

APARTMENT RENOVATION/ADDITION

13TH ST. AND SAVANNAH
WASHINGTON, D.C.

Board of Zoning Adjustment Submittal



ARCHITECTS/ENGINEERS/PLANNERS
649A LOFSTRAND LN.
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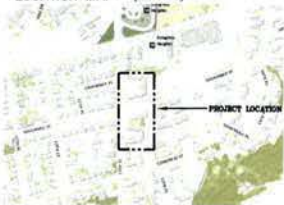
BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18731
EXHIBIT NO. 9

VICINITY MAP (REGIONAL)



LOCATION MAP (LOCAL)



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13TH ST. AND SAVANNAH
APARTMENT RENOVATION/ADDITION
WASHINGTON, DC

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CODE ANALYSIS

Apartment Renovation/Addition

13th Street S.E. and Savannah Street S.E.

D.C. Municipal Regulations Code (DCMR)

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Building 1 Zoning/Building Data	Building 2 Zoning/Building Data	Building 3 Zoning/Building Data
3232-3242 13th Street S.E. Neighborhood- Randle Heights Sub Neighborhood- C Square: 5914 Lot: 1 Land Area 50,782 sq. ft. Zoning District R-5-A <u>Max. Building Ht. in Ft. (400.1)</u> 40' Maximum required 35' Provided <u>Max. Height in Stories (400.1)</u> 3 stories maximum Required 3 stories provided (4 levels) <u>Min. Lot Area and Width (401.3)</u> Required- As prescribed by the board pursuant to 3104 Provided- Lot Area 50,782 sq. ft. <u>Floor Area Ratio (402.4)</u> Required-Max. 0.9 GFA 43,976/ LOT AREA 50,782 =.87 Provided FAR=.87 <u>Rear Lot Setback (404.1)</u> Required-Min. 20 Feet Provided-42'-9" <u>Side Setback (405.9)</u> 3 inches per ft. of building height but not less than 8 feet Required=35'x3=105/12=8'-9" Provided=17'-10" <u>Courts</u> 4 inches per foot of height but not less than 10 feet Required=35'x4=140/12=11'-7" Provided=103'	1301-1305 Savannah Street S.E. Neighborhood- Randle Heights Sub Neighborhood- C Square: 5915 Lot: 1 Land Area 17,425 sq. ft. Zoning District R-5-A <u>Max. Building Ht. in Ft. (400.1)</u> 40' Maximum required 19' Provided <u>Max. Height in Stories (400.1)</u> 3 stories maximum Required 2 stories provided <u>Min. Lot Area and Width (401.3)</u> Required- As prescribed by the board pursuant to 3104 Provided- Lot Area 17,425 sq. ft. <u>Floor Area Ratio (402.4)</u> Required-Max. 0.9 GFA 9,288/LOT AREA 17,425 =.53 Provided FAR=.53 <u>Rear Lot Setback (404.1)</u> Required-Min. 20 Feet Provided-26'-8" <u>Side Setback (405.9)</u> 3 inches per ft. of building height but not less than 8 feet 19'x3=57/12=4'-8" Required 8' Provided=13'-4" <u>Courts</u> 4 inches per foot of height but not less than 10 feet Not Applicable (no Courts provided)	3310-3318 13th Street S.E. Neighborhood- Randle Heights Sub Neighborhood- C Square: 5915 Lot: 2 Land Area 38,956 sq. ft. Zoning District R-5-A <u>Max. Building Ht. in ft. (400.1)</u> 40' Maximum required 35' Provided <u>Max. Height in Stories (400.1)</u> 3 stories maximum Required 3 stories provided (4 levels) <u>Min. Lot Area and Width (401.3)</u> Required- As prescribed by the board pursuant to 3104 Provided- Lot Area 38,956 sq. ft. <u>Floor Area Ratio (402.4)</u> Required-Max. 0.9 GFA 33,618/LOT AREA:38,956 =.86 Provided FAR=.86 <u>Rear Lot Setback (404.1)</u> Required-Min. 20 Feet Provided-41'-3" <u>Side Setback (405.9)</u> 3 inches per ft. of building height but not less than 8 feet Required=35'x3=105/12=8'-9" Provided=31'-8" <u>Courts</u> 4 inches per foot of height but not less than 10 feet Required=35'x4=140/12=11'-7" Provided=60'-6"
<u>Max. Lot Occupancy (403.2)</u> Required- Max. 40% Bldg Area 11,567/ Lot Area 50,782 = Provided 23% Note: Per DCMR 701.6 When vertical addition is less than the existing area lot occupancy does not need to be recalculated. <u>Green Area Ratio (GAR) (1701.2)</u> Table 3401.2=R-5-A =.40 Area of landscape element=31,782 Lot Area=50,782 GAR=.62 Required .40 Provided.62 <u>Bicycle Parking Spaces (2002.1)</u> Apartments Required Long Term Spaces: 1 space for each 3 dwellings 60/3=20 Provided Long Term Spaces = 20 Required Short Term Spaces: 1 space for each 20 dwellings 60/20=3 Provided Long Term Spaces = 8 <u>Loading Berth (2101)</u> More than 50 dwelling units Required -1 Provided -1 <u>Parking Spaces</u> See attached Proposed Parking Plan for layout and quantity.	<u>Max. Lot Occupancy (403.2)</u> Required- Max. 40% Bldg Area 4,644/ Lot Area 17,425 = Provided 27% Note: Per DCMR 701.6 When vertical addition is less than the existing area lot occupancy does not need to be recalculated. <u>Green Area Ratio (GAR) (1701.2)</u> Pursuant with DCMR 1701.2 Table 3401.2=R-5-A =.40 Area of landscape element=9,781 Lot Area=17,425 GAR=.56 Required .40 Provided.56 <u>Bicycle Parking Spaces (2002.1)</u> Apartments Required Long Term Spaces: 1 space for each 3 dwellings 8/3=3 Provided Long Term Spaces = 8 Required Short Term Spaces: 1 space for each 20 dwellings 8 Dwelling units = 0 required Provided Long Term Spaces = 0 <u>Loading Berth (2101)</u> More than 50 dwelling units 8 units is less than 50=Required -0 Provided-0 <u>Parking Spaces</u> See attached Proposed Parking Plan for layout and quantity.	<u>Max. Lot Occupancy (403.2)</u> Required- Max. 40% Bldg Area 8,924/ Lot Area 38,956 = Provided 23% Note: Per DCMR 701.6 When vertical addition is less than the existing area lot occupancy does not need to be recalculated. <u>Pervious Surface Requirement (1601)</u> Pursuant with DCMR 1601.2 Min. pervious surface requirement is not applicable due to no increase in lot occupancy <u>Green Area Ratio (GAR) (1701.2)</u> Pursuant with DCMR 1701.2 Table 3401.2=R-5-A =.40 Area of landscape element=16,586 Lot Area=38,956 GAR=.42 Required .40 Provided.42 <u>Bicycle Parking Spaces (2002.1)</u> Apartments Required Long Term Spaces: 1 space for each 3 dwellings 42/3=14 Provided Long Term Spaces = 16 Required Short Term Spaces: 1 space for each 20 dwellings 42/20=3 Provided Long Term Spaces = 8 <u>Loading Berth (2101)</u> More than 50 dwelling units 42 units is less than 50=Required -0 Provided-0 <u>Parking Spaces</u> See attached Proposed Parking Plan for layout and quantity.



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CODE ANALYSIS

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EXISTING SITE PHOTOGRAPHS

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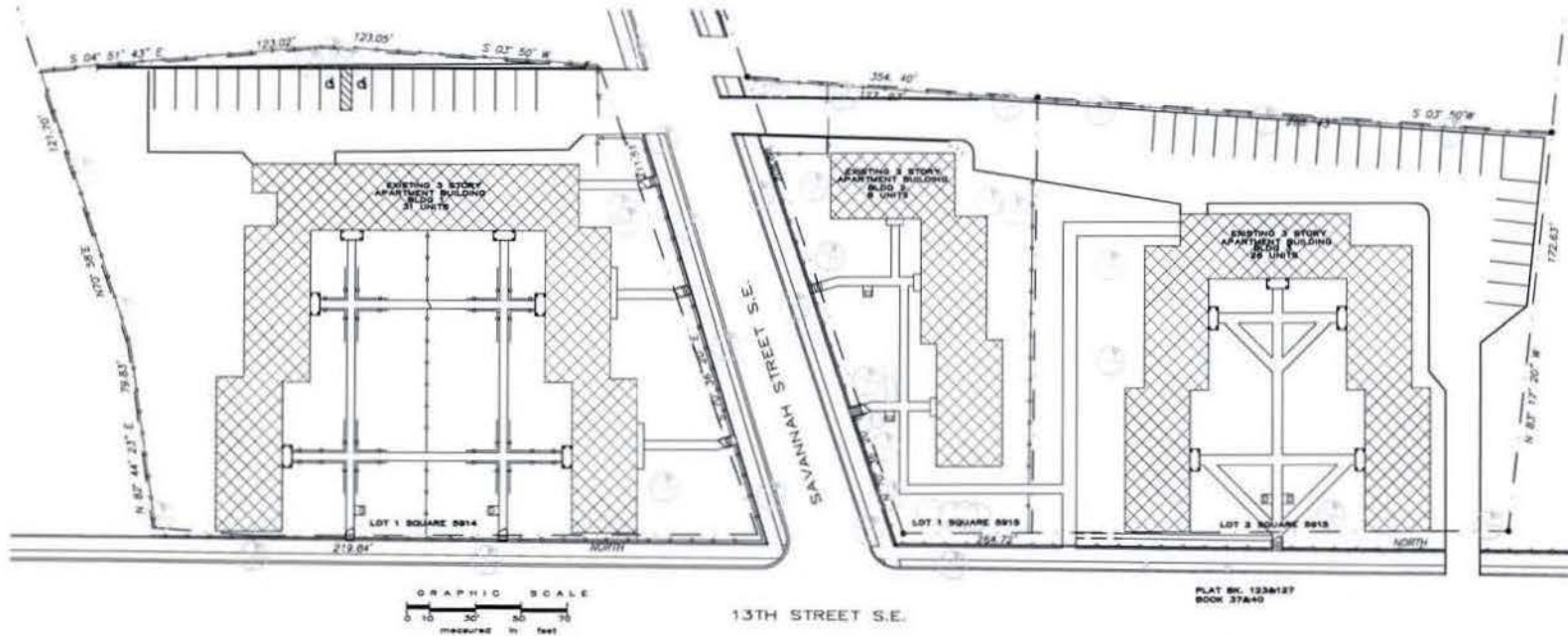
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EXISTING SITE PLAN
 OVERALL

