



VICINITY MAP

1815 Riggs PI, NW
Washington DC 20009

BZA Application No. 18734

March 18, 2014

RECEIVED
D.C. OFFICE OF ZONING
2014 MAR 18 PM 4:05

SHEET INDEX - SD

Sheet #	Sheet Name
SD-00	Cover Sheet
SD-01	Zoning
SD-02	Existing Photographs - 1815 Riggs PI NW
SD-03	Existing Photographs - Across the Street
SD-04	Existing Photographs - Street Views
SD-05	Demo Plans
SD-06	Proposed Plans - Cellar and First Level
SD-07	Proposed Plans - Second and Third Level
SD-08	Proposed Plans - Roof
SD-09	Third Level Unit Plans
SD-10	Longitudinal Section
SD-11	South Elevation
SD-12	North Elevation
SD-13	East Elevation
SD-14	Riggs Place Street Elevations
SD-15	Street View from across Riggs Place
SD-16	Northwest 3D View
SD-17	Northeast 3D View
SD-18	3D Views - Rear Bird's Eye
SD-19	3D Rendering
SD-20	Metal Panel Specifications

ZONING ANALYSIS

SQUARE - 0133 / LOT - 0818 / R-5-B - ZONING

	ALLOWABLE	EXISTING	PROPOSED	PROPOSED (ADDITION)
Lot Area:	N/A	3787 SF	3787 SF	N/A
F.A.R.	1.8 (+ 20% for IZ)	1.65	2.16 (8179.92 SF)	N/A
Lot Occupancy: ¹	60% (2272 SF)	85% (3216 SF)	85% (3216 SF)	52% (1976 SF)
Building Height:	50'-0"	22'-6"±	30'-9"±	N/A
# of Stories:	NO LIMIT	2 + CELLAR	3 + CELLAR	N/A
Rear Yard Setback:	15'-0" OR 4" / VERTICAL DISTANCE OF BUILDING	3'-9 1/2"	3'-9 1/2"	N/A
Side Yard Setback:	NONE REQUIRED	NONE REQUIRED	NONE REQUIRED	N/A
Parking: ²	N/A	0	0	N/A
# of Units:	N/A	21	24	N/A

GROSS SF:	EXISTING	PROPOSED	F.A.R.	EXISTING	PROPOSED
CELLAR -	3126 SF	3126 SF	CELLAR -	0 SF	0 SF
FIRST LEVEL -	3126 SF	3126 SF	FIRST LEVEL -	3126 SF	3126 SF
SECOND LEVEL -	3126 SF	3126 SF	SECOND LEVEL -	3126 SF	3126 SF
THIRD LEVEL -	0 SF	3126 SF	THIRD LEVEL -	0 SF	1927 SF
TOTAL -	9378 SF	12504 SF ³	TOTAL -	6252 SF	8179 SF
			F.A.R.	1.65	2.16



1. The total existing and proposed lot occupancy of 3,216 square feet includes 3,126 square feet of the existing building footprint and 90 square feet of the existing non-conforming closed court areas.
2. In an R-5-B District, one parking space is required for each 2 units, which yields a requirement of 11 spaces for the existing 21 units. The building provides no parking. Pursuant to Section 2100.7 of the Zoning Regulations, parking spaces are not required for an addition unless the addition increases the intensity of use of the building or structure by more than twenty-five percent (25%) of the aggregate. The proposed addition of 3 units is only an addition of 14% of the aggregate number of units, which is the basis of measurement for calculating the off-street parking requirement, and thus no additional parking is required.
3. Pursuant to Section 2603.1 of the Zoning Regulations an inclusionary development for which the primary method of construction does not employ steel and concrete frame located in an R-5-B District shall devote the greater of 10% of the gross floor area being devoted to residential use or 75% of the bonus density being utilized for inclusionary units. Moreover, Section 2603.3 provides that inclusionary developments located in R-5-B Districts shall set aside 50% of inclusionary units for eligible low-income households and 50% of inclusionary units for eligible moderate-income households. The project includes a total of 8,179 sq. ft. of gross floor area devoted to residential use (8% of which equals 817.9), and is utilizing 1363.32 sq. ft. of bonus density (75% of which equals 1022.49). Thus, assuming the application is approved, the building will include 1022.49 sq. ft. of inclusionary zoning/affordable units, half of which will be for eligible low-income households and half of which will be eligible for eligible moderate-income households.

