

PROJECT DATA

OWNER:
ROBERT COPYAK
2819 13TH STREET NW
WASHINGTON, DC 20009

ZONING DATA:

LOT: 0109
SQUARE: 2856
LOT AREA: 2588 SF
ZONE: R-4
USE GROUP: R-3
CONSTRUCTION TYPE: 3B

THREE STORY PLUS BASEMENT ROW DWELLING
SINGLE FAMILY DWELLING

FIRE ALARM: NO
SPRINKLER: NO
FIRE DETECTION: HARD WIRED AND INTERCONNECTED
SMOKE DETECTORS W/ BATTERY BACKUP
ACCESSIBILITY: NO



	EXISTING	PROPOSED	MAXIMUM
LOT COVERAGE	1567.4 SF	1720 SF	1552.8 SF
(PERCENTAGE)	60.6%	66.5%	60.0%
REAR YARD	54'-2"	42'-0"	20.0' MINIMUM
OPEN COURT	3'-5"	NO CHANGE	6.0' MIN
SIDE YARD	N/A	N/A	8.0' MIN
HEIGHT	35'	37'-3"	40'
STORIES	3+B	NO CHANGE	3+B
F.A.R.	N/A	N/A	NONE PRESCRIBED
SQUARE FOOTAGE			
BASEMENT	1021 SF	NO CHANGE	
FIRST FLOOR	1021 SF	1132 SF	
SECOND FLOOR	1002 SF	1040 SF	
THIRD FLOOR	523 SF	1035 SF	
TOTAL	3567 SF	4228 SF	
GARAGE	345 SF	NO CHANGE	

STRUCTURAL DESIGN CRITERIA:

DESIGN/ LIVE LOADS

FLOORS 40 PSF
ROOF 30 PSF MINIMUM
EARTHQUAKE LOADS: SEISMIC DESIGN CATEGORY A, AS PER IRC R301.2

SOIL BEARING: 1500 PSF, ASSUME SANDY CLAY AS PER IRC R401.4.1

HOUSE

LIVE LOAD: 40 PSF
WIND LOAD: 90 MPH, 20 PSF MINIMUM

CONCRETE FOR FOOTINGS TO BE MIN 3000 PSI, NORMAL WEIGHT, AIR ENTRAINED

WOOD STRUCT MEMBERS TO BE NON ARSENIC, SOUTHERN PINE SS
EXTREME FIBER STRESS IN BENDING 1200 PSI
MODULUS OF ELASTICITY 1.4X10⁶ PSI
ALLOWABLE DEFLECTION 1/360 OF SPAN

LATERAL LOAD RESISTING STRUCTURAL SYSTEM: 1/2" WOOD STRUCTURAL PANEL SHEATHING FOR 16" OC STUDS. PANELS TO BE IN ACCORDANCE WITH IRC TABLE R602.3(3)

ROOF OF HOUSE

SNOW LOAD 30 PSF
WIND LOAD: 90 MPH
RAFTERS TO BE SOUTHER PINE SS
EXTREME FIBER STRESS IN BENDING 1200 PSI
RAFTERS- MODULUS OF ELASTICITY .88 PSI
HURRICANE TIES TO BE LOCATED AT 24" OC,
RATED FOR -134.22 LBS

HANDRAILS

LIVE LOAD: 200 PSF
STAIRS
40 PSF OR 300 LBS CONCENTRATED LOAD, ACTING OVER 4 SQ INCHES

ANCHORAGE SYSTEMS

ANCHORS, BOLTS, LEVELING PLATES, OR BEARING PLATES TO BE LOCATED & BUILT INTO CONNECTING WORK PRESET BY TEMPLATES OR SIMILAR METHODS. PLATES TO BE SET IN FULL BEDS OF NON SHRINK GROUT AFTER LEVELING & ADJUSTMENT. ONE SHOP COAT OF PAINT TO BE APPLIED TO ALL STRUCTURAL MEMBERS EXCEPT THOSE AREAS REQUIRING FIELD WORK.
ALL CONNECTIONS TO BE BOLTED WITH MIN. 3/4" DIA A325 OR A490 HIGH STRENGTH BOLTS OR WELDED. USE FULL DEPTH DOUBLE ANGLE CONNECTIONS ON ALL GIRDER AND BEAM CONNECTIONS TO COLUMNS, UNLESS OTHERWISE NOTED. INFILL BEAM CONNECTIONS TO BE FULL DEPTH DOUBLE ANGLE CONNECTIONS, UNLESS OTHERWISE NOTED. BOLTS TO BE 3" OC VERT.

PROJECT DESCRIPTION:

EXISTING THIRD FLOOR TO BE EXPANDED, INTERIOR TO BE RENOVATED. ONE-STORY REAR ADDITION WITH TWO-STORY COVERED PORCH ABOVE AND NEW REAR DECK. THIRD FLOOR & GARAGE ROOF TO BE RAISED.

APPLICABLE BUILDING CODES:

DCMR 11
IBC 2006
IRC 2006
DCMR 12-B, DC CONSTRUCTION CODES SUPPLEMENT 2008 EDITION

FIRE RATING DATA:

EXTERIOR LOAD BEARING FACE-ON-LINE WALLS
1 HOUR RATED WOOD FRAME W/ VENEER
EXTERIOR LOAD BEARING PARTY WALLS
2 HOUR RATED SOLID MASONRY, 12" THICK
FLOOR FRAMING
0 HOUR RATED, 2X10 WOOD JOISTS @ 16" OC
ROOF FRAMING
1 HOUR RATED w/IN 4" OF P.L.\ 2X8 RAFTERS, OR
2 HOUR RATED PARAPET WALL TO 30" ABOVE ROOF

ADDITION

2819 13th Street NW
Washington, DC 20009

DRAWING INDEX

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#	DATE	COMMENTS

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SEAL:

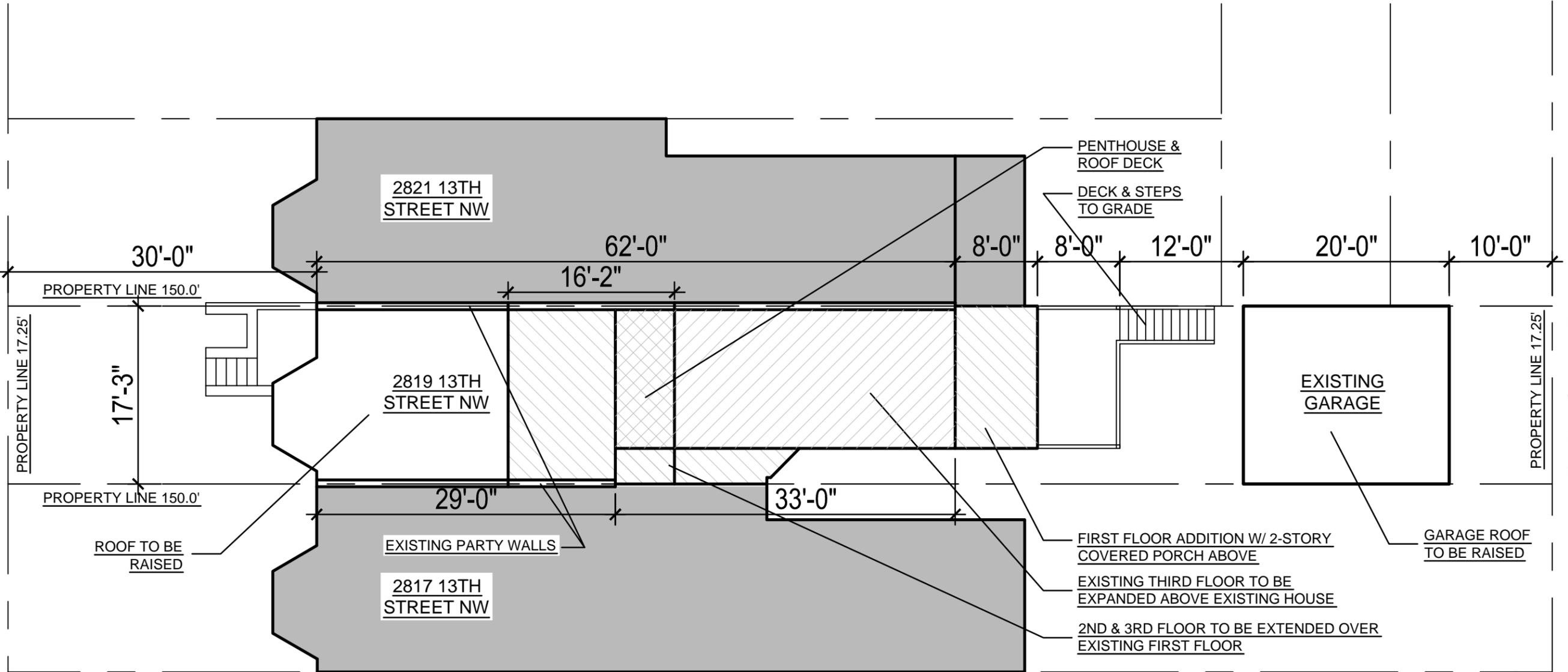
VERSION: BZA
DATE: 3-31-14
SCALE: N.T.S.