REVISIONS

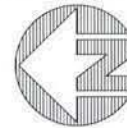
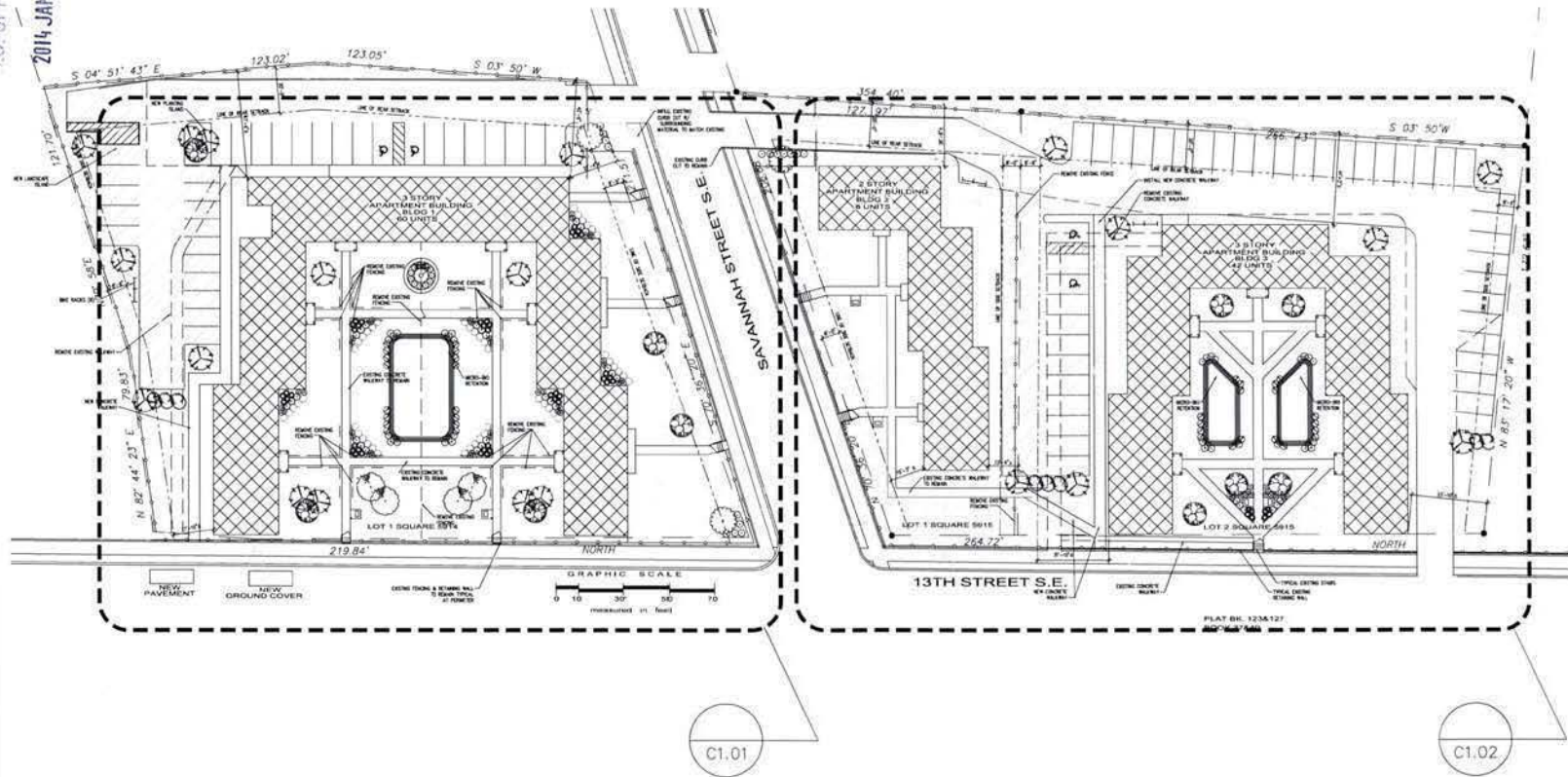
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PROPOSED SITE PLAN
OVERALL

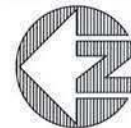
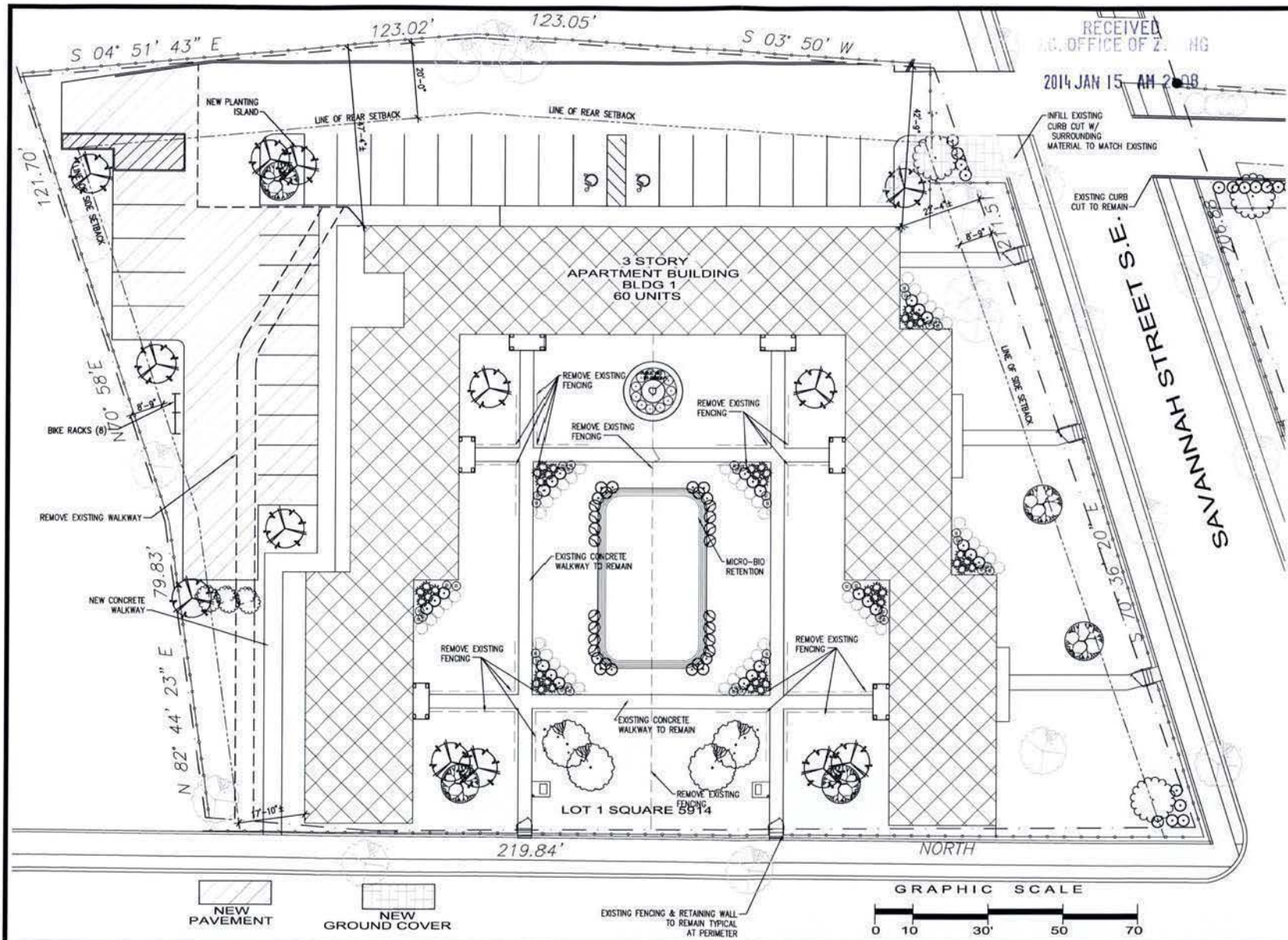
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C1.00



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PROPOSED SITE PLAN
BUILDING 1

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354.40'

127.97'

LINE OF REAR SETBACK

2 STORY APARTMENT BUILDING BLDG 2 8 UNITS

8'-0" 8'-0"

REMOVE EXISTING FENCE

INSTALL NEW CONCRETE WALKWAY

REMOVE EXISTING CONCRETE WALKWAY

LINE OF REAR SETBACK

266.73'

S 03° 50' W

8'-0"

3 STORY APARTMENT BUILDING BLDG 3 42 UNITS

15'-5" ±

EXISTING CONCRETE WALKWAY TO REMAIN

REMOVE EXISTING FENCING

LOT 1 SQUARE 5915

264.72'

31'-10" ±

LOT 2 SQUARE 5915

MICRO-BIO RETENTION

MICRO-BIO RETENTION

33'-10" ±

N 83° 17' 20" W

LINE OF SIDE SETBACK

13TH STREET S.E.

NEW CONCRETE WALKWAY

EXISTING CONCRETE WALKWAY

TYPICAL EXISTING STAIRS

TYPICAL EXISTING RETAINING WALL

NORTH



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PROPOSED SITE PLAN
BUILDING 2 & 3

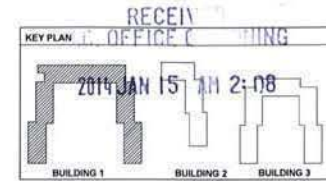
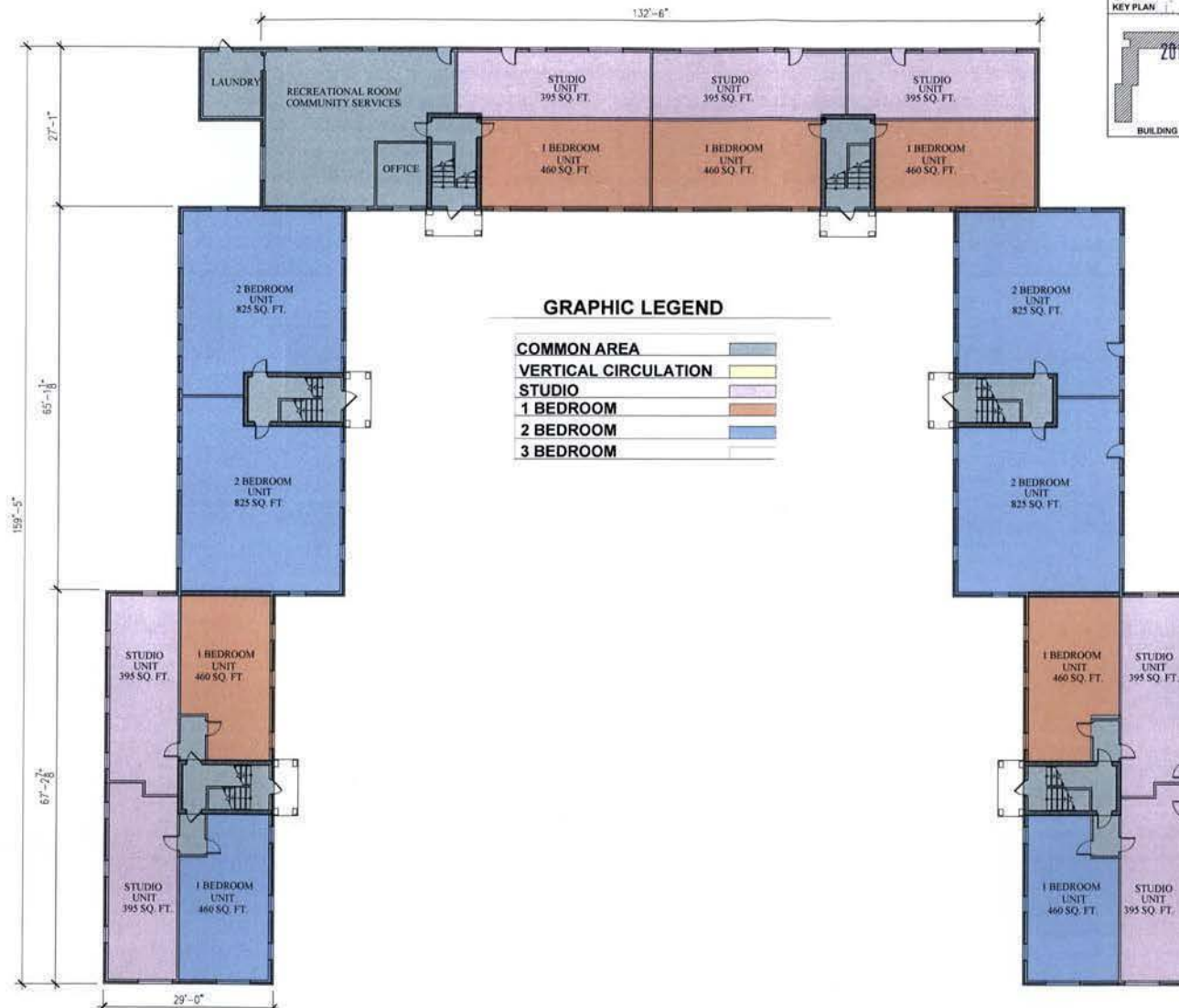
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SCALE: 1"=25'-0"

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C1.02



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BUILDING 1
FIRST AND SECOND LEVEL PLANS