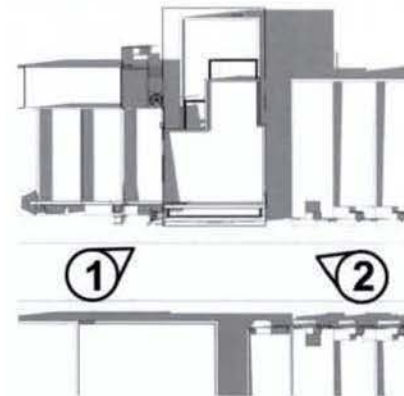
1



RECEIVED
OFFICE OF ZONING
MAR 18 PM 4:05

10'-0" ALLEY ADJACENT TO
PROPERTY

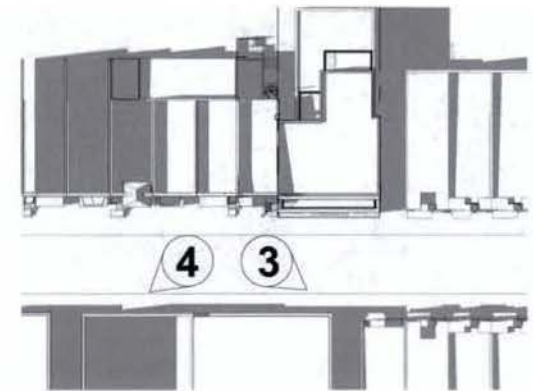
2



3



4



5

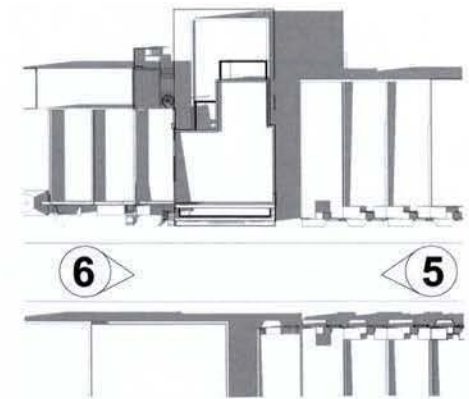


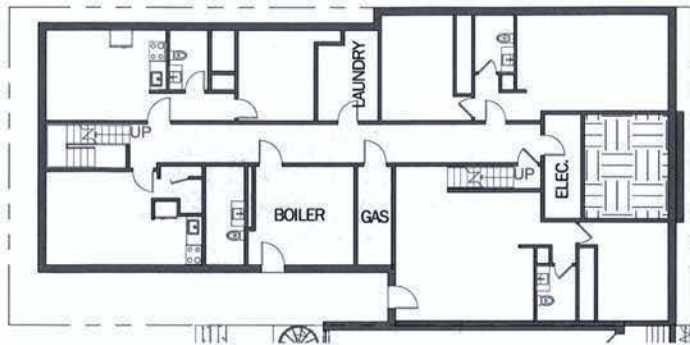
LOOKING TOWARDS 19TH ST

6



LOOKING TOWARDS 18TH ST





00 CELLAR - DEMO.

1/16" = 1'-0"

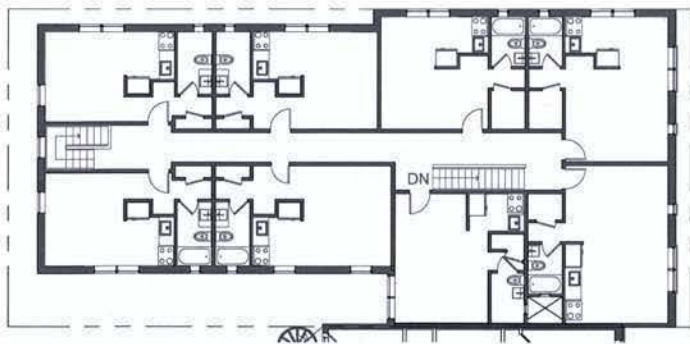
1. EXISTING TO REMAIN AT CELLAR LEVEL



01 FIRST LEVEL - DEMO.

1/16" = 1'-0"

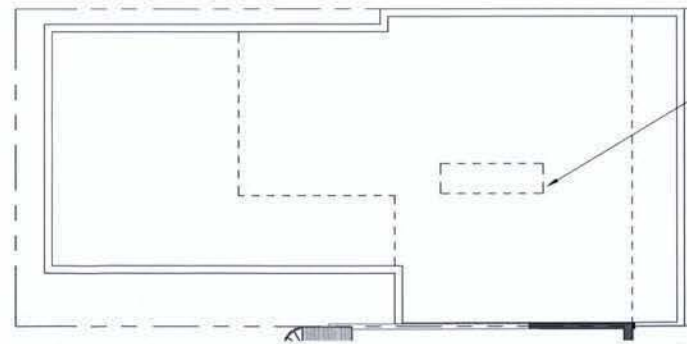
1. EXISTING TO REMAIN AT FIRST LEVEL
2. CLEAN ALL EXISTING EXTERIOR BRICK AND LIMESTONE SURFACES