COVER SHEET

Board of Zoning Adjustment
District of Columbia
CASE NO. 18774
EXHIBIT NO. 7

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13TH STREET NW

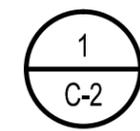


PUBLIC ALLEY

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SEAL:



1 SITE PLAN
C-2 SCALE: 3/32"=1'-0"

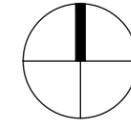
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DATE: 3-31-14
SCALE: 3/32"=1'-0"

SITE PLAN
C-2

1
C-3

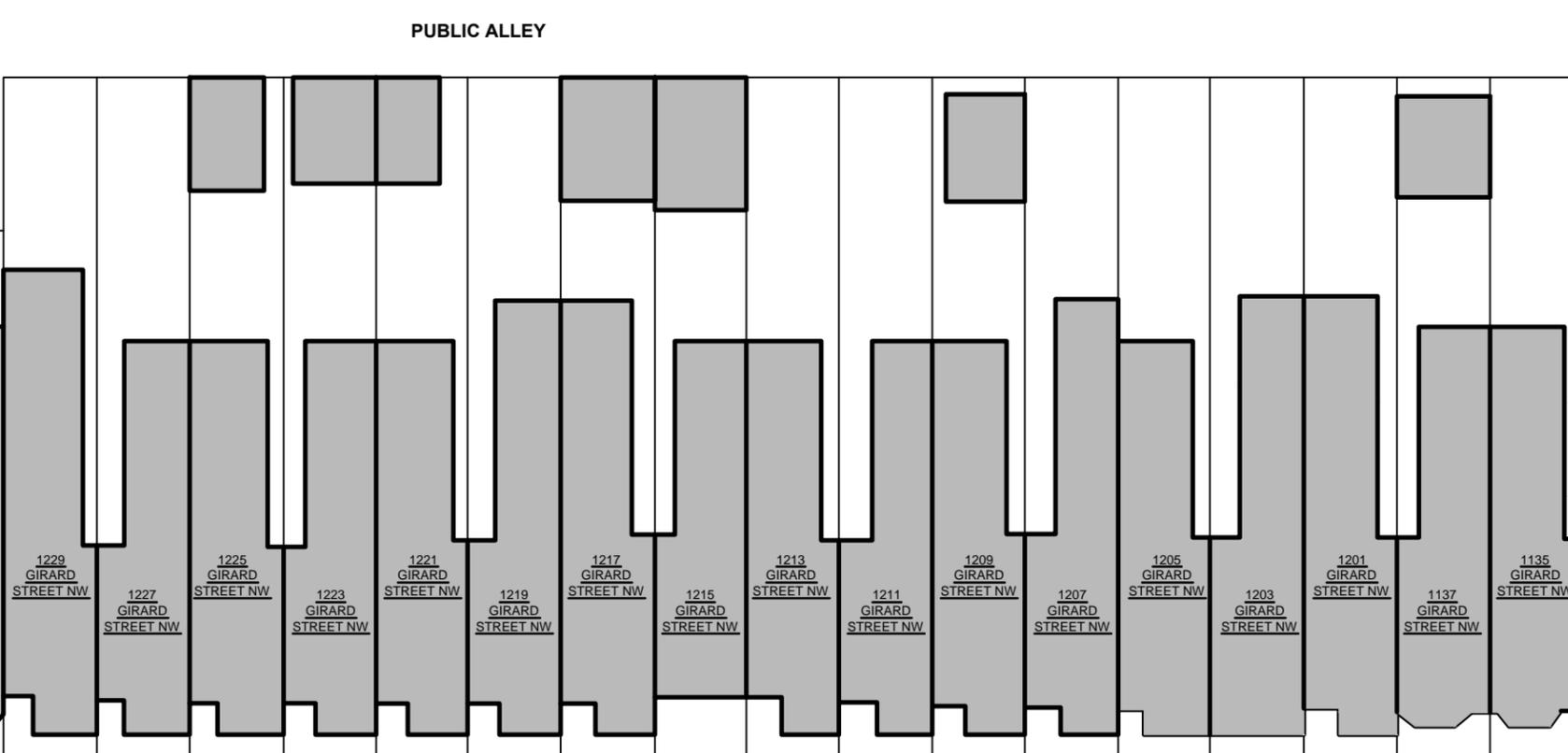
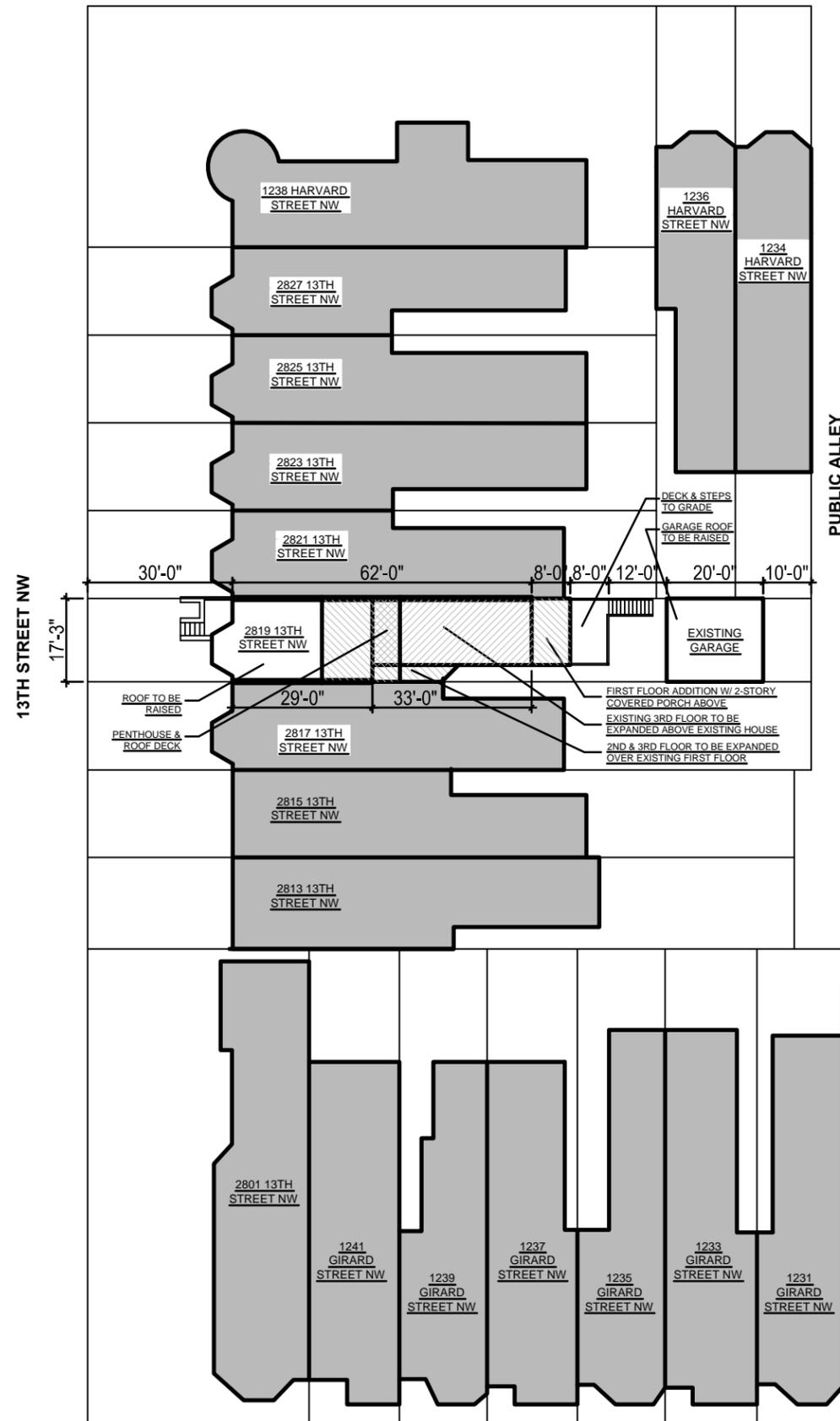
BLOCK PLAN

SCALE: 1/32"=1'-0"