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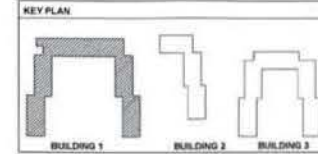
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01 BUILDING 1 PROPOSED FIRST AND SECOND LEVEL FLOOR PLANS
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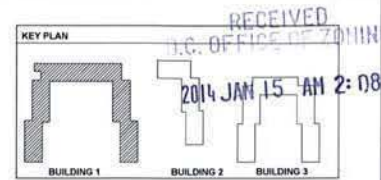
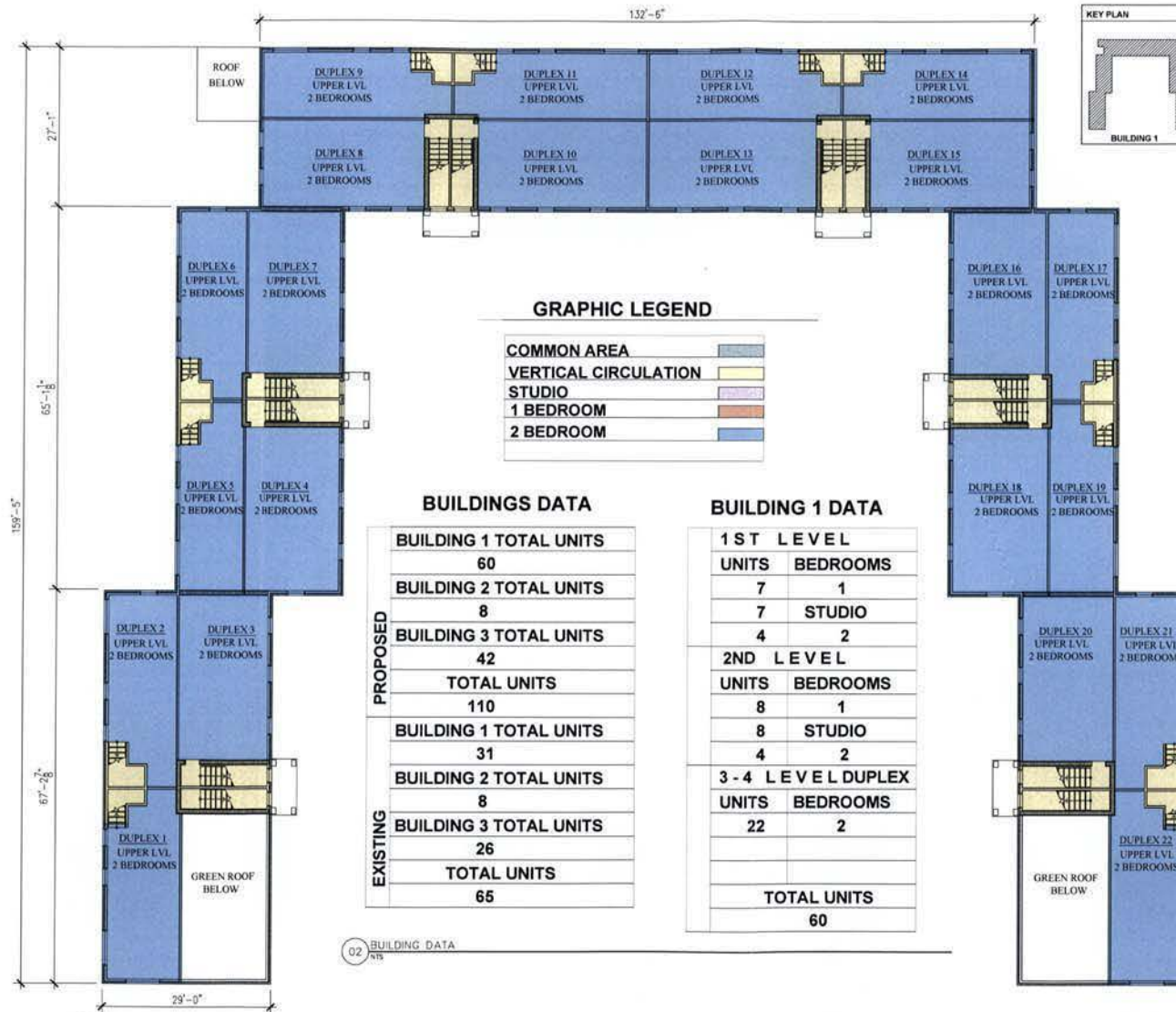
BUILDING 1
THIRD LEVEL FLOOR PLAN

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A1.11

01 BUILDING 1 PROPOSED THIRD LEVEL FLOOR PLAN
6/8



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BUILDING 1
 4TH LEVEL (LOFT) FLOOR PLAN

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01 BUILDING 1 PROPOSED FOURTH LEVEL FLOOR PLAN
 NTS

02 BUILDING DATA
 NTS

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PROPOSED	BUILDING 1 TOTAL UNITS
	60
	BUILDING 2 TOTAL UNITS
	8
EXISTING	BUILDING 3 TOTAL UNITS
	42
	TOTAL UNITS
	110
EXISTING	BUILDING 1 TOTAL UNITS
	31
	BUILDING 2 TOTAL UNITS
	8
EXISTING	BUILDING 3 TOTAL UNITS
	26
	TOTAL UNITS
	65

02 BUILDING DATA
NTS

BUILDING 2 DATA

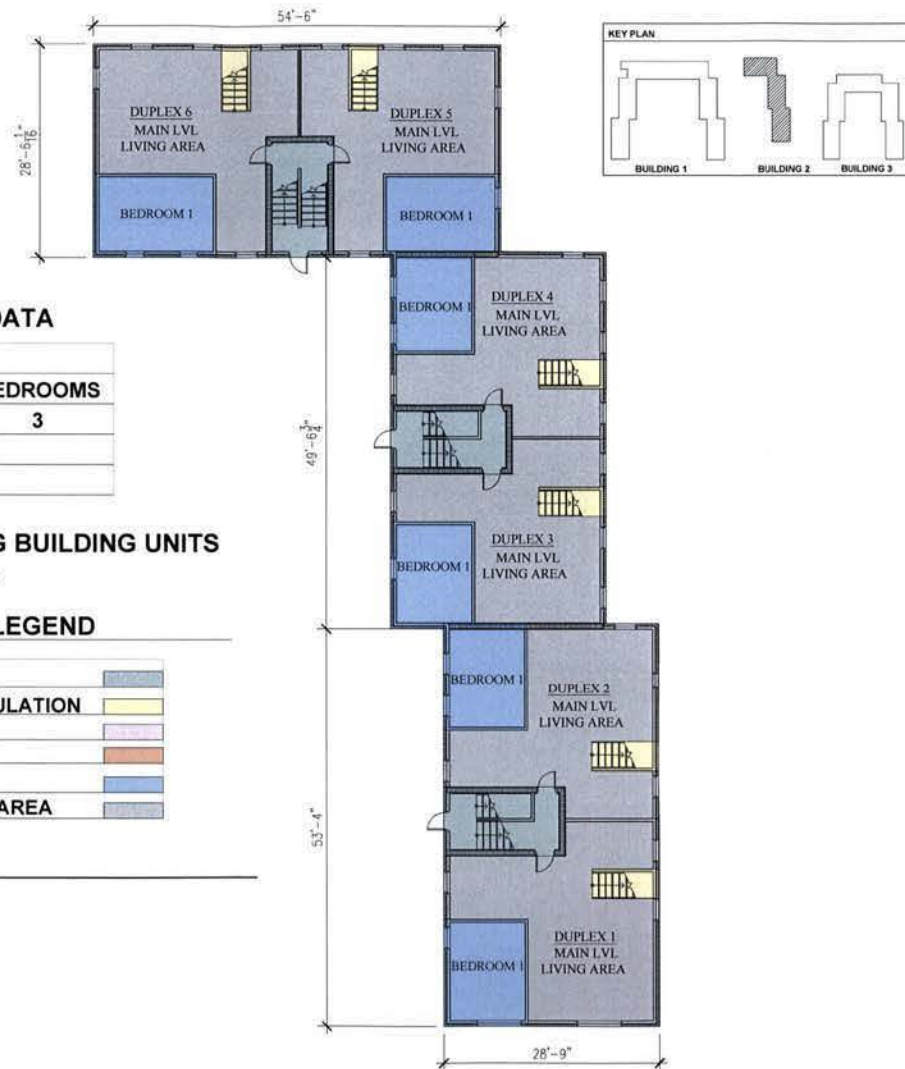
UNITS	BEDROOMS
8	3

NOTE: EXISTING BUILDING UNITS
SHALL REMAIN

GRAPHIC LEGEND

COMMON AREA	
VERTICAL CIRCULATION	
STUDIO	
1 BEDROOM	
2 BEDROOM	
DUPLEX LIVING AREA	

01 BUILDING 2 EXISTING 2 LEVEL DUPLEX
1/16"=1'-0"



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BUILDING 2
FIRST LEVEL PLAN

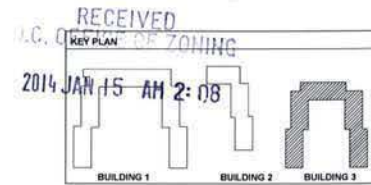
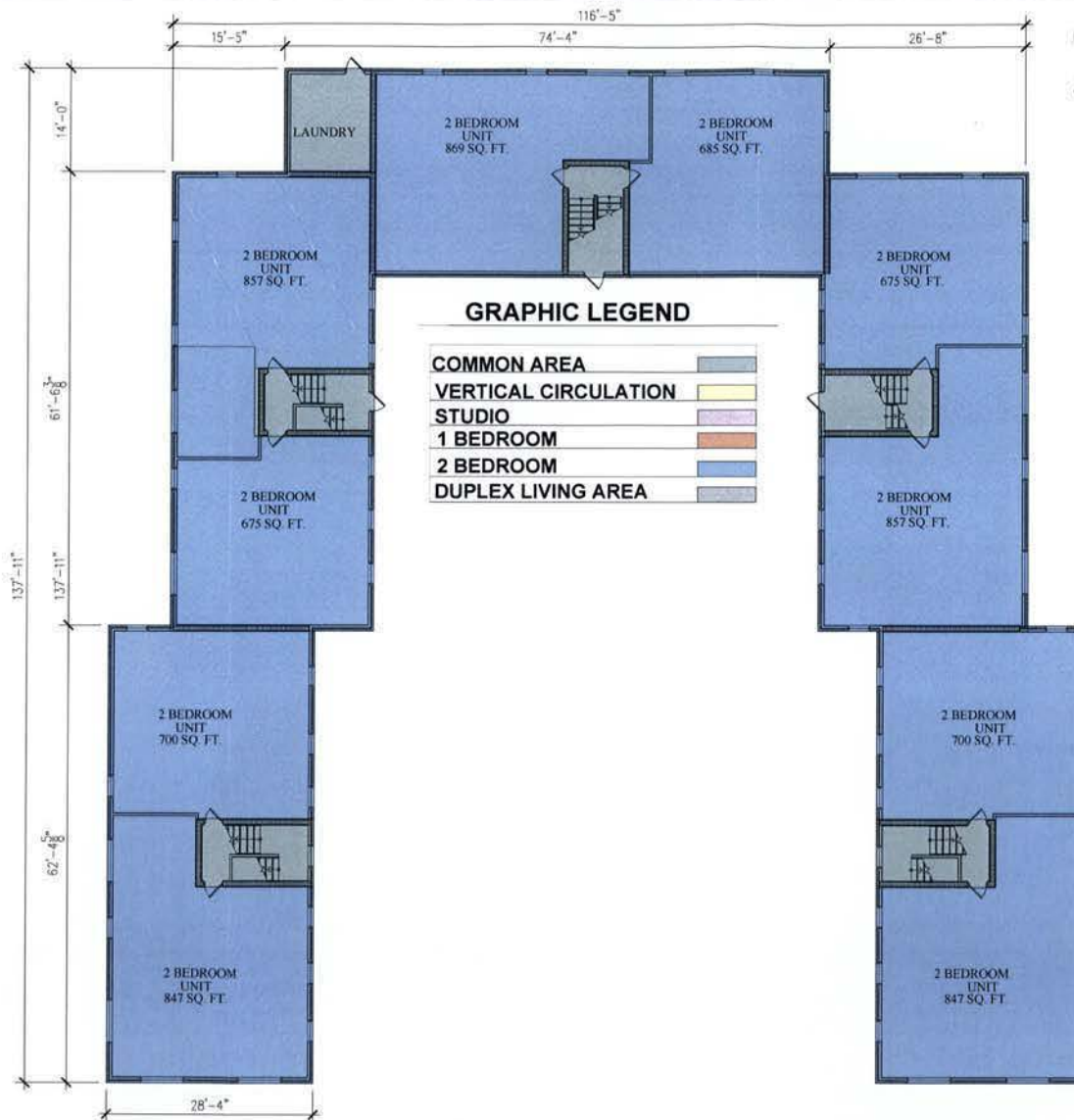
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A1.20