02 SECOND LEVEL - DEMO.

1/16" = 1'-0"

1. EXISTING TO REMAIN AT SECOND LEVEL
2. CLEAN ALL EXISTING EXTERIOR BRICK AND LIMESTONE SURFACES

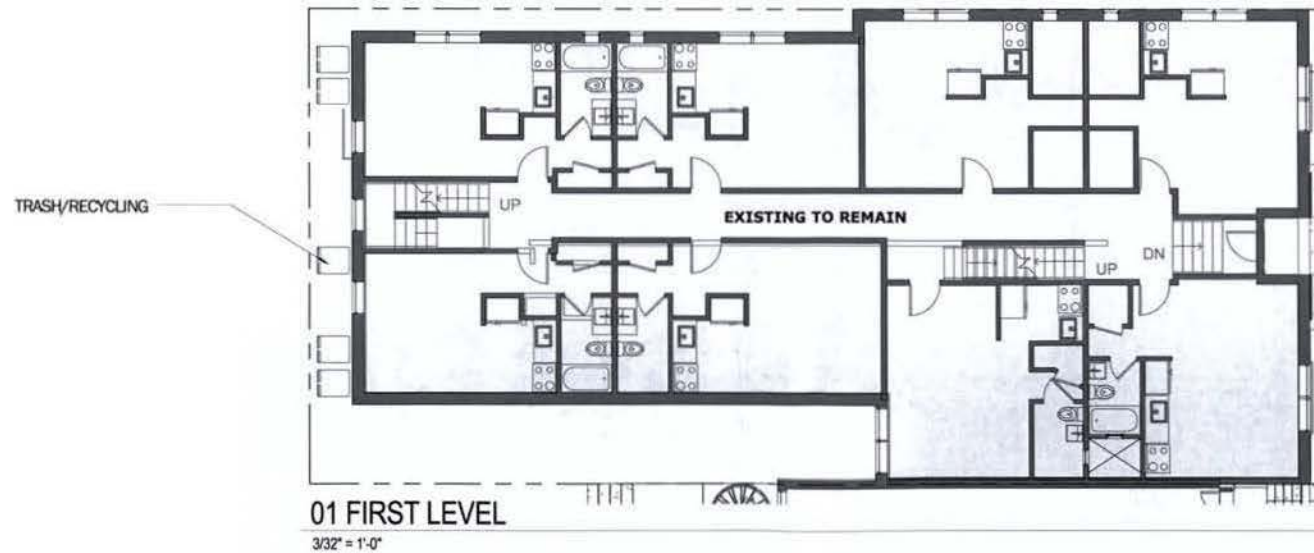


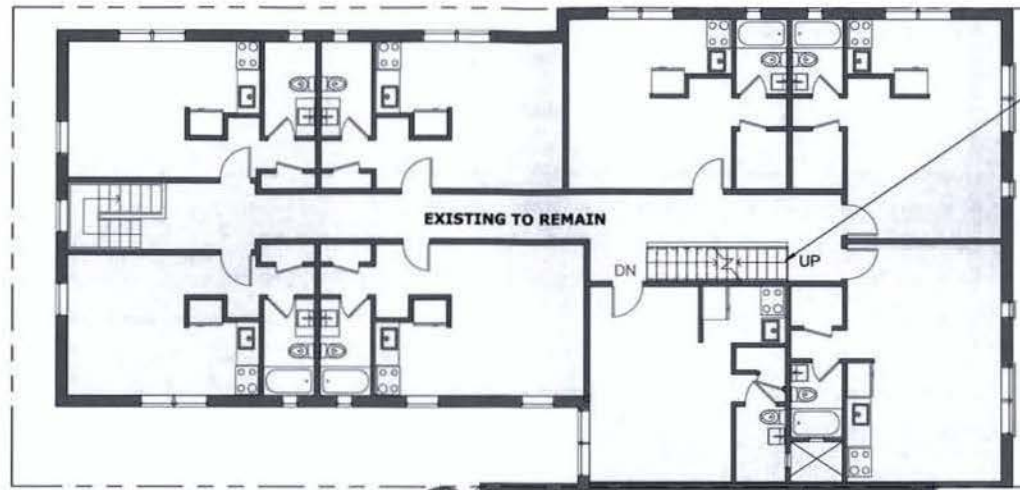
04 ROOF - DEMO.