HARVARD STREET NW

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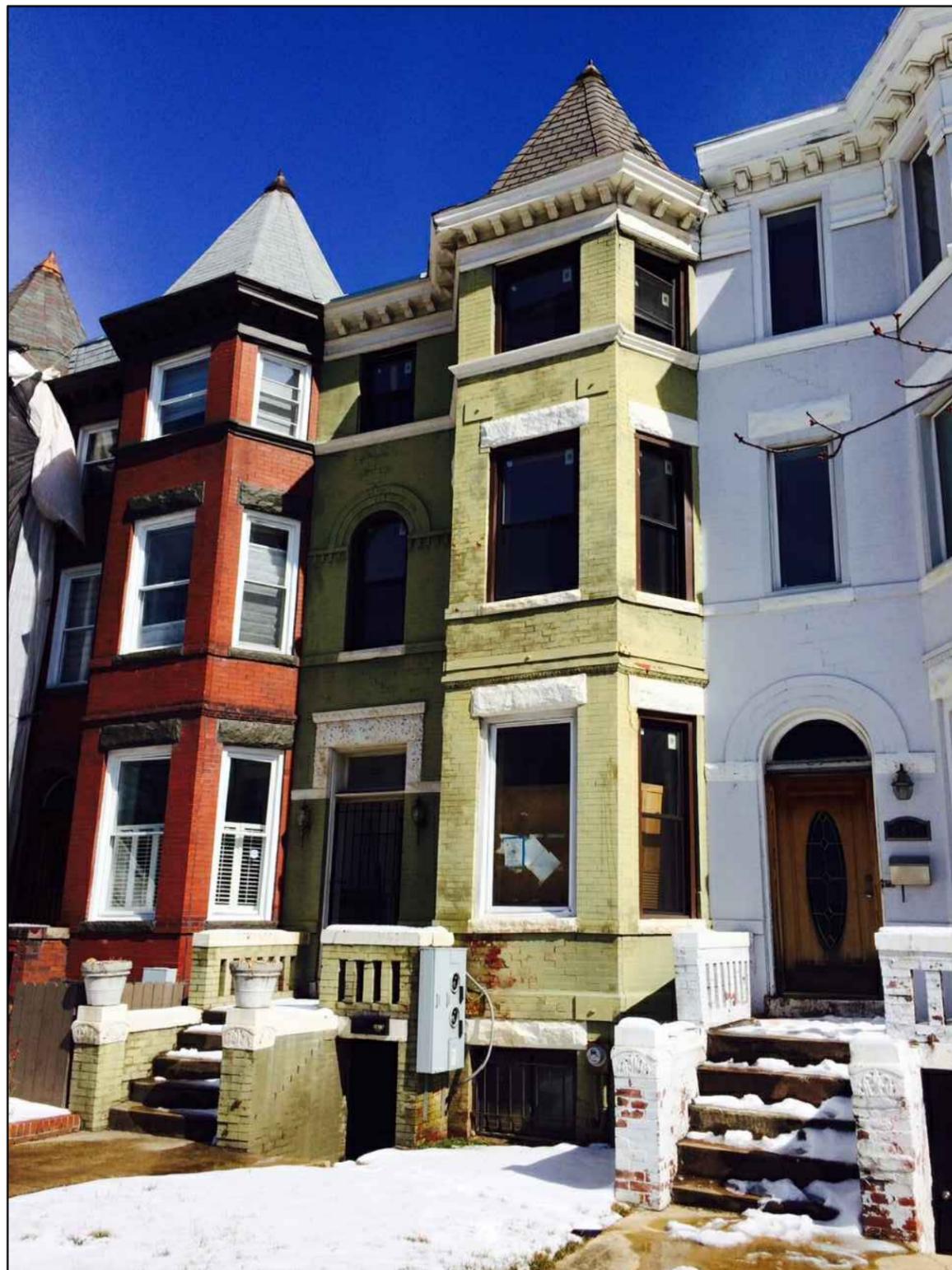
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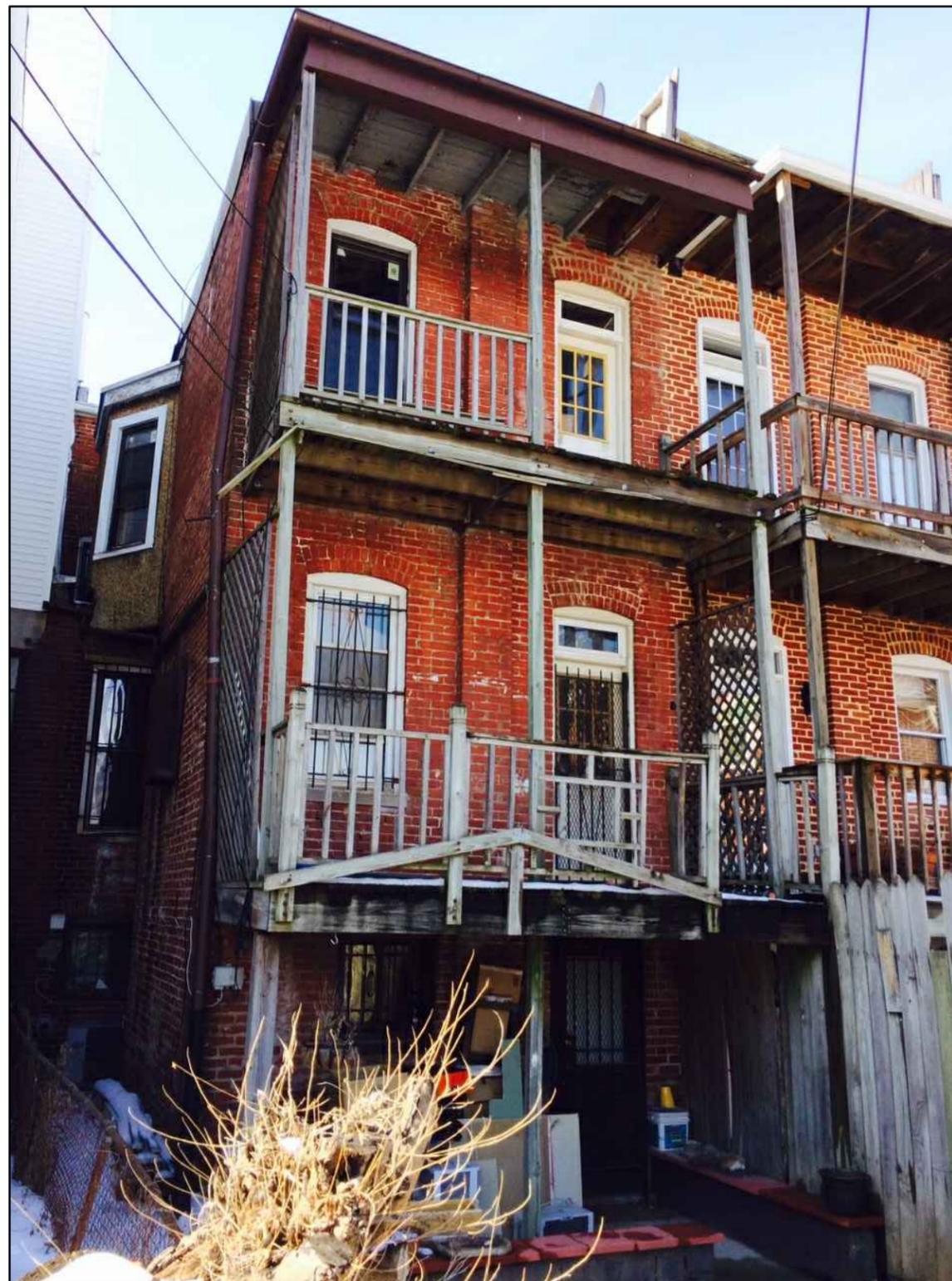
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DATE: 3-31-14
SCALE: 1/32"=1'-0"

BLOCK PLAN

C-3



1 FRONT OF HOUSE, VIEW FROM 13TH STREET NW
C-4 SCALE: NTS



2 REAR OF HOUSE, VIEW FROM ALLEY
C-4 SCALE: NTS

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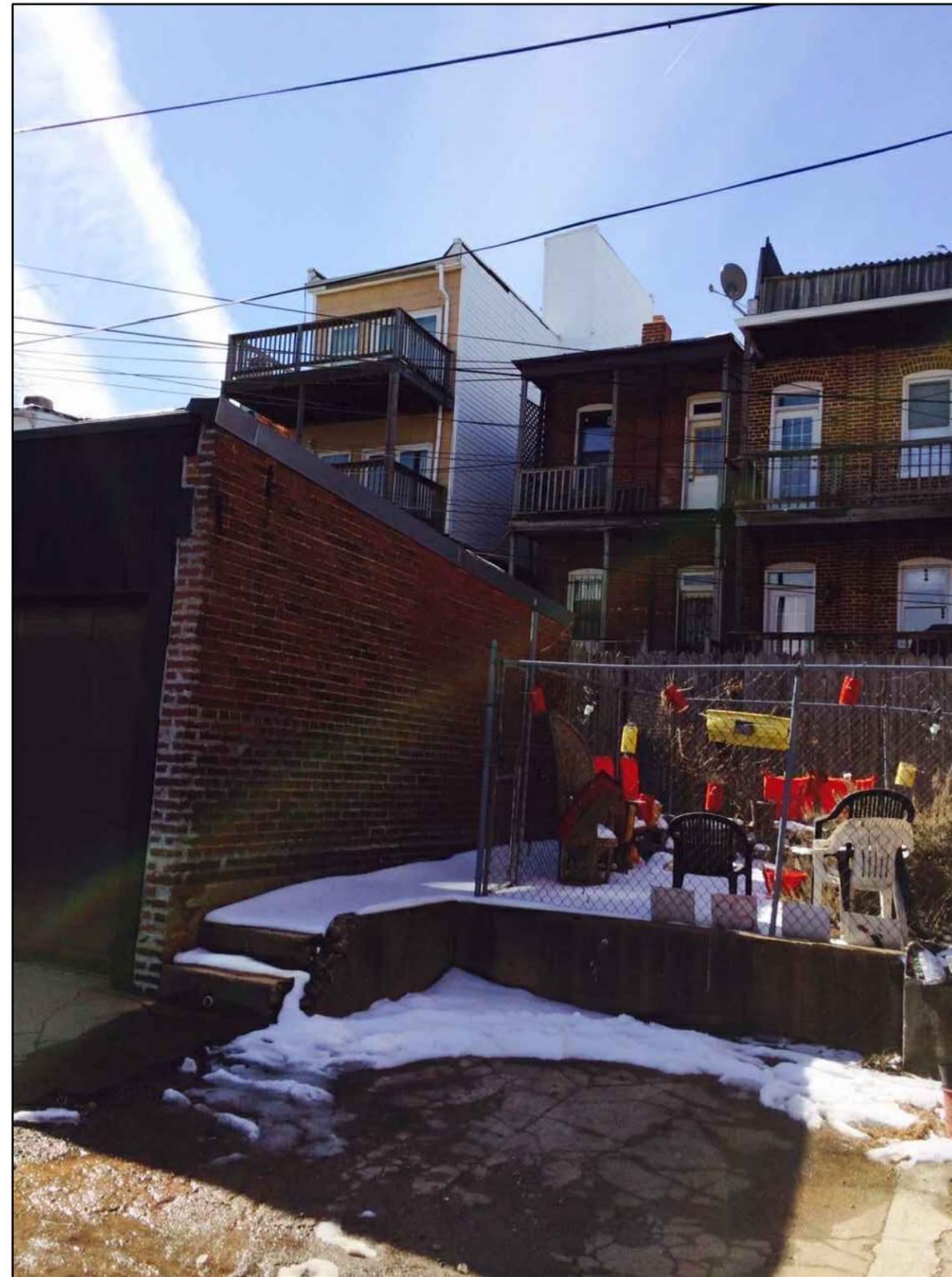
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SCALE: NTS