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BUILDING 3
FIRST AND SECOND LEVEL PLANS

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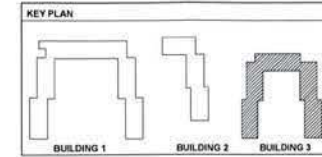
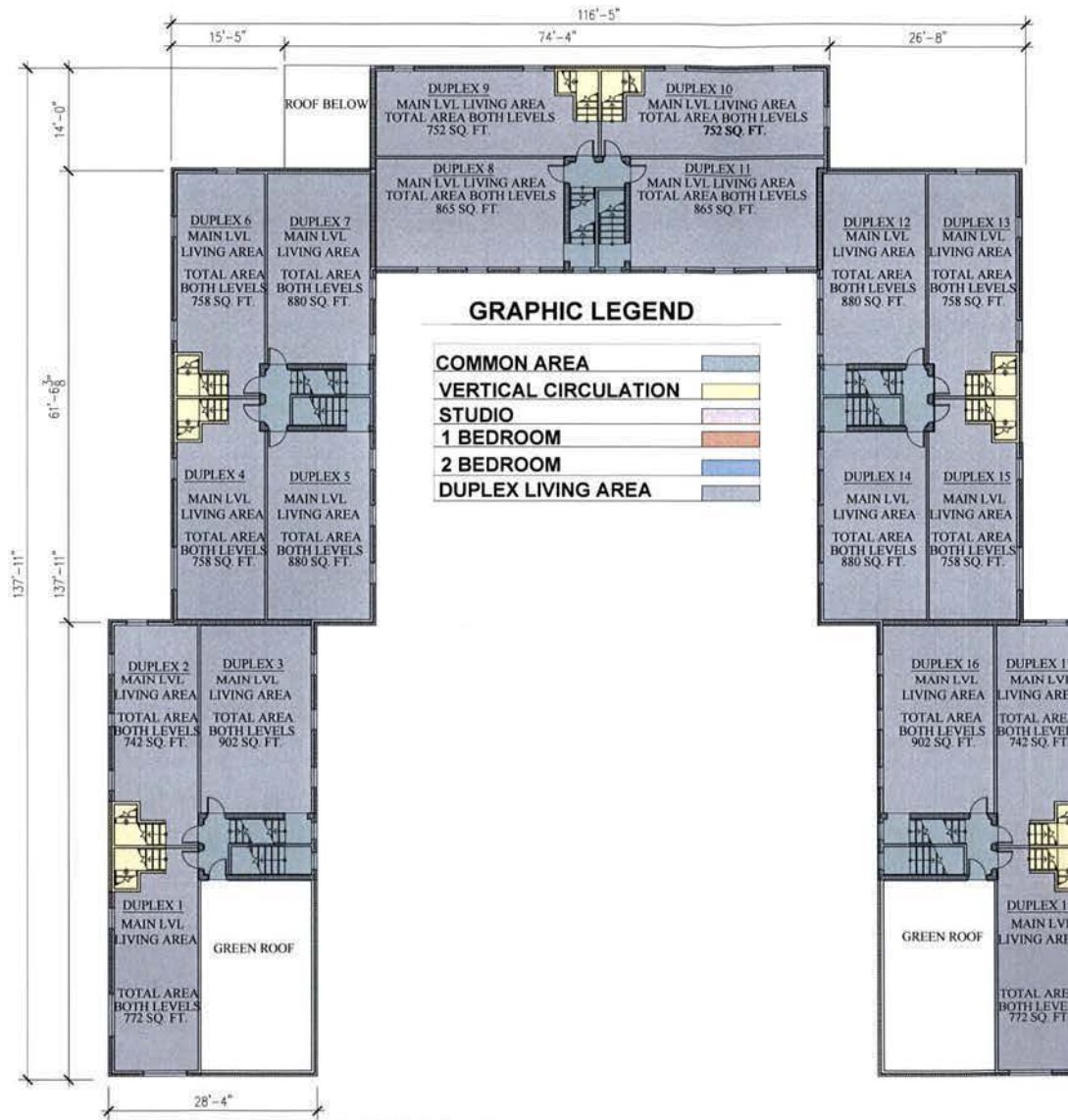
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01 BUILDING 3 PROPOSED FIRST AND SECOND LEVEL FLOOR PLANS
1/16"=1'-0"

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BUILDING 3
THIRD LEVEL FLOOR PLAN

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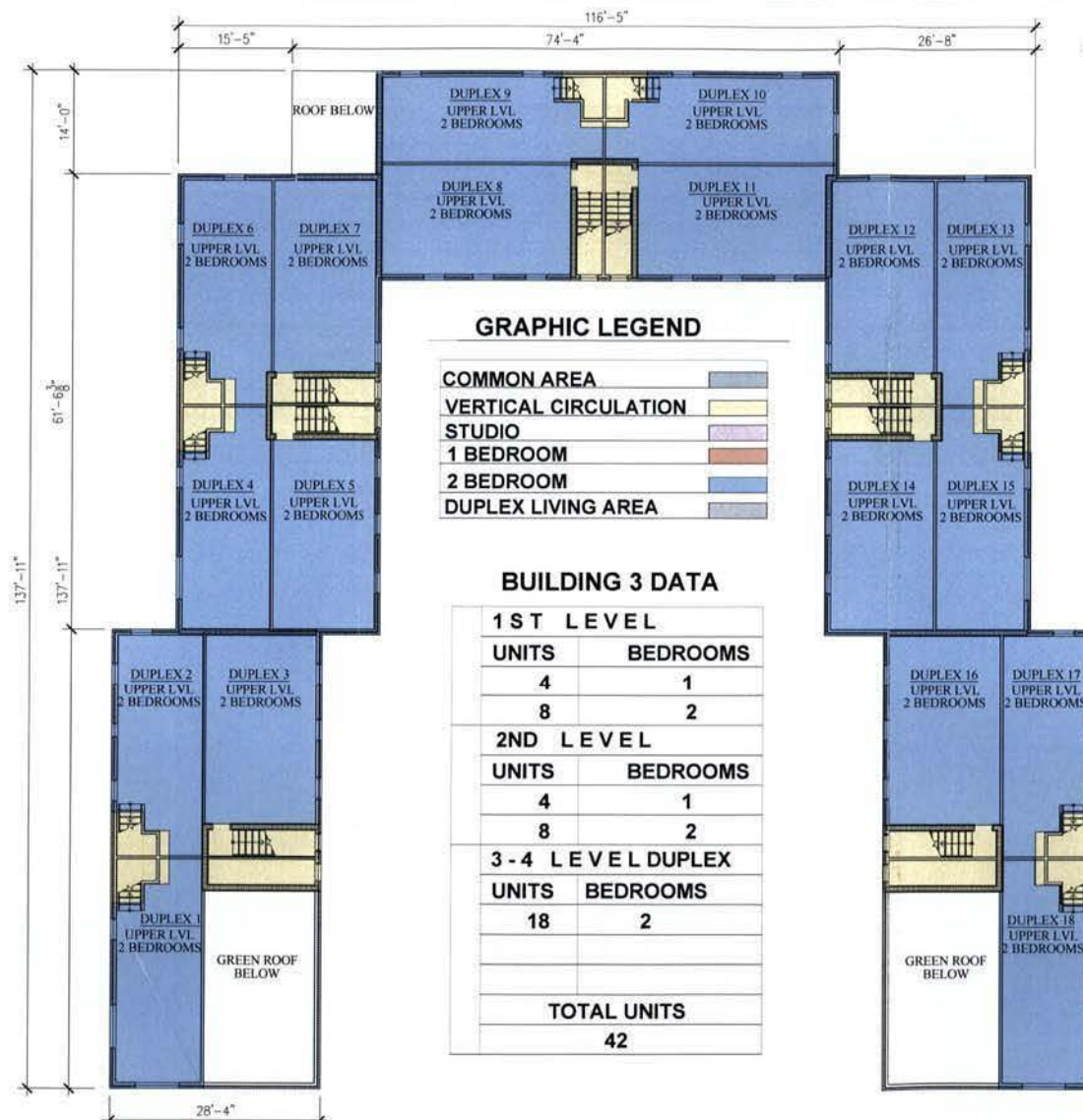
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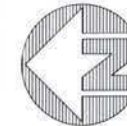
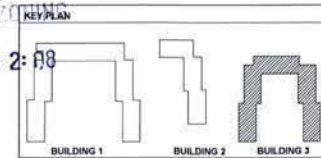
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01 BUILDING 3 PROPOSED THIRD LEVEL FLOOR PLAN
1/16"=1'-0"



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BUILDING 3

BUILDING 3
4TH LEVEL (LOFT) FLOOR PLAN

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- OPTIONAL DECORATIVE METAL FRAMING
- PARAPET
NOTE: NO BUILDING COMPONENTS WILL EXCEED PARAPET HEIGHT REFER TO ELEVATIONS
- NEW EPDM ROOF (TYPICAL)
- PARAPET (TYPICAL)
- GREEN ROOF (TYPICAL)
- GREEN ROOF (TYPICAL)



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ROOF PLAN
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A1.04

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EXTERIOR ELEVATIONS BUILDING 1

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02 BUILDING 1 EXTERIOR EAST ELEVATION
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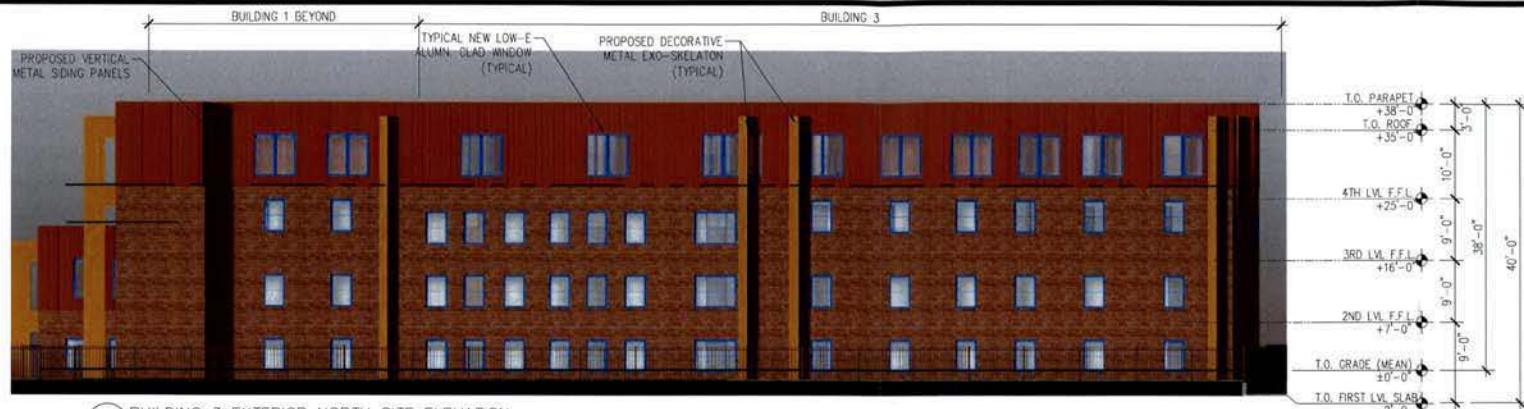
TYPICAL NOTE: ELEVATIONS ARE CONCEPTUAL
FINAL COLORS, MATERIALS, AND WINDOW PLACEMENT T.B.D.