1/16" = 1'-0"

1. PREPARE FOR NEW ADDITION AND OPENING AT STAIR
2. CLEAN ALL EXISTING EXTERIOR BRICK AND LIMESTONE SURFACES

RECEIVED
D.C. OFFICE OF ZONING
2014 MAR 18 PM 4:06



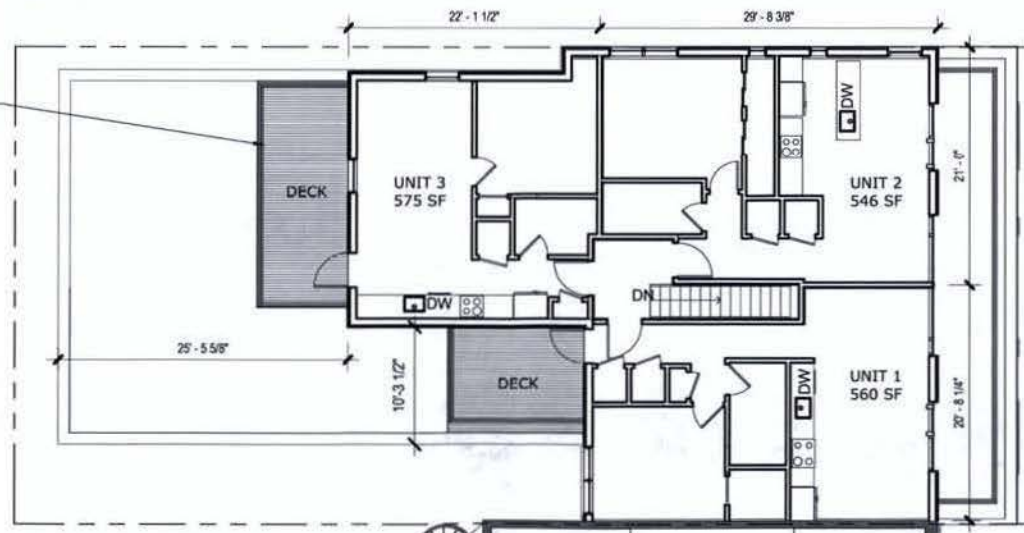


NEW STRAIGHT RUN STAIR TO THIRD FLOOR

02 SECOND LEVEL

3/32" = 1'-0"

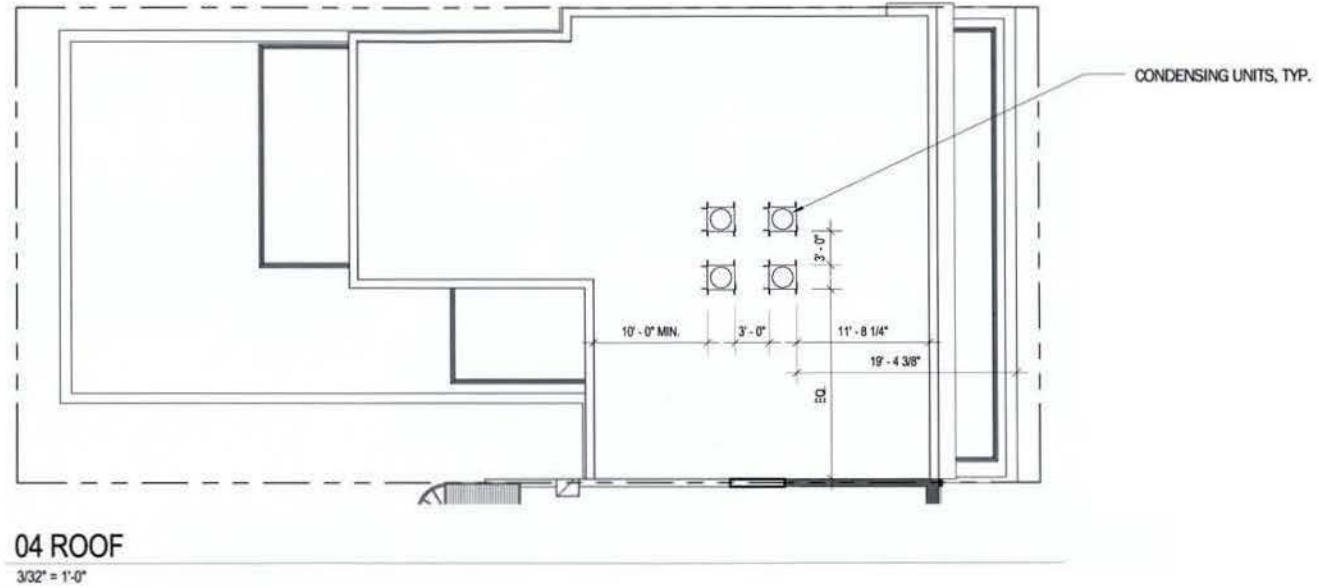
DECKS ARE AT ELEVATION 21'-0" (SAME LEVEL OF THE ROOF AT THE THIRD FLOOR) AND THE RAILINGS AROUND THE DECKS ARE 42" (WHICH IS LESS THAN 4'-0").