PICTURES

C-4



1 VIEW FROM ALLEY, LOOKING NORTH
C-5 SCALE: NTS



2 VIEW FROM ALLEY, LOOKING SOUTH
C-5 SCALE: NTS

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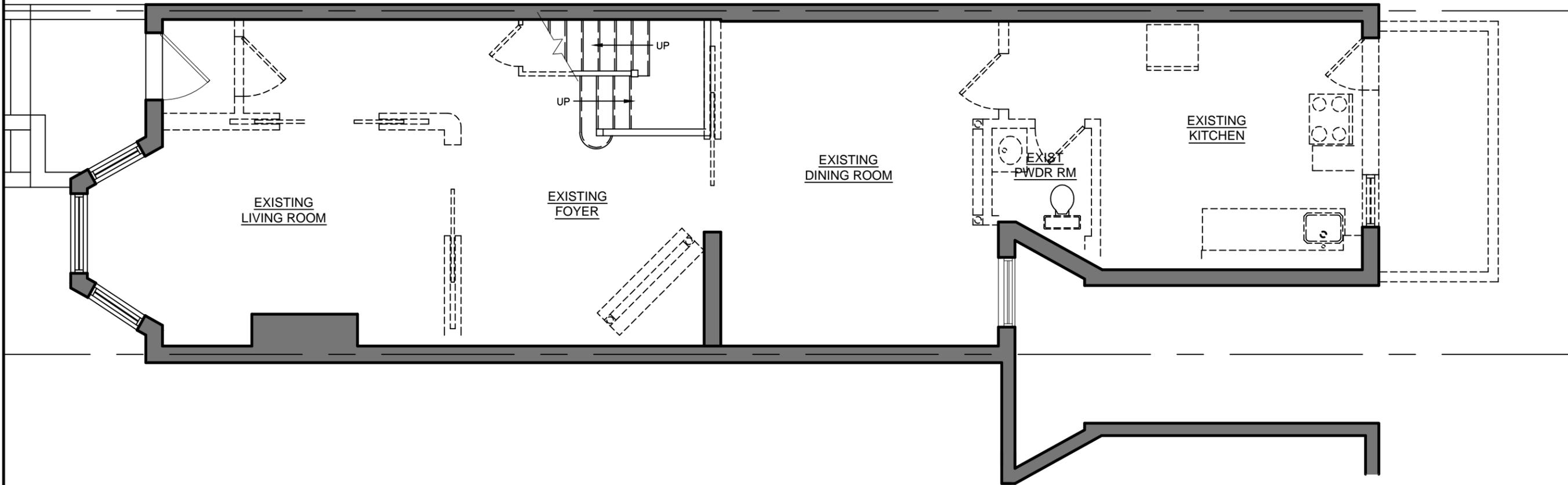
SEAL:

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SCALE: NTS

PICTURES

C-5

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 SCALE: 3/16"=1'-0"

FIRST FLOOR DEMOLITION PLAN

D-1

GENERAL DEMOLITION NOTES:

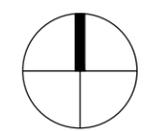
APPLIES TO SHEETS D-1, D-2, D-3

1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. LABEL, STORE AND PROTECT ALL SALVAGE ITEMS TO BE REUSED IN THIS PROJECT.
3. ALL WALLS, DOORS, FRAMES, ETC. SHOWN DASHED SHALL BE REMOVED COMPLETELY, UON.
4. WALLS TO BE REMOVED SHALL BE REMOVED FROM FLOOR TO STRUCTURE ABOVE. REMOVAL SHALL INCLUDE ALL ARCHITECTURAL, MECHANICAL, & ELECTRICAL ACCESSORIES, EQUIPMENT, ETC.
5. WHERE AN EXISTING DOOR IS INDICATED FOR REMOVAL THE DOOR FRAME SHALL ALSO BE REMOVED UNLESS OTHERWISE NOTED. SALVAGE ALL DOORS AND TRIM.
7. DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION. ALL PATCHING SHALL BE FLUSH WITH SURROUNDING SURFACES AND LEVEL WITH TOLERANCES SPECIFIED FOR THE SPECIFIC MATERIAL. IF MATERIAL IS NOT SPECIFIED, MAINTAIN EXISTING PLANES WITHIN 1/8" IN 10 FEET, NON-CUMULATIVE.
8. THE ITEMS IDENTIFIED TO BE REMOVED REPRESENT THE MAJOR ITEMS ONLY. MINOR ITEMS, THAT REQUIRE REMOVAL TO COMPLETE THE WORK, SHALL ALSO BE REMOVED.

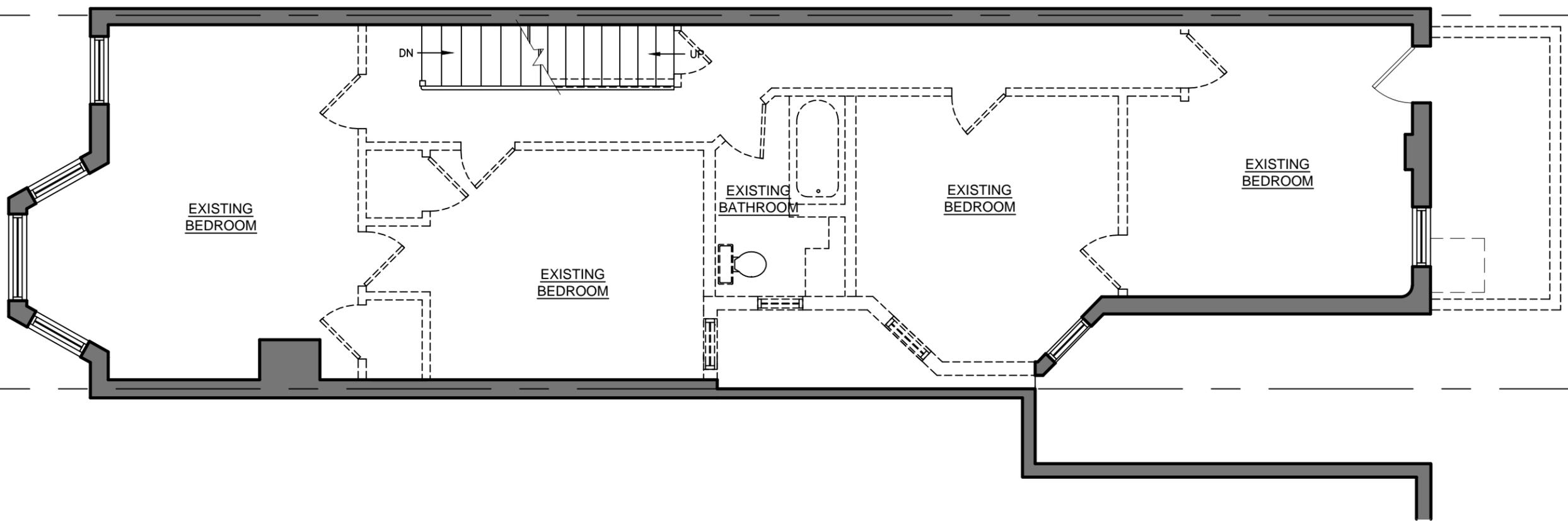
1
FIRST FLOOR DEMOLITION PLAN
 D-1 SCALE: 3/16"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED



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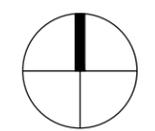
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SEAL:

1 **SECOND FLOOR DEMOLITION PLAN**
D-2 SCALE: 3/16"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

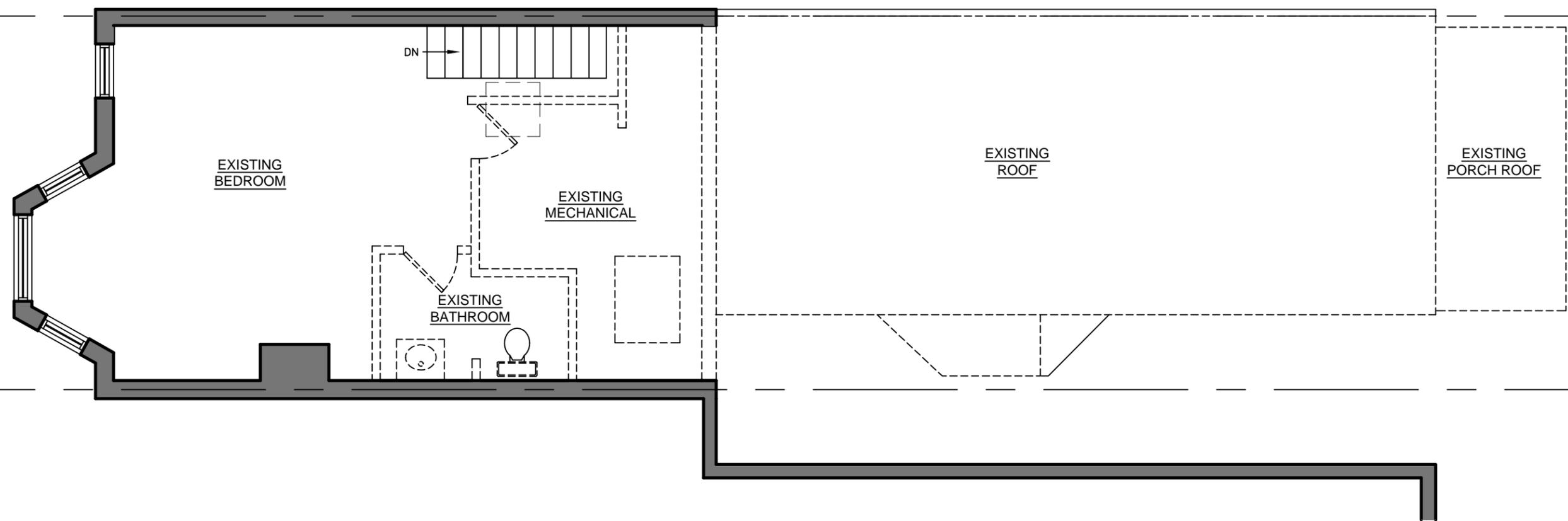


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FIRST FLOOR DEMOLITION PLAN

D-2

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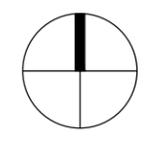
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SEAL:

1 **THIRD FLOOR DEMOLITION PLAN**
D-3 SCALE: 3/16"=1'-0"

LEGEND:

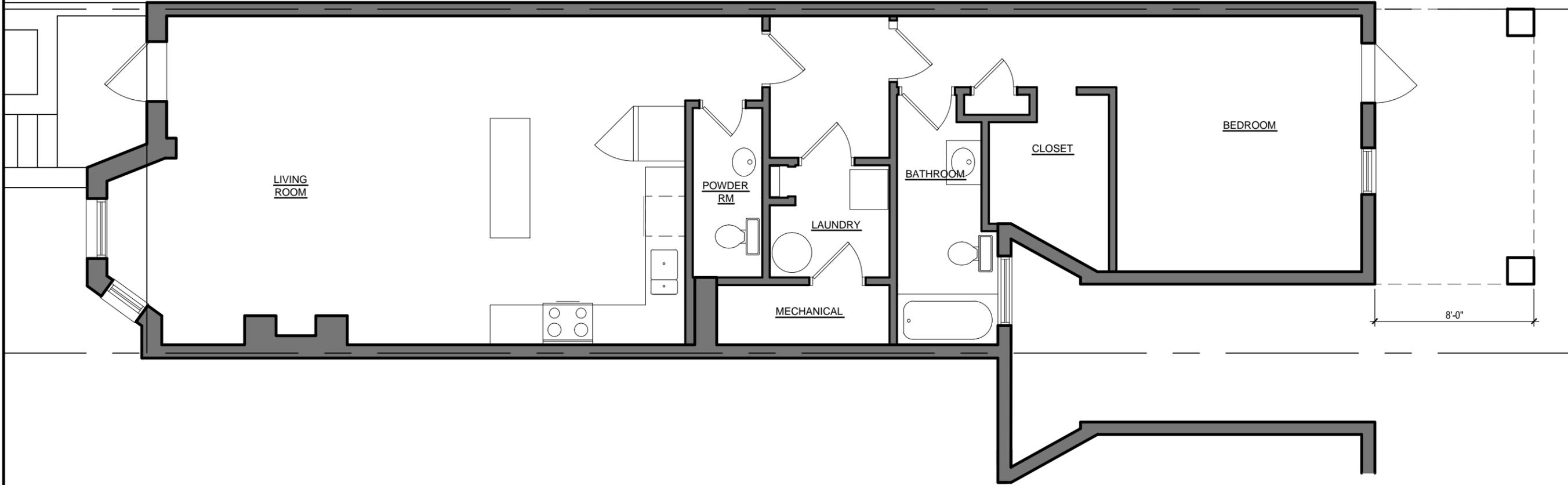
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED



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 DATE: 3-31-14
 SCALE: 3/16"=1'-0"

THIRD FLOOR
 DEMOLITION PLAN
D-3

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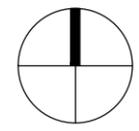
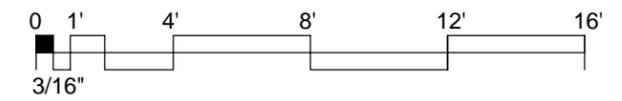
BASEMENT PLAN

A-1

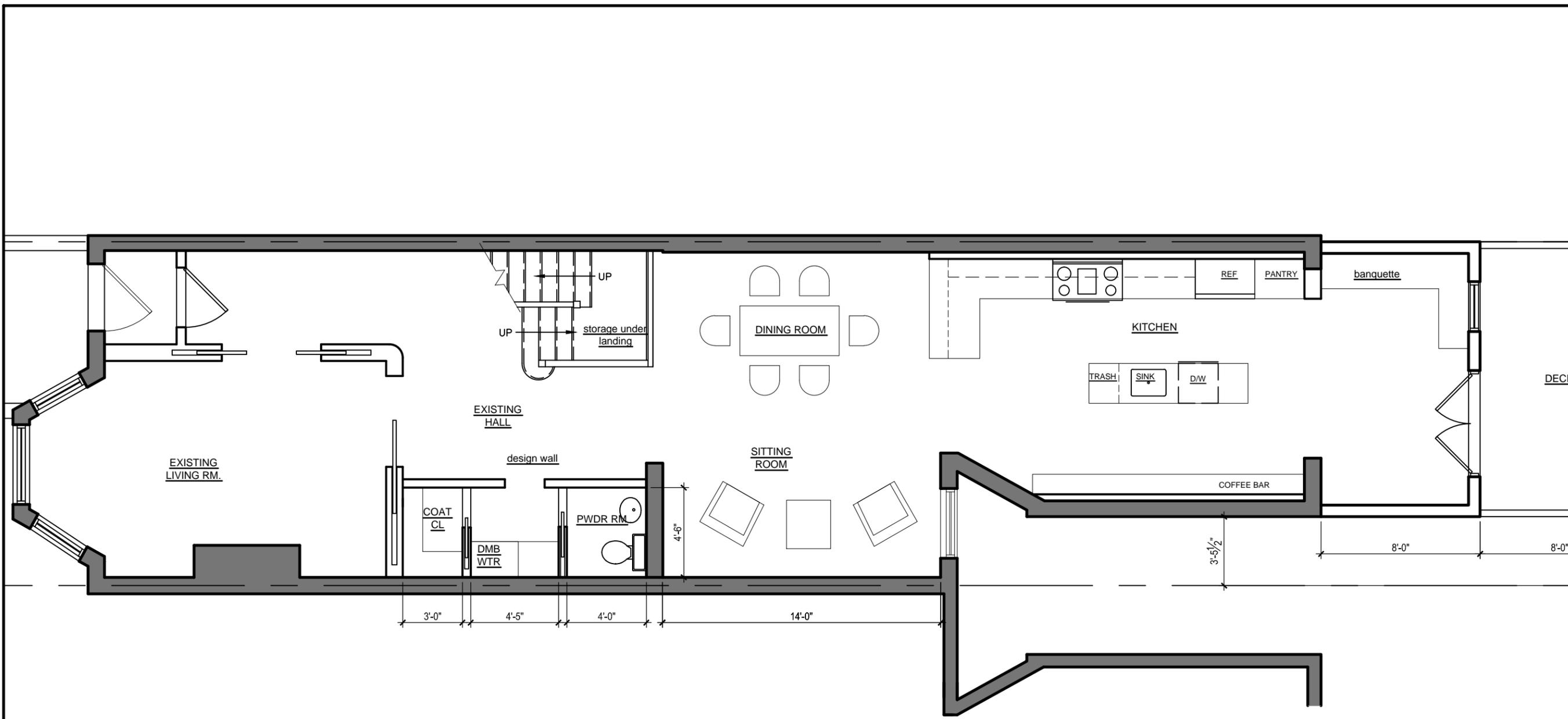
1 **EXISTING BASEMENT PLAN**
 A-1 SCALE: 3/16"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- NEW PARTITION



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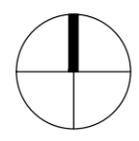
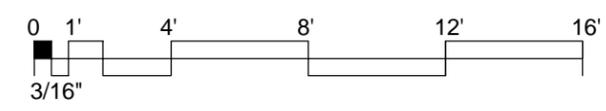
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 DATE: 3-31-14
 SCALE: 3/16"=1'-0"
 FIRST FLOOR PLAN

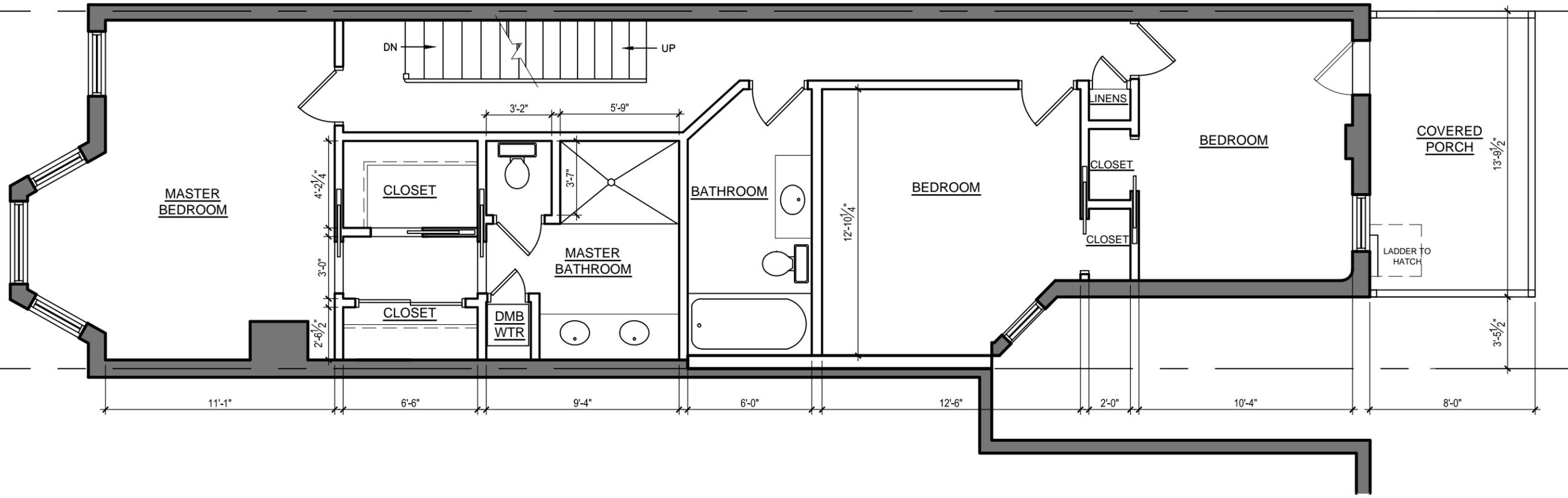
1 FIRST FLOOR PLAN
 A-2 SCALE: 3/16"=1'-0"

- LEGEND:**
- EXISTING PARTITION TO REMAIN
 - NEW PARTITION



A-2

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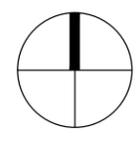
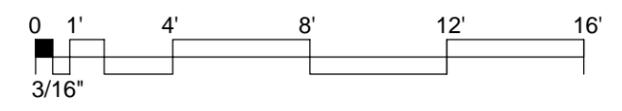
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 SCALE: 3/16"=1'-0"
 SECOND FLOOR PLAN

1 **SECOND FLOOR PLAN**
A-3 SCALE: 3/16"=1'-0"