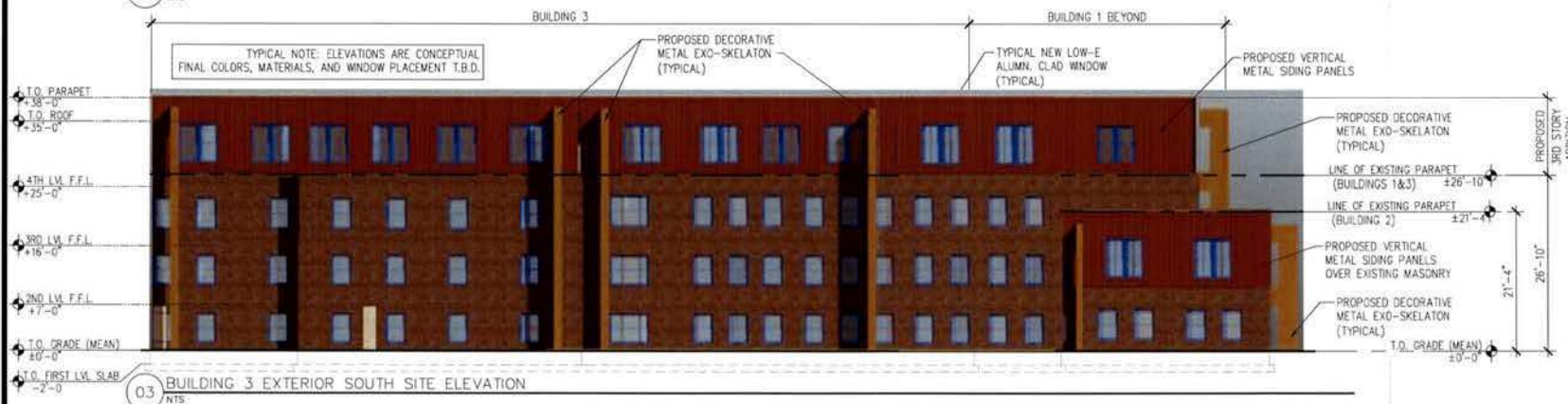
01 BUILDING 1 EXTERIOR WEST ELEVATION
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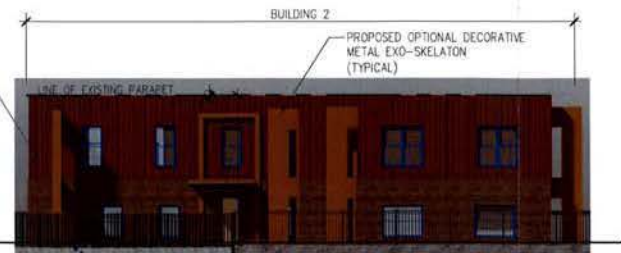
04 BUILDING 3 EXTERIOR NORTH SITE ELEVATION
NTS



03 BUILDING 3 EXTERIOR SOUTH SITE ELEVATION
NTS



02 BUILDING 2 EXTERIOR EAST ELEVATION
NTS



01 BUILDING 2 EXTERIOR WEST ELEVATION
NTS



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EXTERIOR ELEVATIONS
BUILDING 2

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BUILDING SECTION

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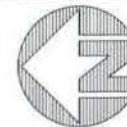
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02 CONCEPT RENDERING
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01 CONCEPT RENDERING
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CONCEPT RENDERINGS

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APARTMENT RENOVATION/ADDITION
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STORM WATER MANAGEMENT
OVERALL CONCEPT PLAN/DETAILS

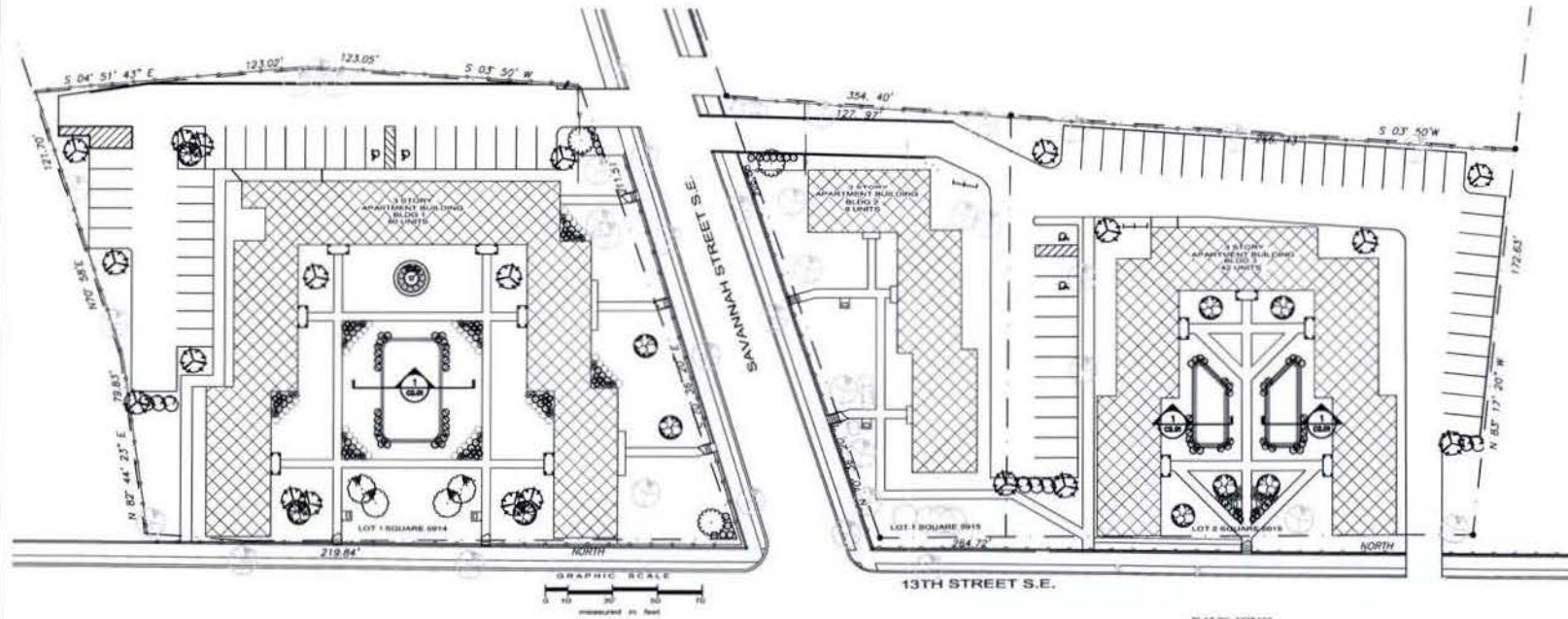
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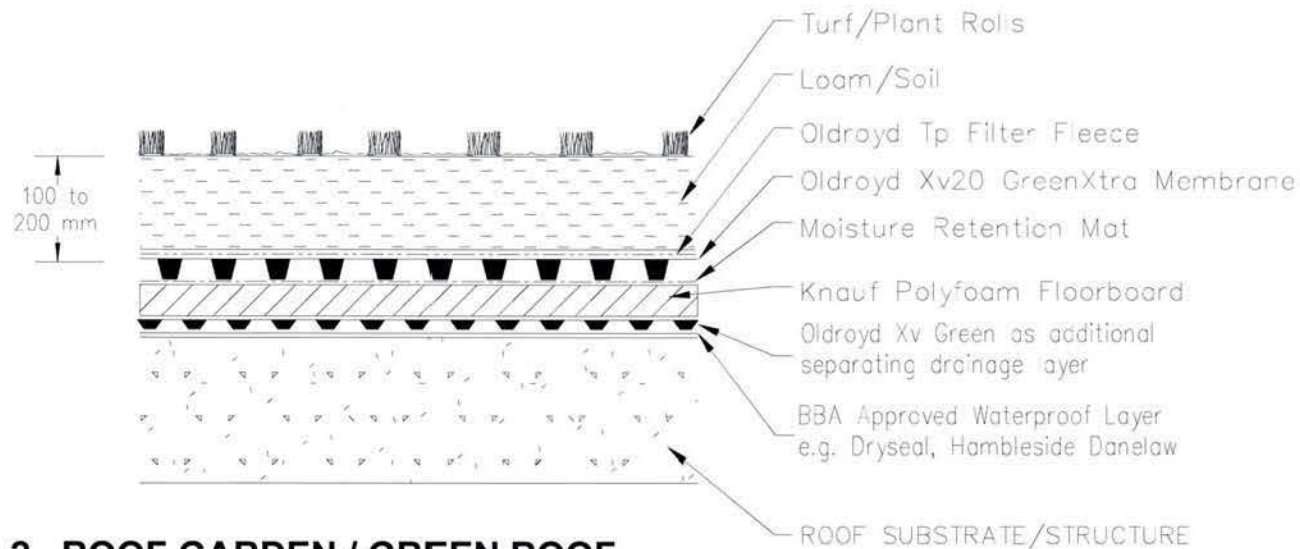
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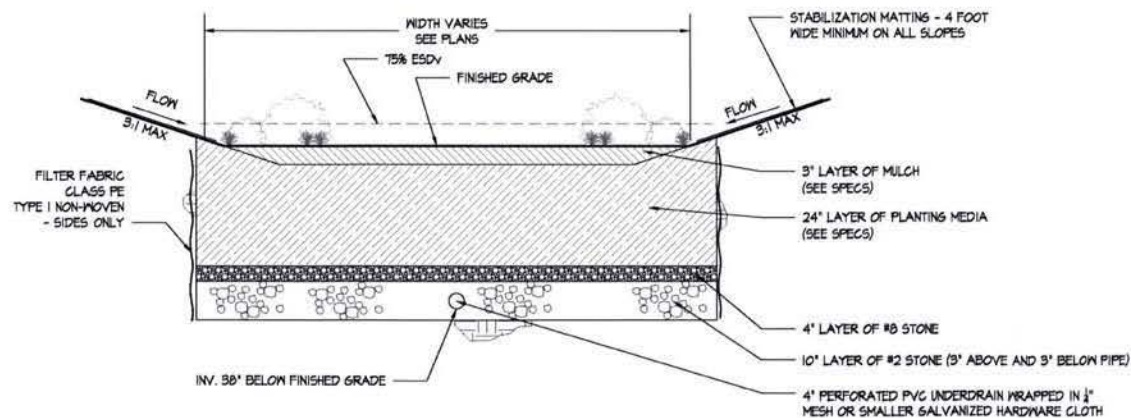
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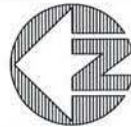




2. ROOF GARDEN / GREEN ROOF



1. BIO-RETENTION CONCEPT DETAIL



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SWM CONCEPT DETAILS

REVISIONS

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DATE: 01-10-14

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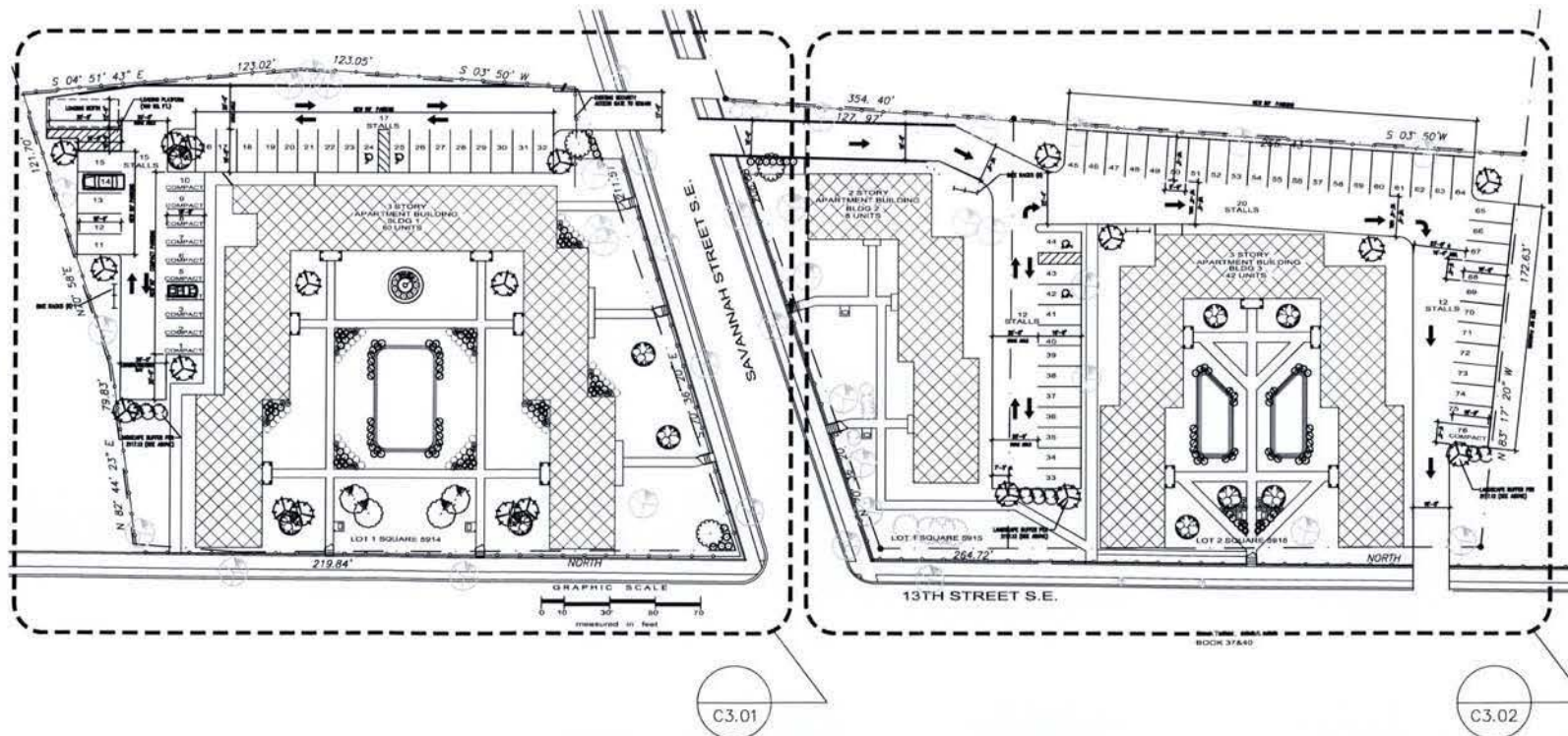
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BUILDINGS DATA	
PROPOSED	BUILDING 1 TOTAL UNITS
	60
	BUILDING 2 TOTAL UNITS
	8
EXISTING	BUILDING 3 TOTAL UNITS
	42
	TOTAL UNITS
	110
PROPOSED	BUILDING 1 TOTAL UNITS
	31
	BUILDING 2 TOTAL UNITS
	8
EXISTING	BUILDING 3 TOTAL UNITS
	26
	TOTAL UNITS
	65