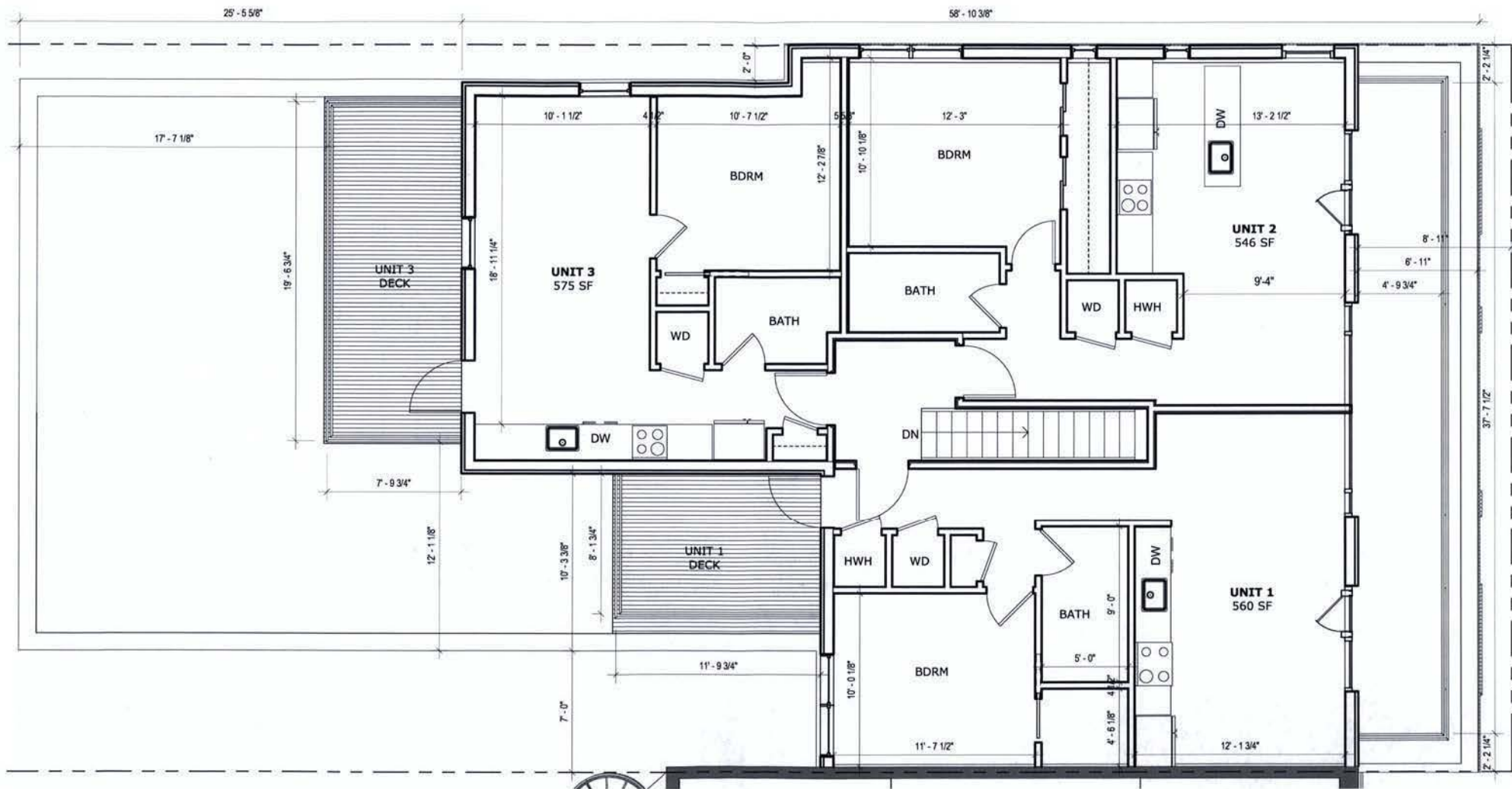


03 THIRD LEVEL

3/32" = 1'-0"