- LEGEND:**
- EXISTING PARTITION TO REMAIN
 - NEW PARTITION



A-3

REVISIONS		
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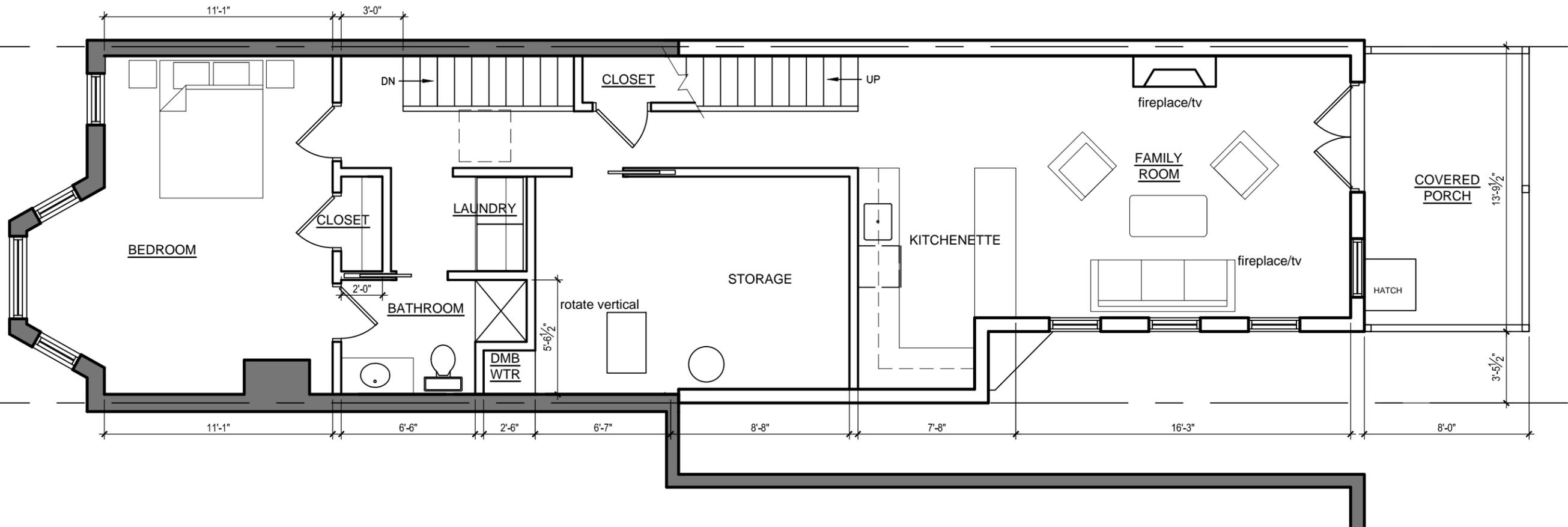
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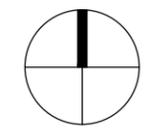
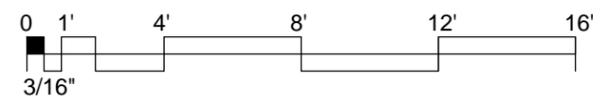
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 DATE: 3-31-14
 SCALE: 3/16"=1'-0"
 THIRD FLOOR PLAN

A-4

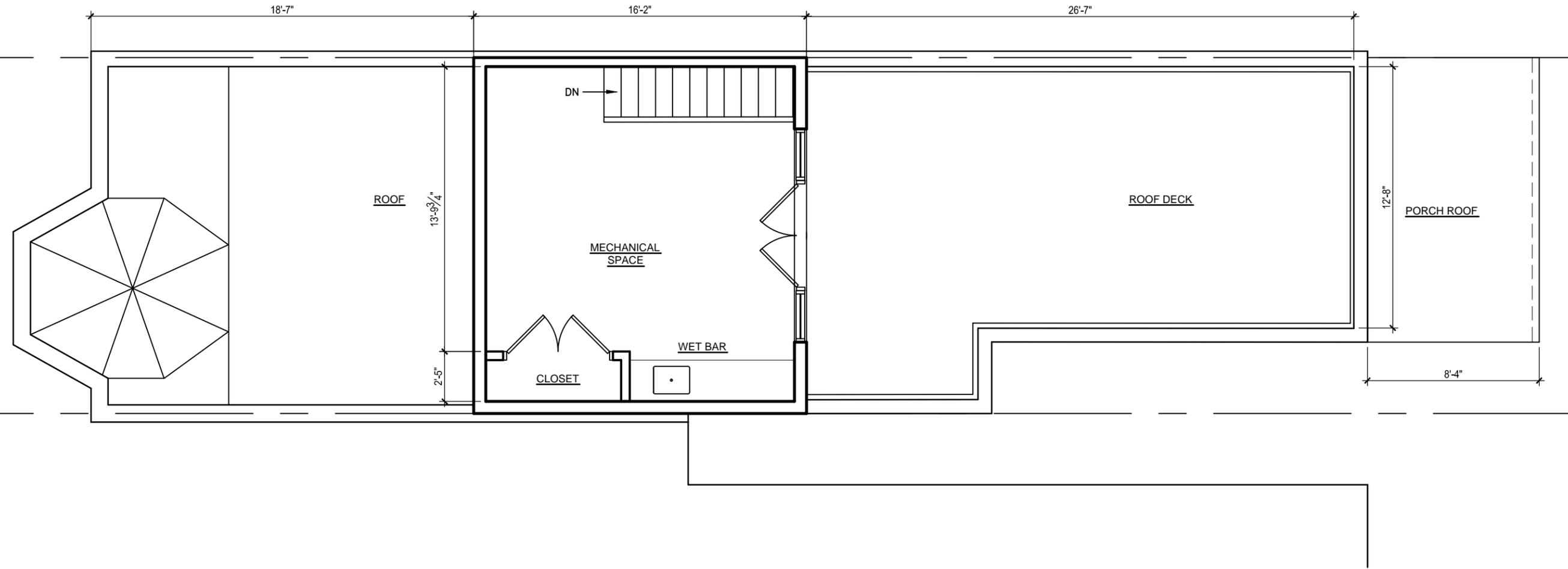


1 **THIRD FLOOR PLAN**
A-4 SCALE: 3/16"=1'-0"

- LEGEND:**
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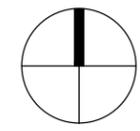
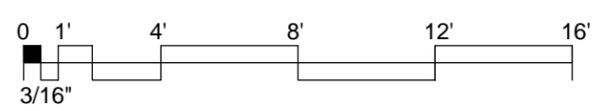
SEAL:

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 SCALE: 3/16"=1'-0"

1 ROOF PLAN
A-5 SCALE: 3/16"=1'-0"

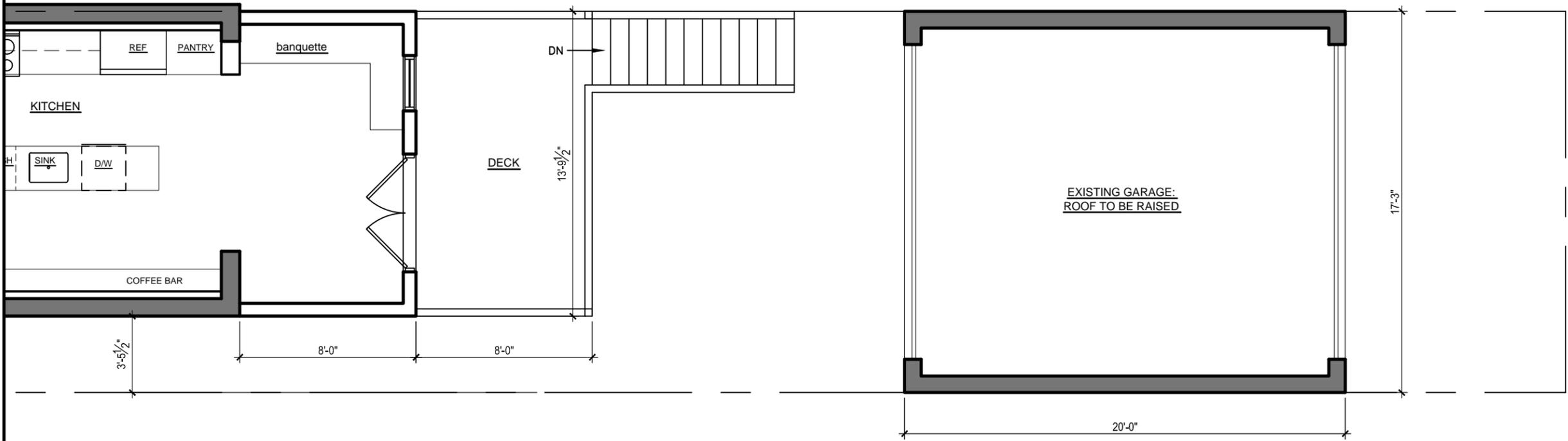
LEGEND:

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ROOF PLAN
A-5

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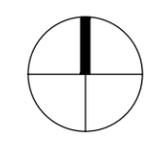
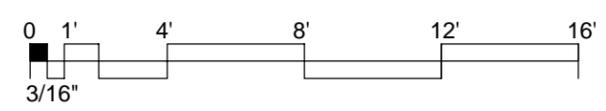
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GARAGE PLAN