PARKING DATA	
PROPOSED	BUILDING 1 TOTAL PARKING
	32
	BUILDING 2 TOTAL PARKING
	0
EXISTING	BUILDING 3 TOTAL PARKING
	44
	TOTAL PROPOSED PARKING
	76
PROPOSED	BUILDING 1 TOTAL PARKING
	18
	BUILDING 2 TOTAL PARKING
	0
EXISTING	BUILDING 3 TOTAL PARKING
	23
	TOTAL EXISTING PARKING
	41



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OVERALL
PROPOSED PARKING PLAN

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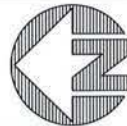
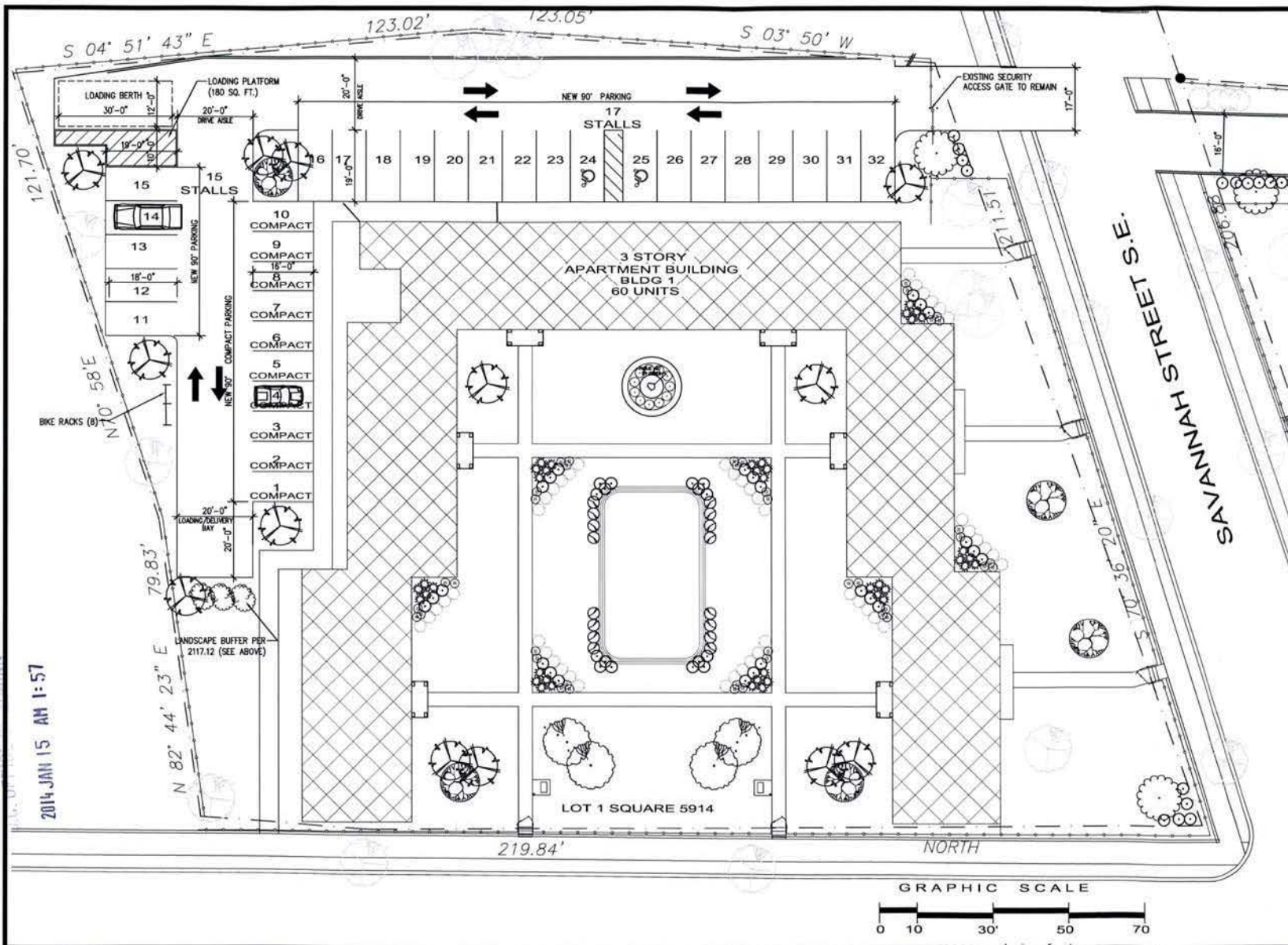
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PARKING PLAN
BUILDING 1

REVISIONS

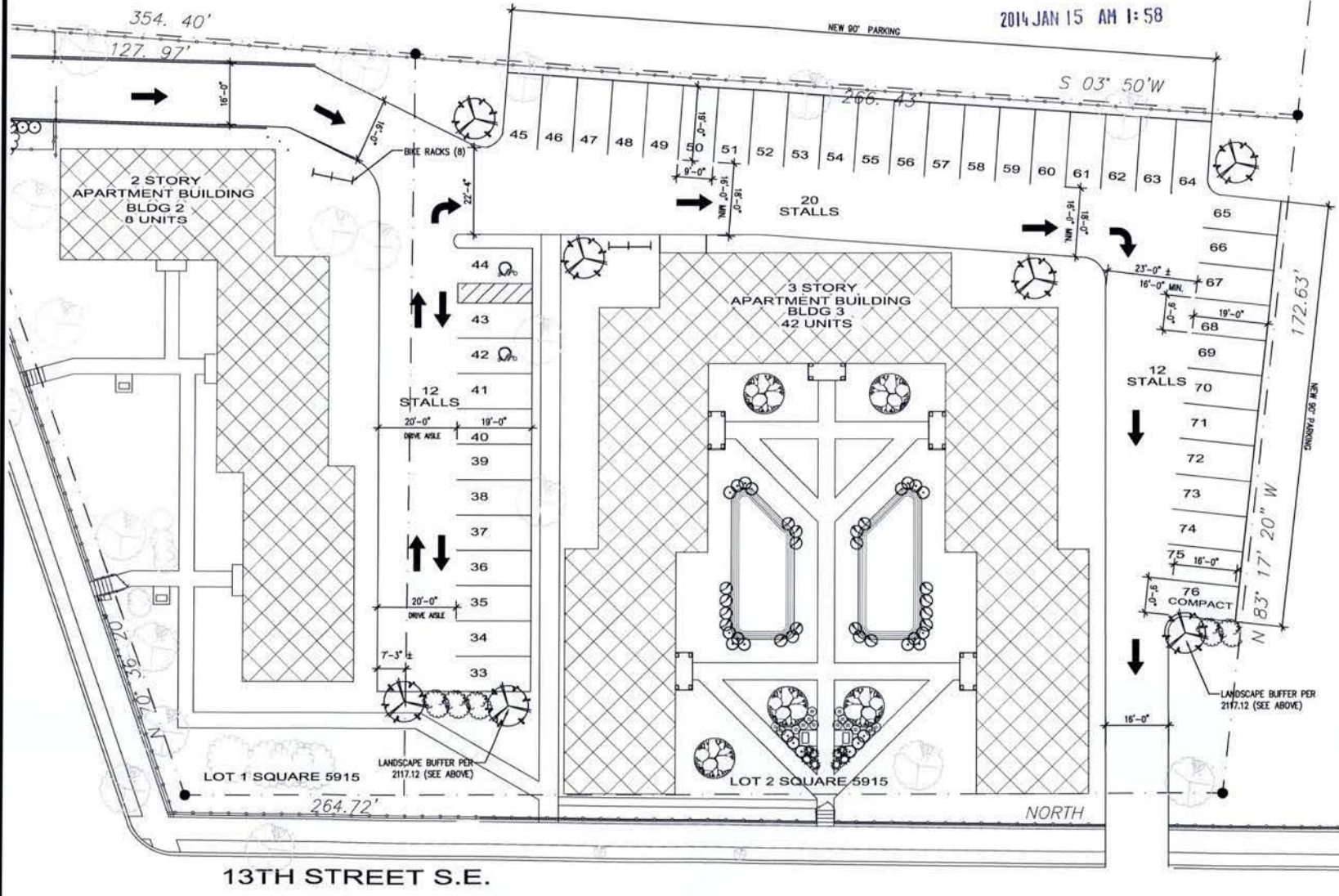
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DATE: 01-10-14

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C3.01

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PARKING PLAN
BUILDING 2 & 3

REVISIONS

SCALE: 1"=25'-0"