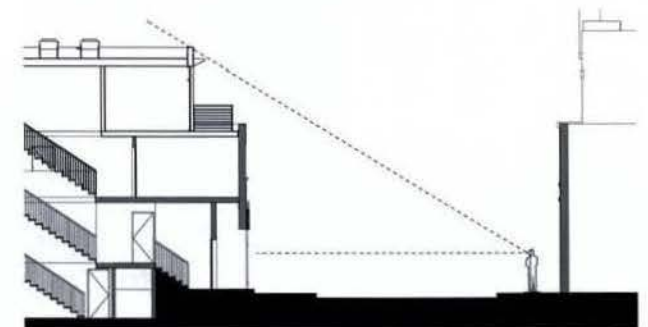
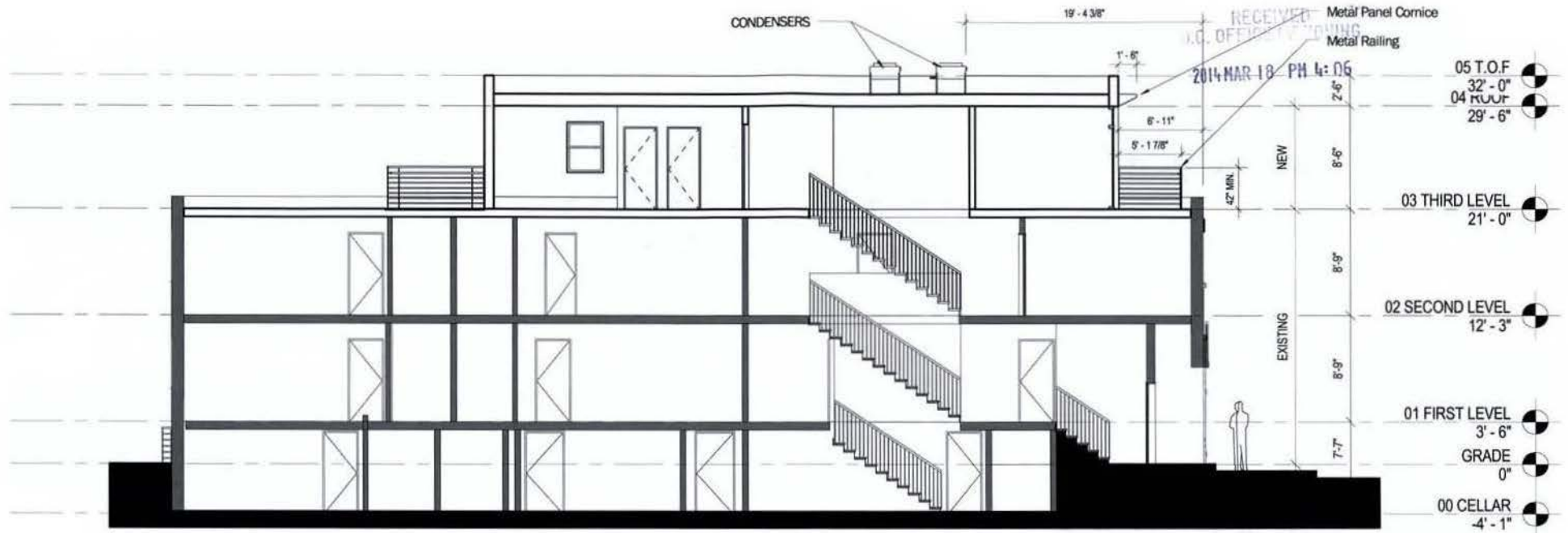






03 THIRD LEVEL - UNIT PLANS

3/16" = 1'-0"



Section - Site Line Diagram



South Elevation

RECEIVED
D.C. OFFICE OF ZONING
2014 MAR 18 PM 4:06



North Elevation

3/16" = 1'-0"



East Elevation

1/8" = 1'-0"

2014 MAR 18 PM 4:06



1815 RIGGS PLACE

North Street Elevation - Enlarged

3/32" = 1'-0"



