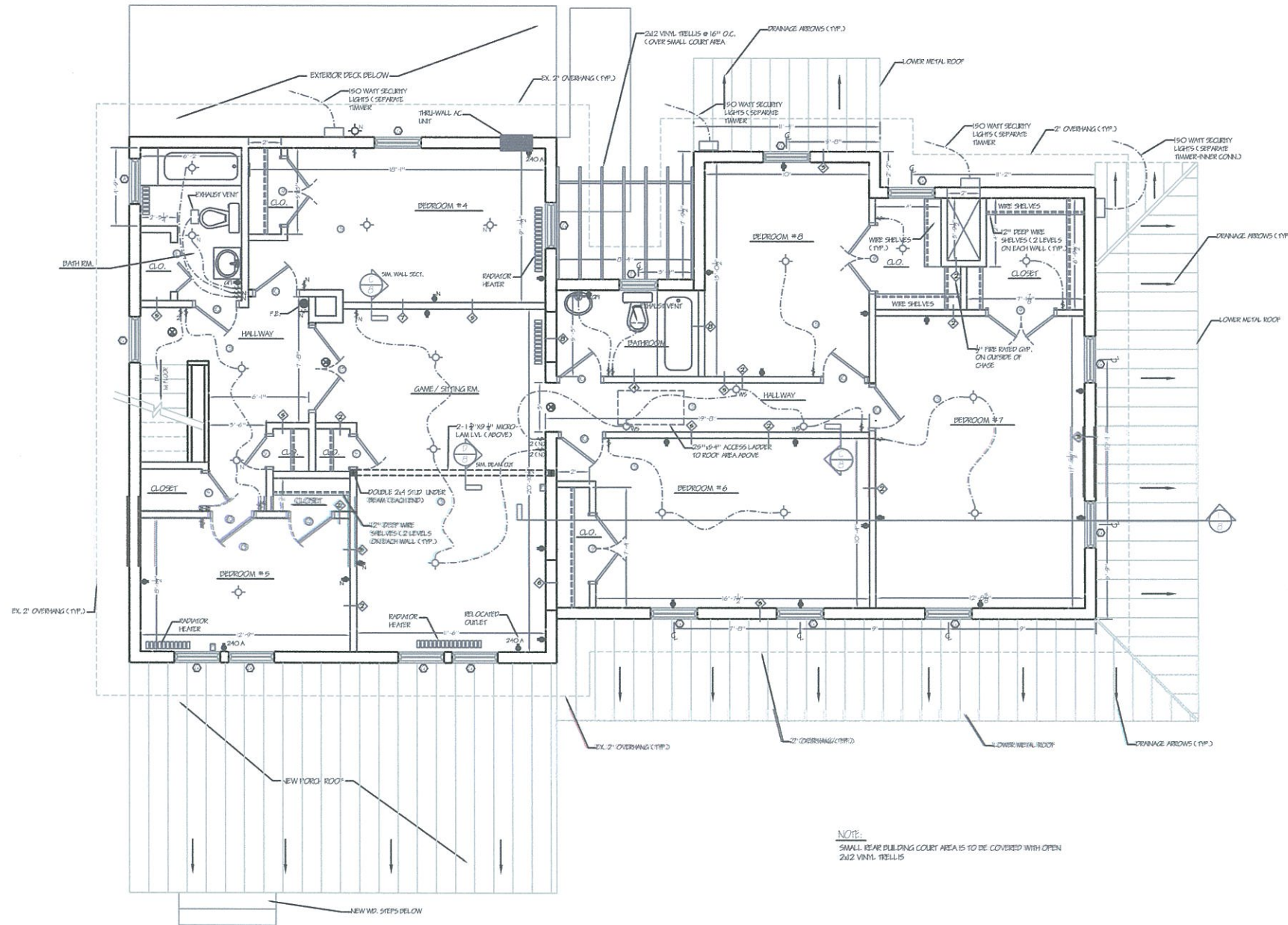
A



B

FRAME TYPES

SCALE: 3/8" = 1' - 0"



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

NOTES:

1. ALL NEW AND REPLACEMENT INTERIOR TRIM SHALL BE PRIMED & PAINTED ACCORDING TO FINAL COLOR SELECTED BY THE OWNER.
2. IN THE FIRST FLOOR COMMON AREAS, THE CONTRACTOR SHALL INSTALL A 34" HIGH CHAIR RAIL WITH A CEILING CROWN TO MATCH THE DETAIL BEING SUPPLIED.
3. ALL TRIM & BASE WOOD FINISHES SHALL BE PAINTED WITH A OIL BASED (LOW VOC) HIGH GLOSS FINAL FINISH.
4. THE FINAL SELECTION OF PAINT AND FINISH COLORS ARE TO BE SELECTED BY THE OWNER. AT THE OWNERS REQUEST A SEPARATE SHEET OF COLOR SPECIFICATIONS WILL BE PROVIDED TO ASSIST WITH EXTERIOR FINISHES THAT ARE TO TAKE PLACE.
5. FINAL ASPHALT SHINGLES SHALL BE INSTALLED PER THE MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS. ANY DVIATING FROM WHAT IS SPECIFIED, SHALL BE DONE SO UPON PRIOR APPROVAL AND FINAL CERTIFICATION.
6. COPPER SNOW GUARDS ARE TO BE INSTALLED ON THE NEW COPPER ROOF AREA AT THE PORCH ROOF ONLY.

REVISIONS:

REV. NO.	DATE	DESCRIPTION

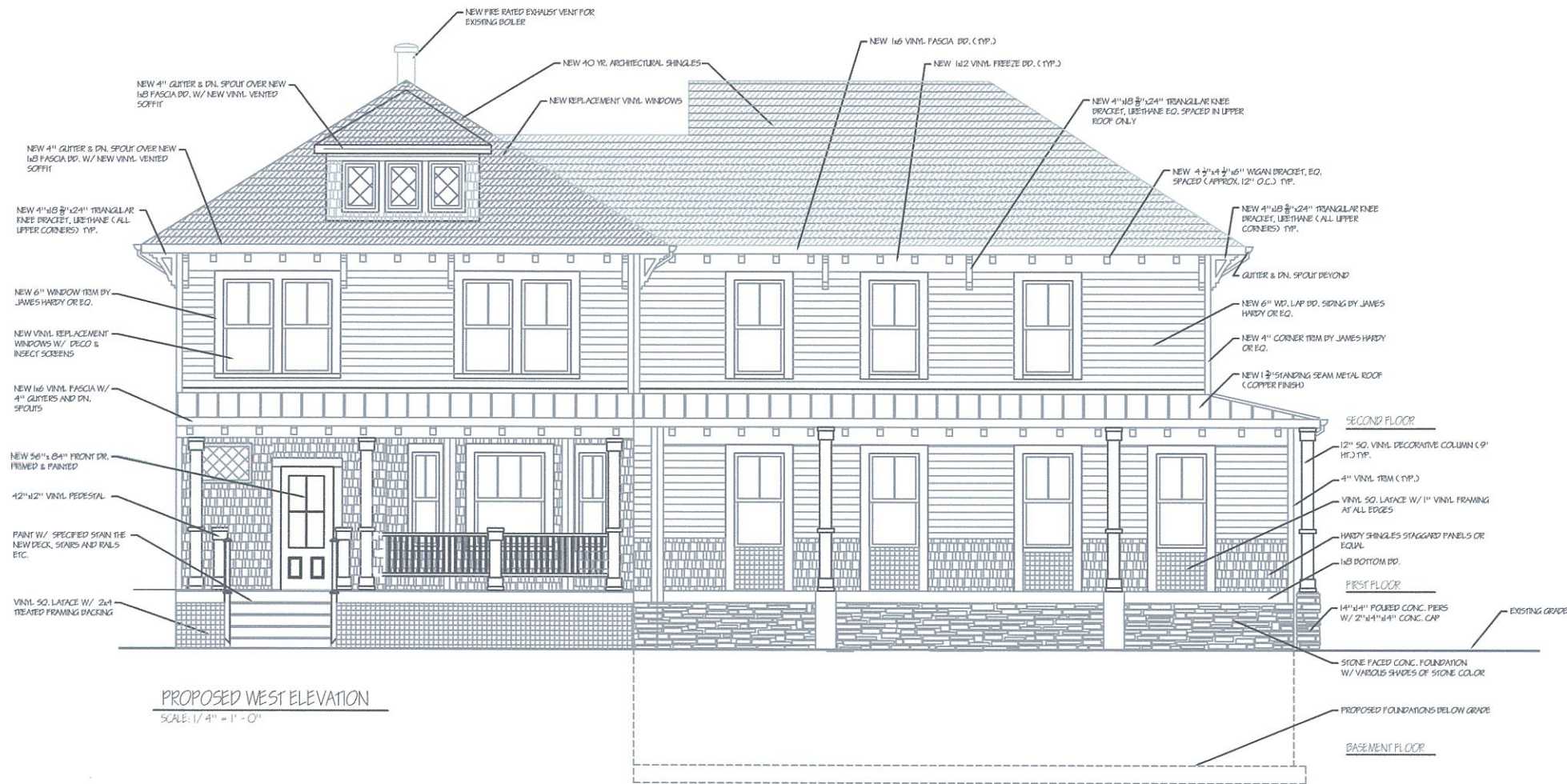
DESIGNER:

KEITH E. BUTLER
14701 DANTON COURT
BOWIE, MD. 20721
(301) 303-0528

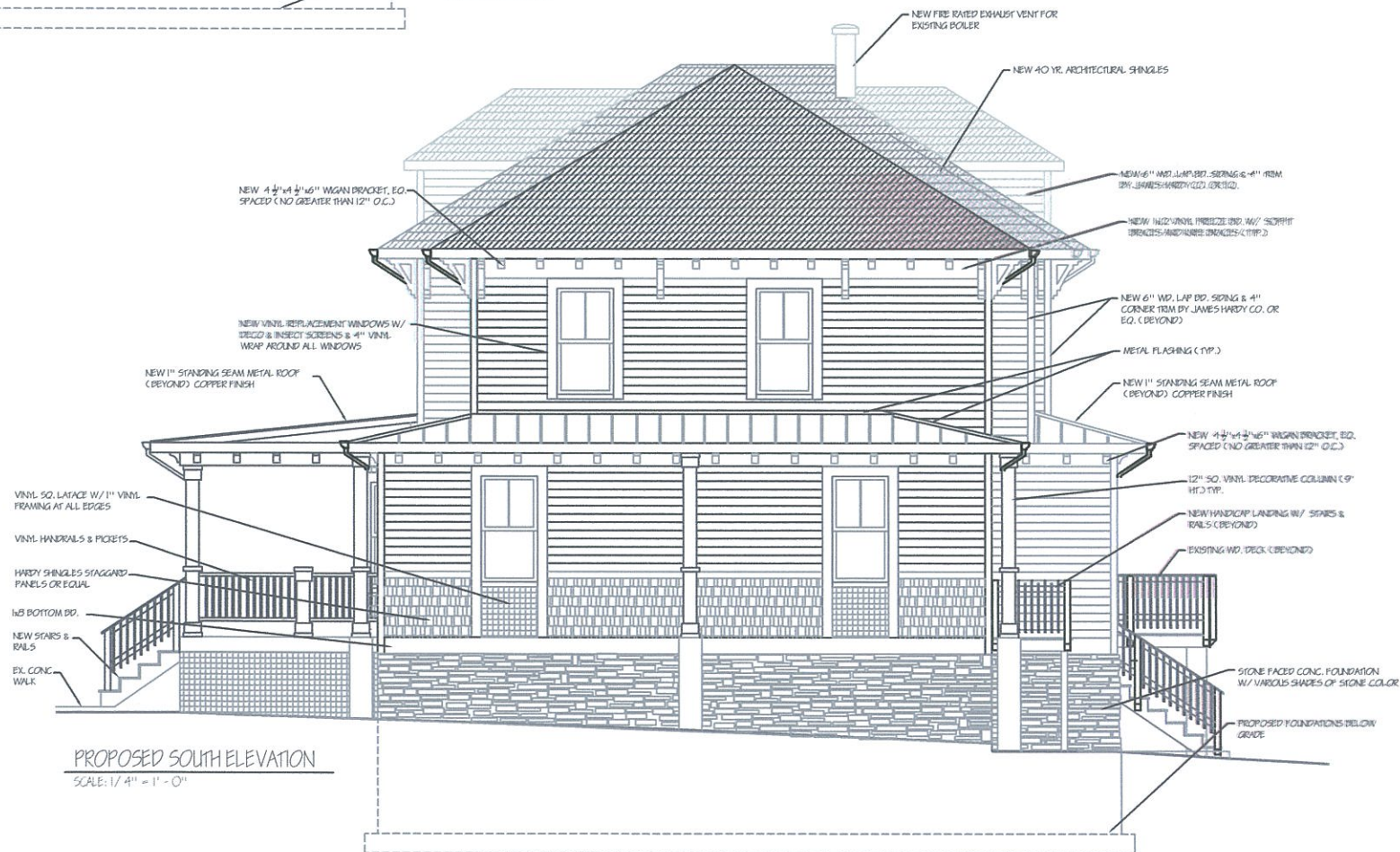
OWNER:

COMMUNITY CONNECTIONS INC.
650 PENNSYLVANIA AVE.
S.E. WASHINGTON, D.C. 20003

5422 BLAIR RD. N.E.
BUILDING RENOVATIONS
PROPOSED SECOND FLOOR PLAN, DOOR
& FRAMING TYPES W/ NOTES
scale: AS NOTED



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1' - 0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

5422 BLAIR RD. N.E.
BUILDING RENOVATIONS
PROPOSED BUILDING ELEVATIONS

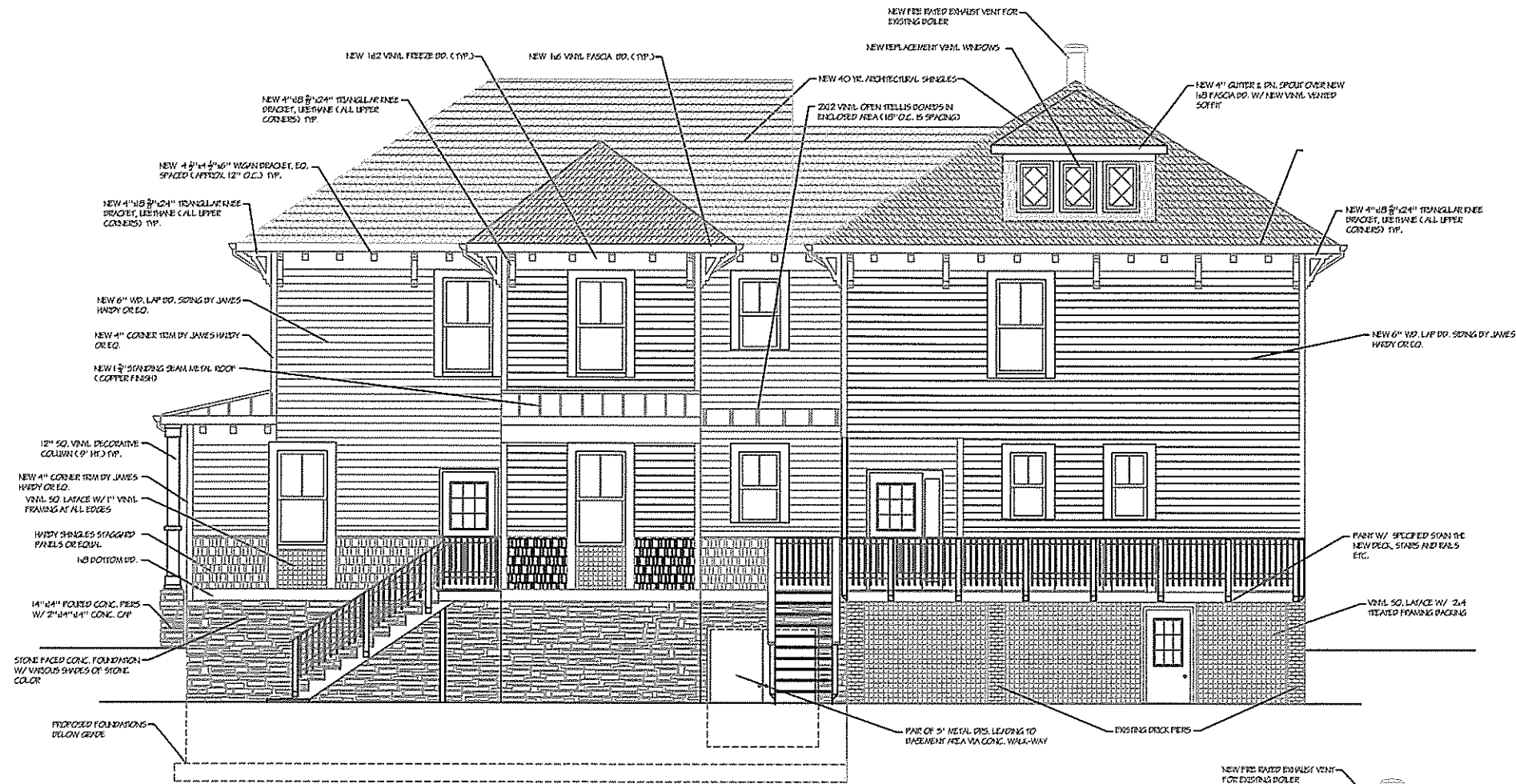
sheet 7 of 12

scale: AS NOTED

REVISIONS:		description
rev.	date	

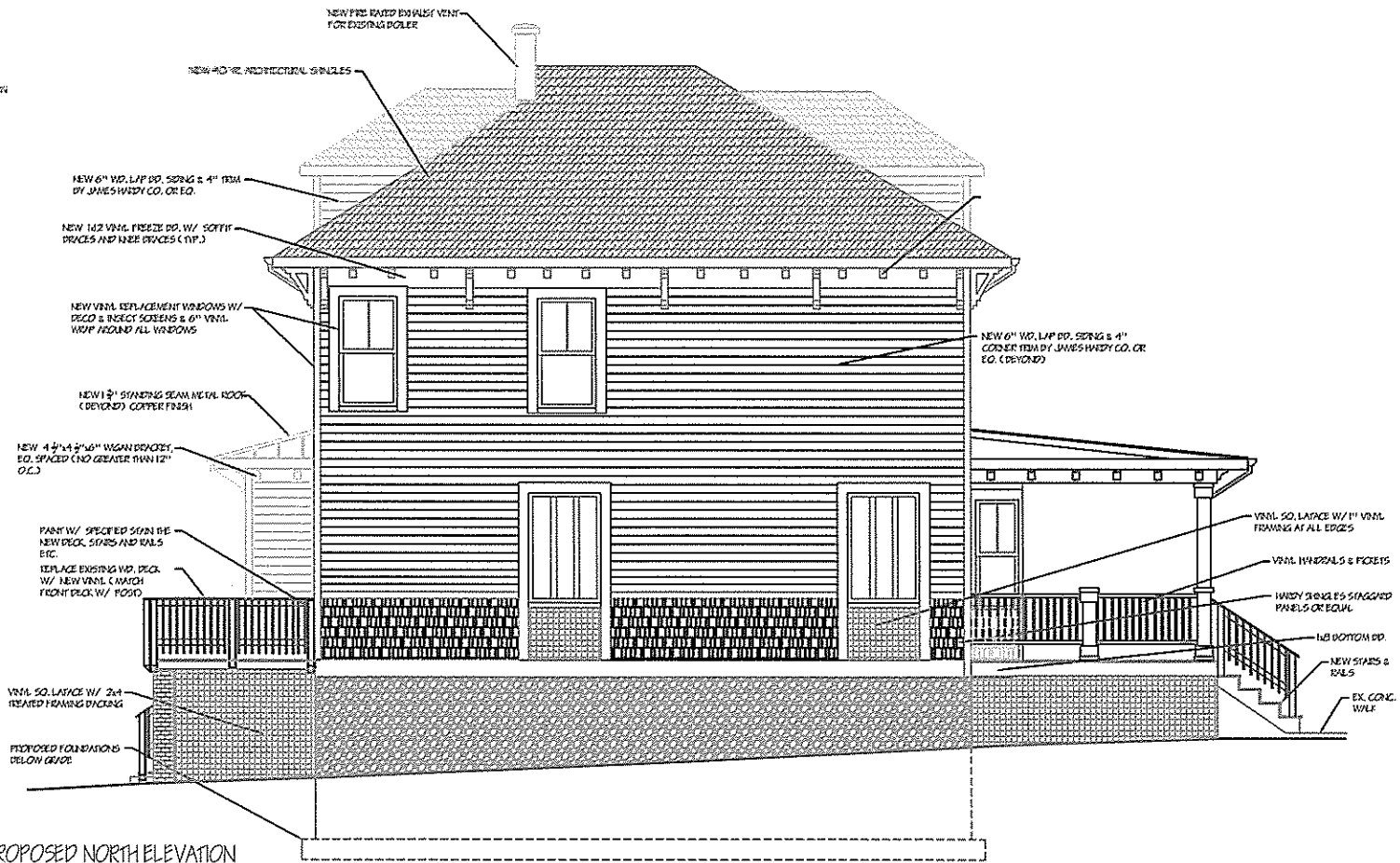
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BOWIE, MD. 20721
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COMMUNITY CONNECTIONS INC.
650 PENNSYLVANIA AVE.
S.E. WASHINGTON, D.C. 20003



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1' - 0"

NOTE:
SMALL REAR BUILDING COURT AREAS TO BE COVERED WITH OPEN
2X2 VINYL TRELLIS



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

5422 BLAIR RD. N.E.
BUILDING RENOVATIONS
PROPOSED BUILDING ELEVATIONS
sheet 7 A of 12
scale : AS NOTED

REVISIONS:			description
REV.	NO.	DATE	

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