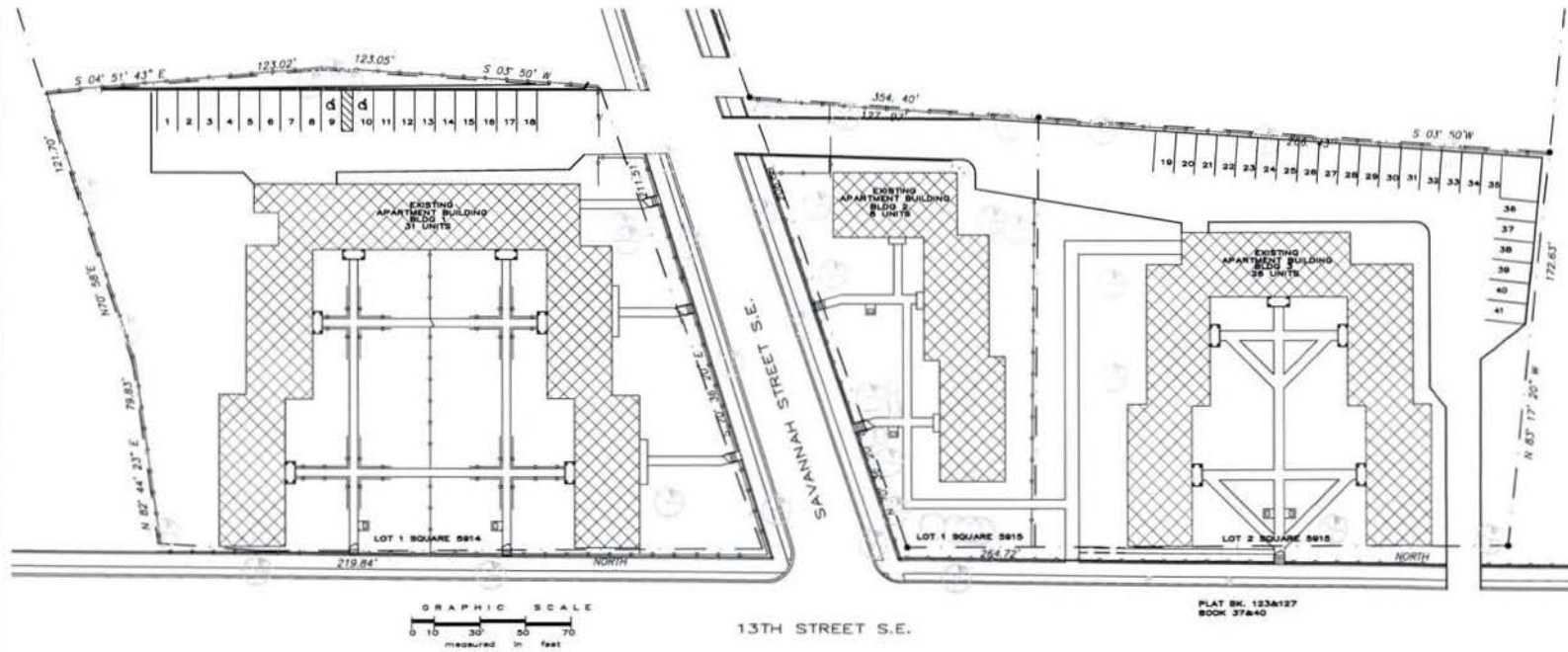
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EXISTING
OVERALL PARKING PLAN

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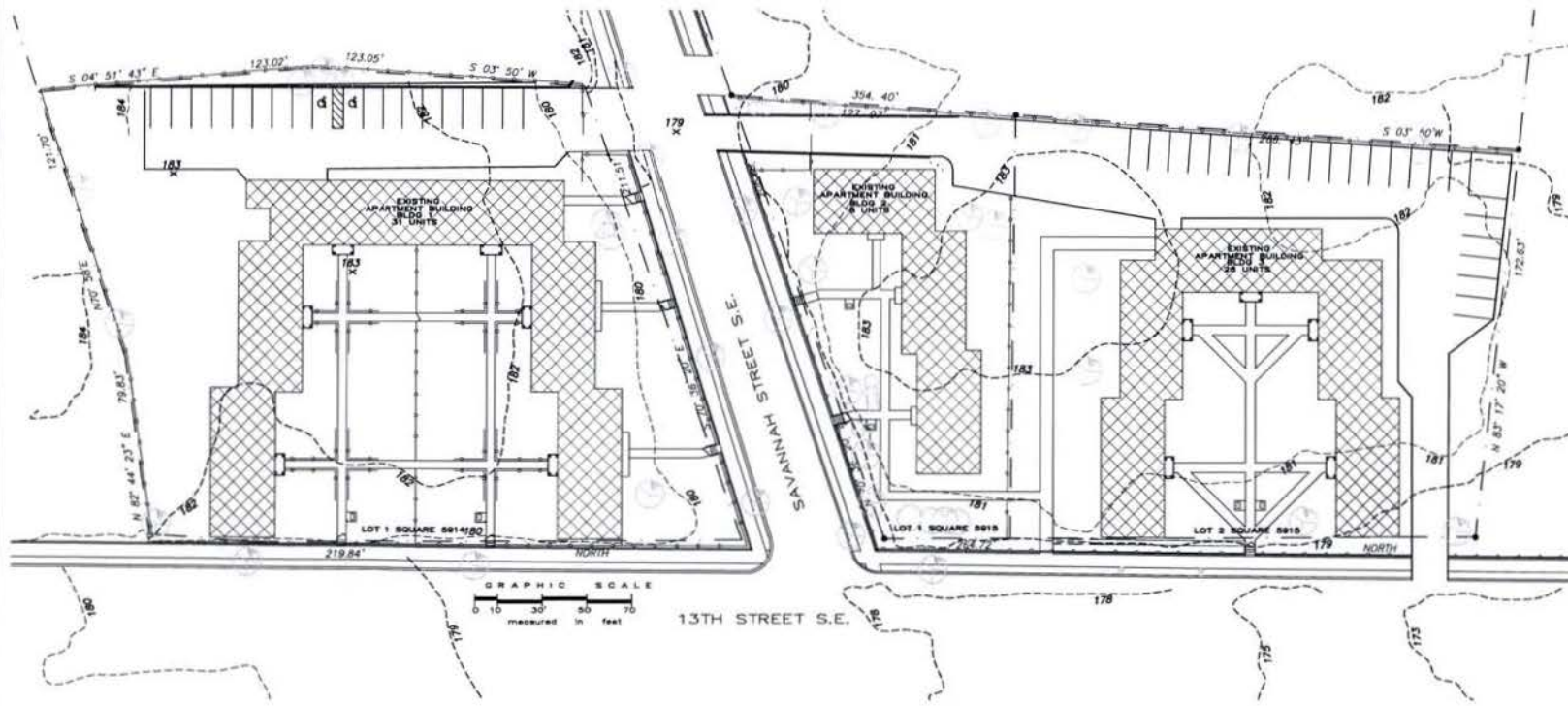
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**EXISTING
GRADING PLAN**

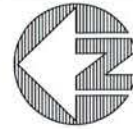
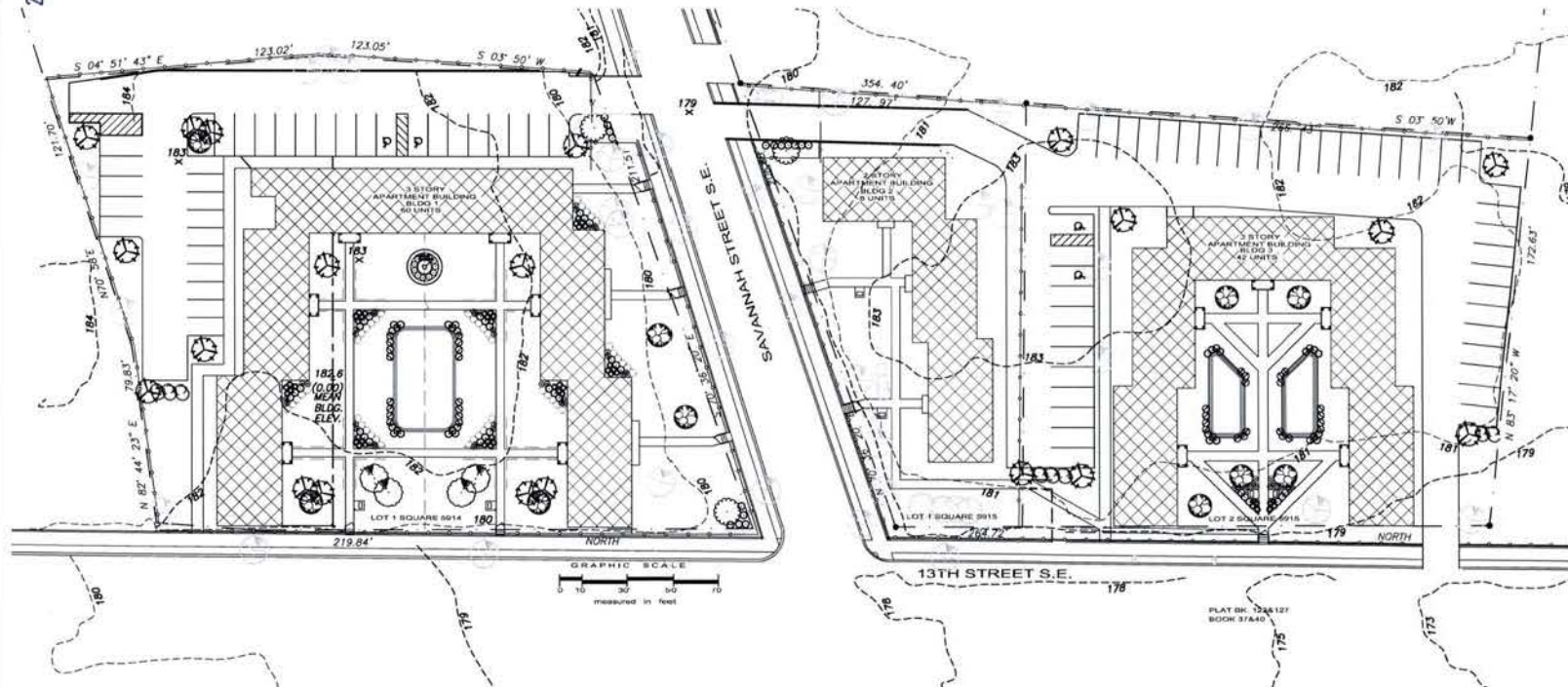
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PROPOSED
GRADING PLAN

REVISIONS

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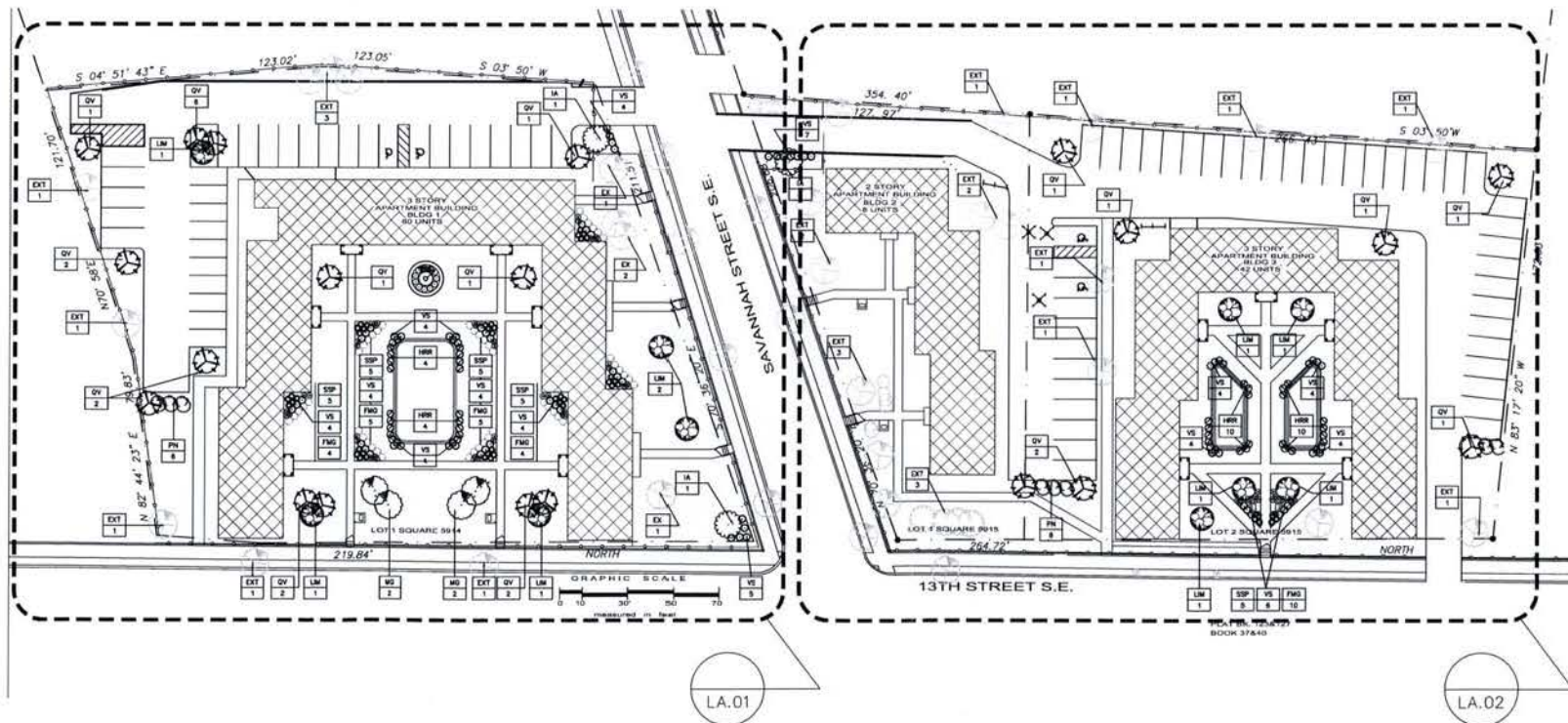
OVERALL
LANDSCAPE PLAN