1815 RIGGS PLACE

North Street Elevation

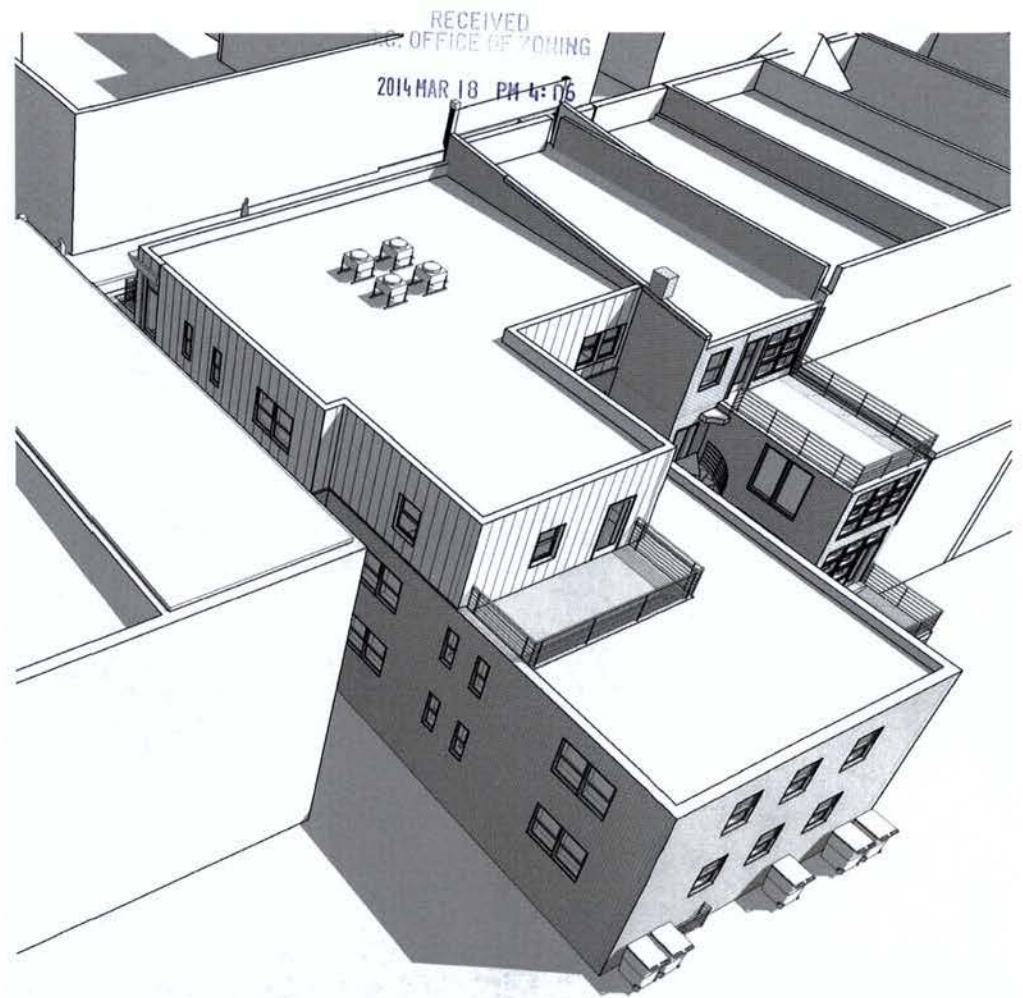
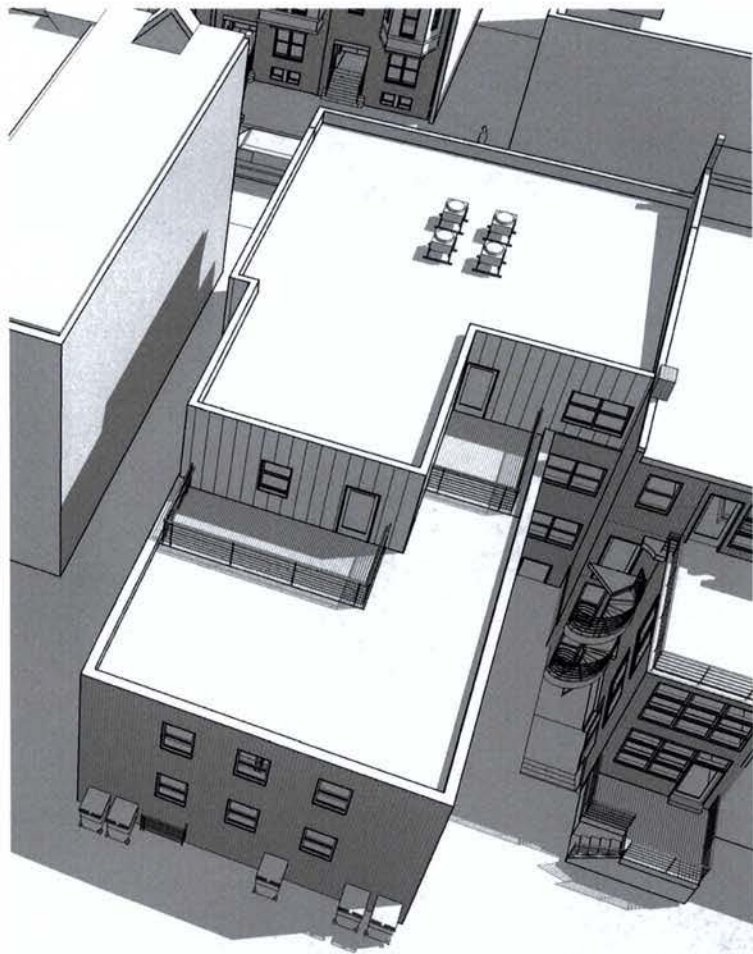
3/64" = 1'-0"