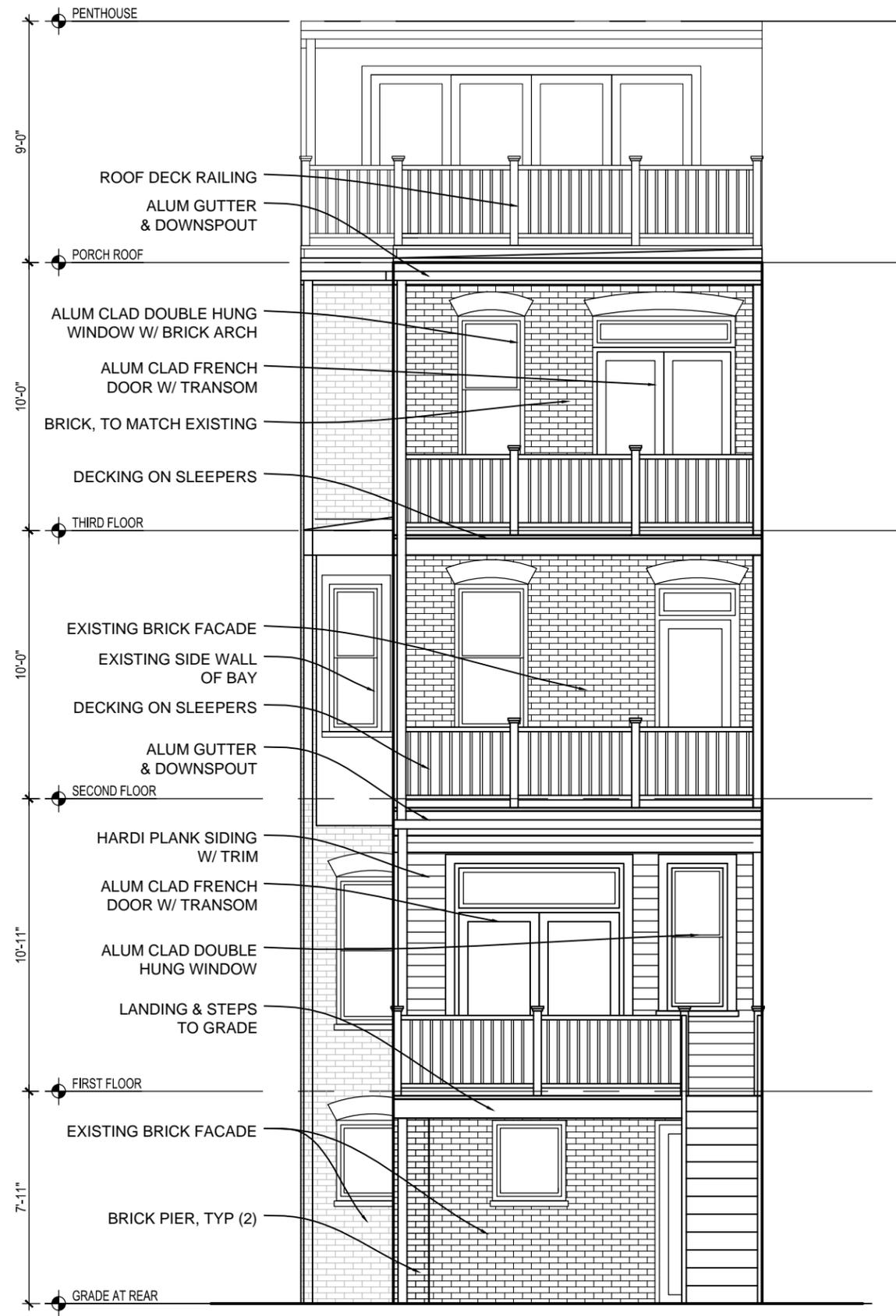
A-6

1 **GARAGE PLAN**
 A-6 SCALE: 3/16"=1'-0"

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 DATE: 3-31-14
 SCALE: $\frac{3}{16}''=1'-0''$
 EXTERIOR ELEVATION

1 REAR ELEVATION
 A-7 SCALE: 3/16"=1'-0"

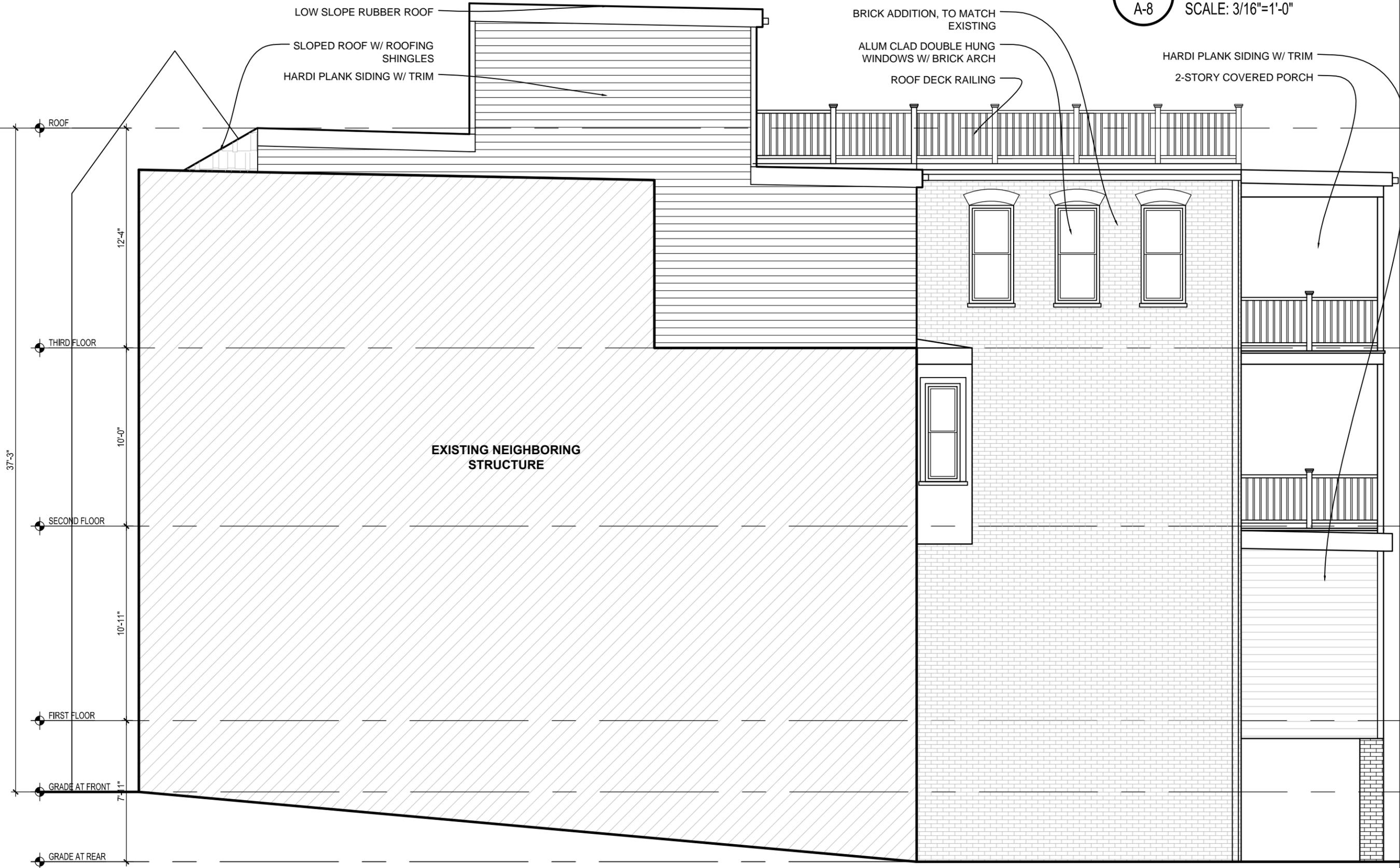
A-7

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A-8

SOUTH ELEVATION

SCALE: 3/16"=1'-0"

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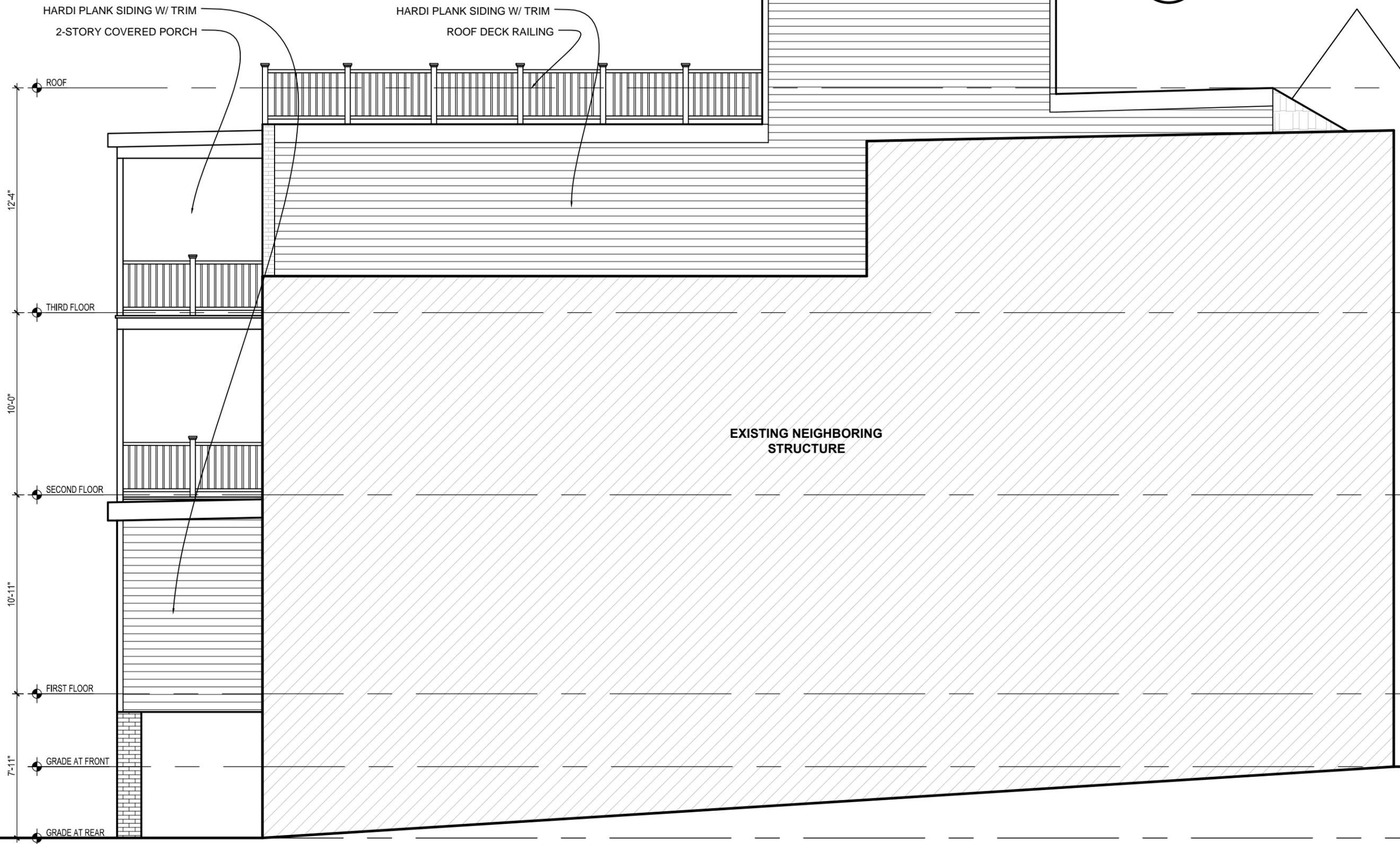
SEAL:

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 EXTERIOR ELEVATION

A-8

REVISIONS		
#	DATE	COMMENTS

1 NORTH ELEVATION
A-9 SCALE: 3/16"=1'-0"



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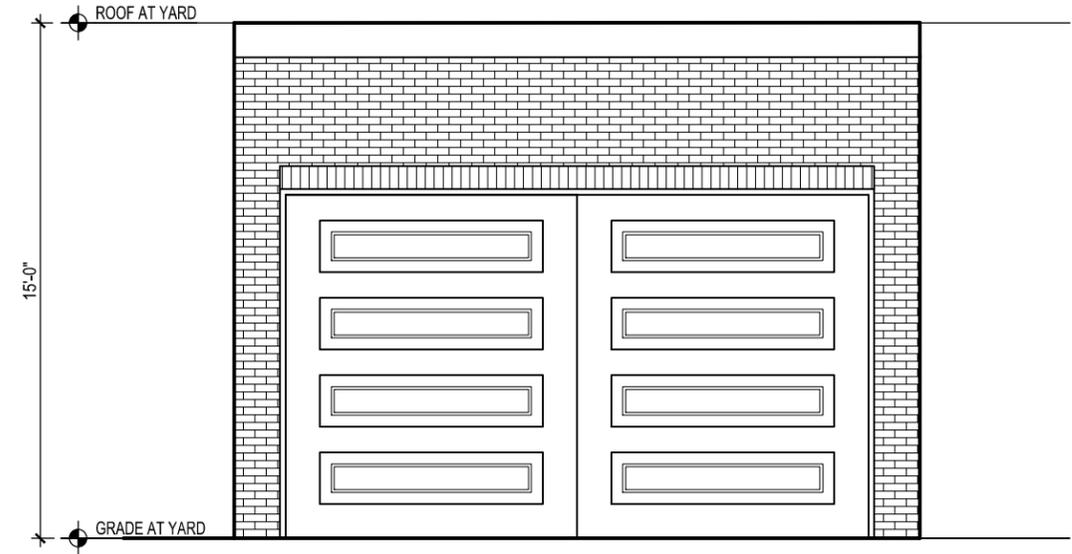
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VERSION: BZA
 DATE: 3-31-14
 SCALE: 3/16"=1'-0"

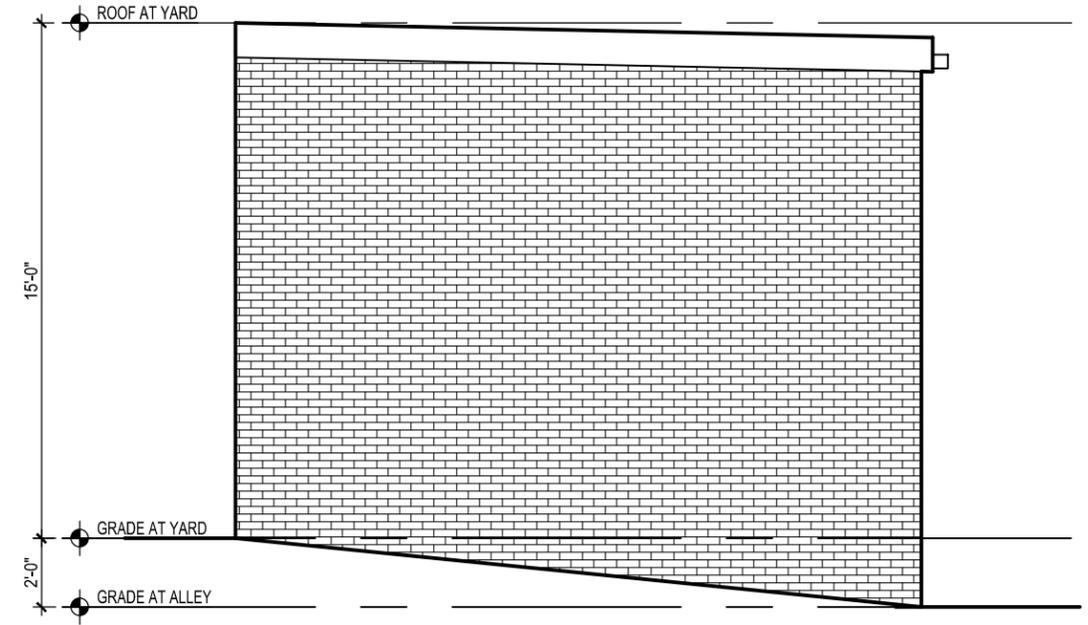
EXTERIOR ELEVATION

A-9

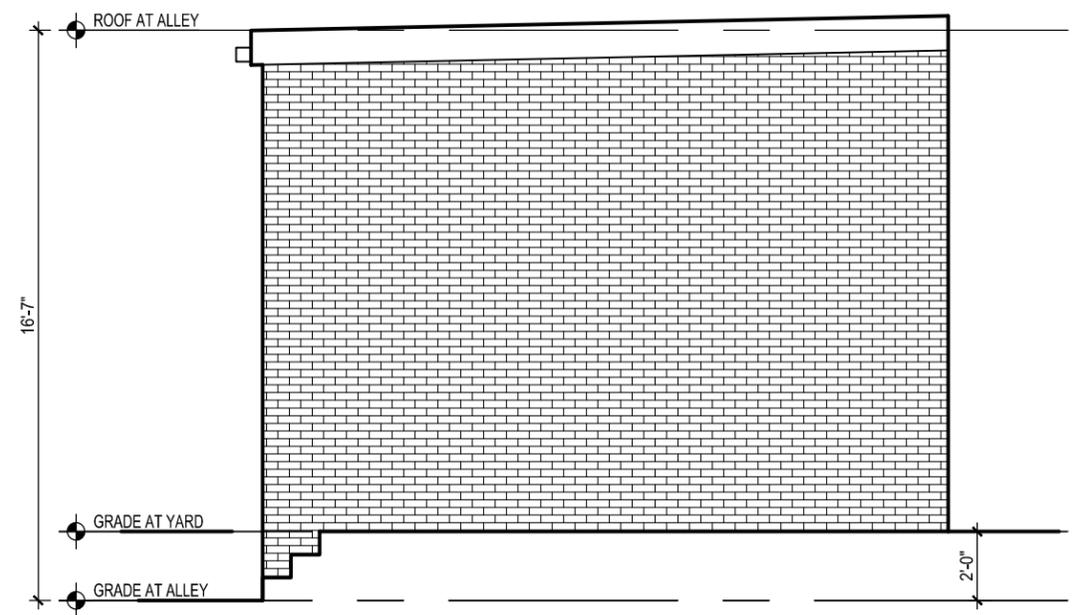
REVISIONS		
#	DATE	COMMENTS



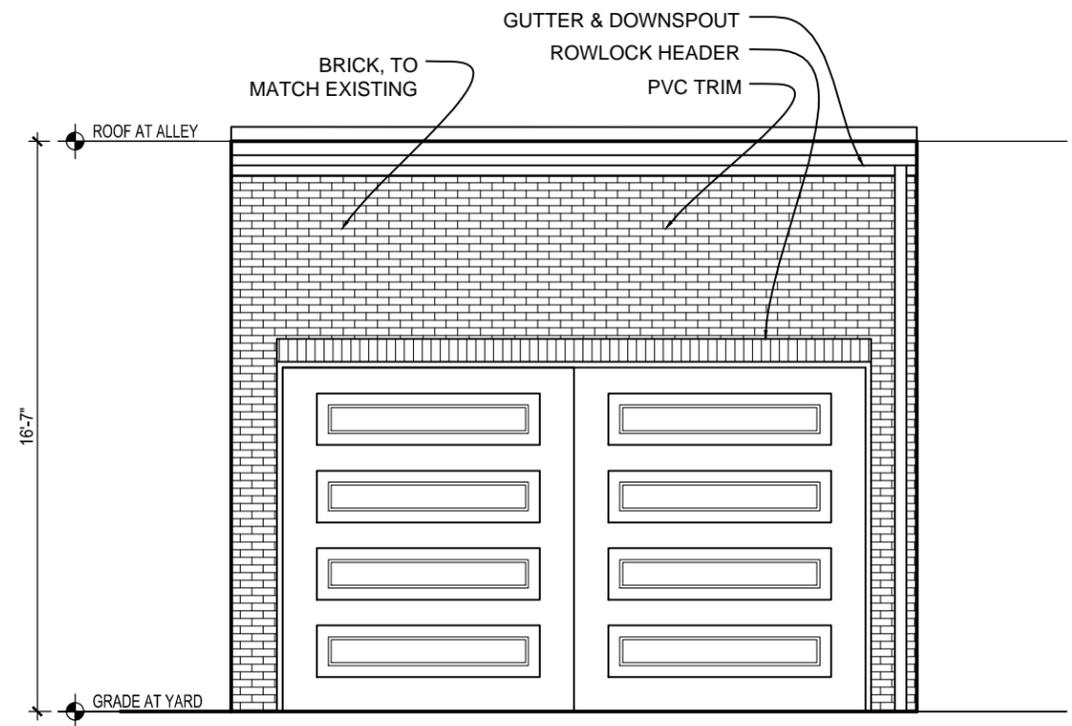
1 GARAGE YARD ELEVATION
A-10 SCALE: 3/16"=1'-0"



2 GARAGE SOUTH ELEVATION
A-10 SCALE: 3/16"=1'-0"



3 GARAGE NORTH ELEVATION
A-10 SCALE: 3/16"=1'-0"



4 GARAGE ALLEY ELEVATION
A-10 SCALE: 3/16"=1'-0"

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EXTERIOR ELEVATION

A-10