RECEIVED
U.S. OFFICE OF ZONING
2014 MAR 18 PM 4:06





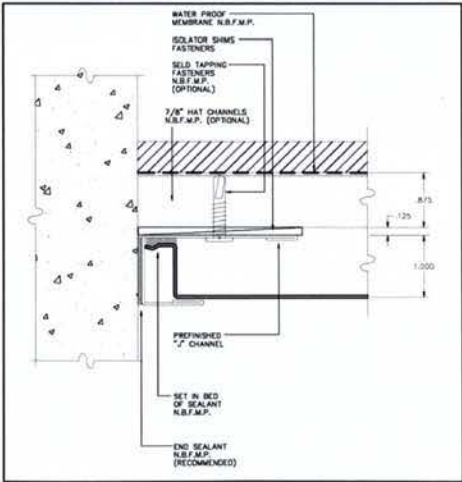




FIRESTONE UC-501 REVEAL FLUSH METAL PANEL

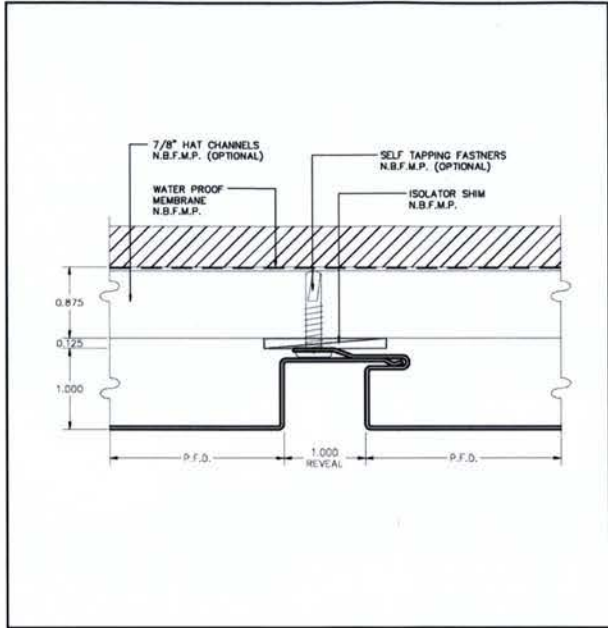


Firestone
METAL PRODUCTS
UNA-CLAD
1-800-426-7737 WWW.UNACLAD.COM
UC501 - INSIDE CORNER DETAIL @ MASONRY UC501-03



Copyright 09/07 © FIRESTONE METAL PRODUCTS/UNA-CLAD
1001 Lund Boulevard, Anoka, Minnesota 55303 Toll Free (800) 426-7737 Local (763) 576-9595 Fax (763) 576-9596

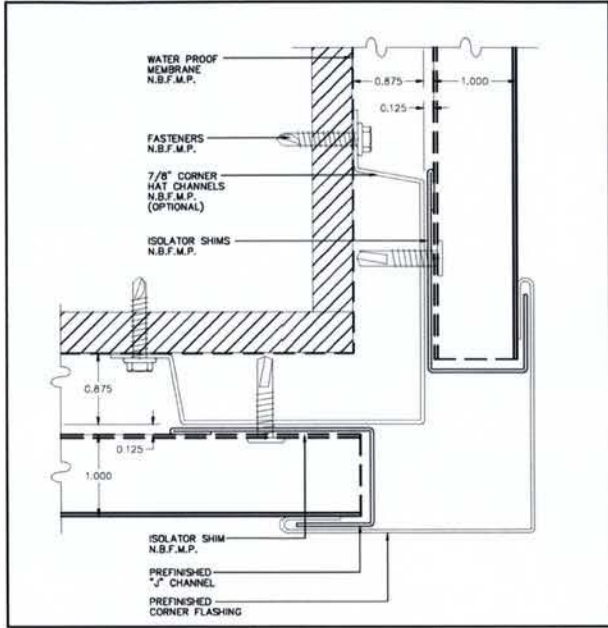
Firestone
METAL PRODUCTS
UNA-CLAD
1-800-426-7737 WWW.UNACLAD.COM
UC501 - VERTICAL JOINT DETAIL UC501-02



Copyright 09/07 © FIRESTONE METAL PRODUCTS/UNA-CLAD
1001 Lund Boulevard, Anoka, Minnesota 55303 Toll Free (800) 426-7737 Local (763) 576-9595 Fax (763) 576-9596



Firestone
METAL PRODUCTS
UNA-CLAD
1-800-426-7737 WWW.UNACLAD.COM
RECEIVED
I.C. OFFICE OF ZONING
2014 MAR 18 PM 4:07
UC501 - OUTSIDE CORNER DETAIL UC501-05



Copyright 09/07 © FIRESTONE METAL PRODUCTS/UNA-CLAD
1001 Lund Boulevard, Anoka, Minnesota 55303 Toll Free (800) 426-7737 Local (763) 576-9595 Fax (763) 576-9596