REVISIONS

SCALE: NTS
DATE: 01-10-14

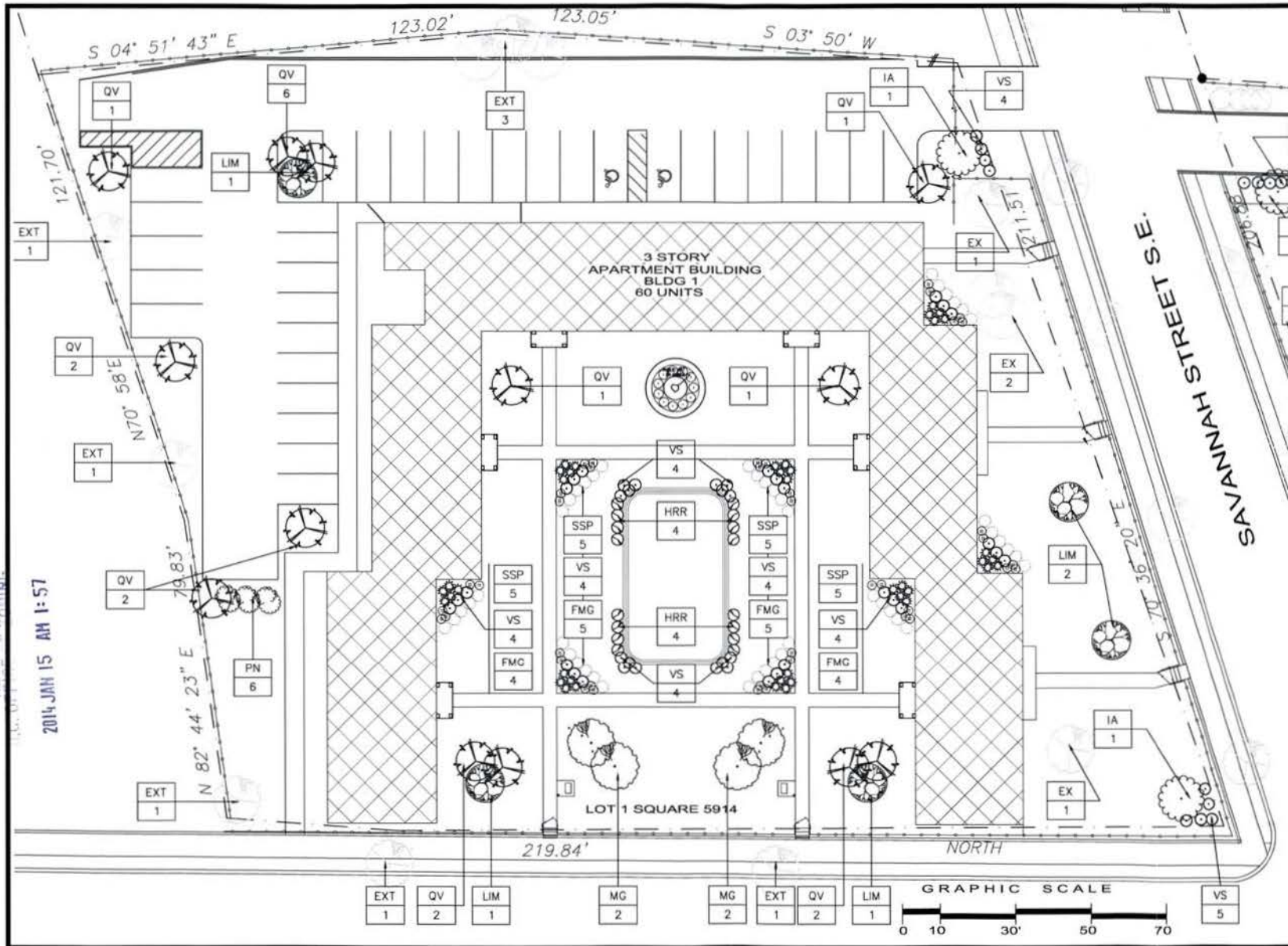
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LANDSCAPE PLAN
BUILDING 1

REVISIONS

SCALE: 1"=25'-0"

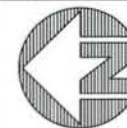
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PLANT MATERIAL

PLANT CODE	SCIENTIFIC NAME	COMMON NAME	PLANT HEIGHT	PLANT SPREAD	PLANT SPACING	NATIVE TREE	DROUGHT TOLERANT	NOTES/COMMENTS
FMG	Ficus microcarpa 'Green Island'	Green Island Ficus	14"	Full	As Shown			3 Gal.
HRR	Hibiscus rosa-sinensis 'Dbl. Red'	Rose of Sharon	24"	Full	3' O.C.		Yes	3 Gal.
IA	Ilex attenuata 'East Palatka'	American holly	12'	5'	As Shown		Yes	3" Cal. 6" above grade
LJM	Lagerstroemia indica 'Muskogee'	Crape Myrtle	8'	4'	As shown		Yes	1 1/2" Cal. 6" above grade
MG	Magnolia grandiflora	Southern Magnolia	12'	5-6'	As shown		Yes	3" Cal. 6" above grade
PN	Phyllostachys Nigra	Black Bamboo	12'	Full	As shown			30 Gal., Multi-stemmed
QV	Quercus virginiana	Live Oak	12' OAH	6'-7'	As Shown		Yes	3" Cal. 6" above grade
SSP	Spathiphyllum Spp. 'Petite'	Dwarf Peace Lily	12"	Full	As shown			1 Gal.
VS	Viburnum suspensum	Sandankwa	24"	18"	36" O.C.			3 Gal., Full

EX	EXISTING PLANT							TYP T.B.D.
----	----------------	--	--	--	--	--	--	------------

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. _____
EXHIBIT NO. _____

EXISTING TREE LEGEND



EXISTING TREE TO BE REMOVED

13TH ST. AND SAVANNAH
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LANDSCAPE PLAN
PLANT SCHEDULE

REVISIONS

SCALE: NTS

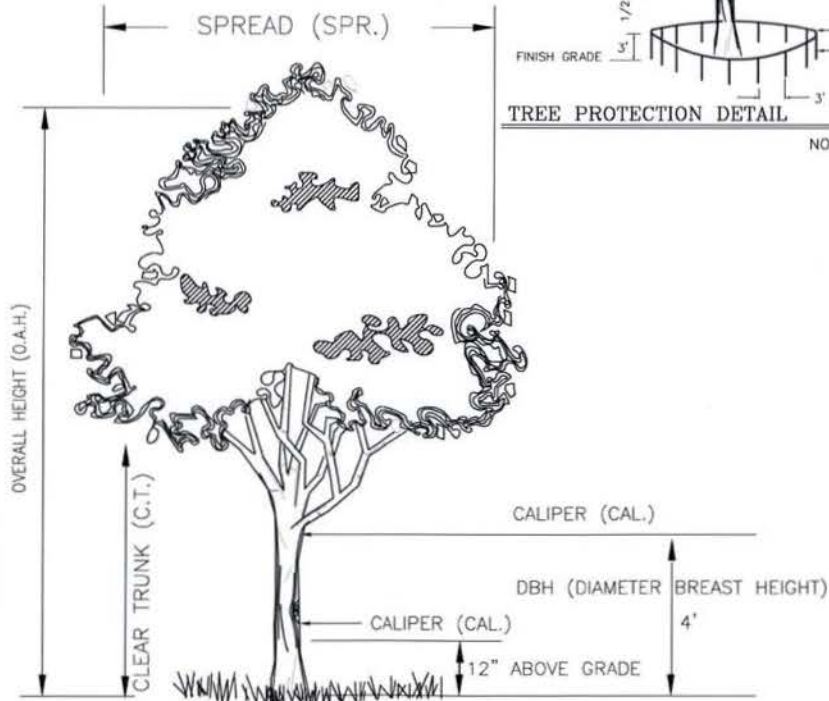
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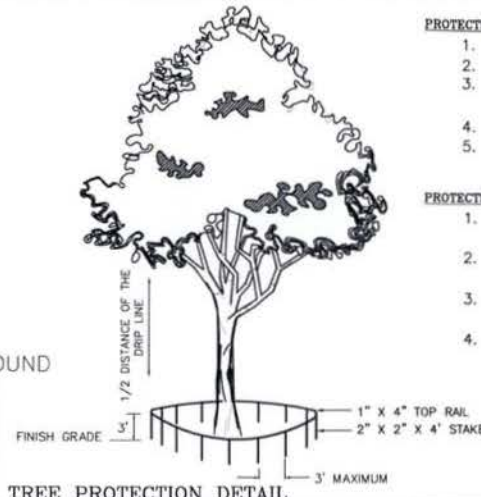
ABBREVIATION LEGEND:

B&B BALLED & BURLAPPED
OAH OVER ALL HEIGHT
SPR. SPREAD
FG FIELD GROWN
C.T. CLEAR TRUNK
CCB CLEAN CUT BOOTS
CAL. CALIPER
DBH DIAMETER BREAST HEIGHT
H.W. HARD WOOD
AG ABOVE GRADE
GAL. GALLON
CONT. CONTAINER
FGG FULL GROWTH TO THE GROUND



TREE SPECIFICATION MEASUREMENT

NO SCALE



TREE PROTECTION DETAIL

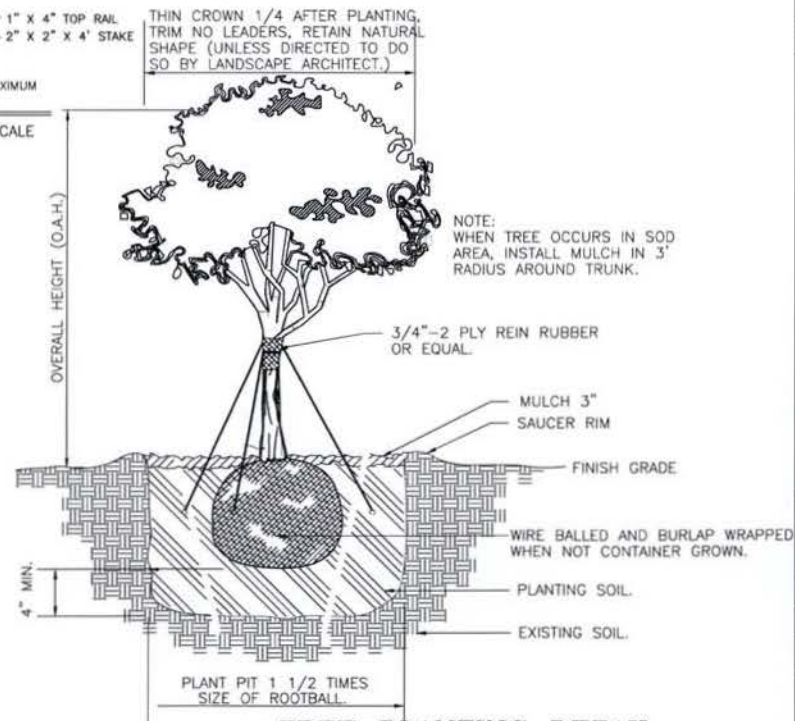
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PROTECTIVE BARRIER REQUIREMENTS

1. PROTECT ALL ABOVE GROUND PORTIONS OF TREES FROM MECHANICAL DAMAGE.
2. PROTECT SOIL NEAR TREE FROM COMPACTION.
3. PROVIDE PHYSICAL AND MENTAL AWARENESS OF THE PRESENCE OF TREES ON THE SITE TO CONSTRUCTION PERSONNEL.
4. HEAVY EQUIPMENT NOT ALLOWED INSIDE BARRIER, ONLY HAND LABOR.
5. CONSTRUCTION MATERIAL AND TEMPORARY SOIL DEPOSITS ARE NOT ALLOWED INSIDE BARRIER AREA.

PROTECTIVE BARRIER SPECIFICATIONS

1. UPRIGHTS SPACED AT 4 FT. INTERVALS OF NO LESS THAN 2" X 2" LUMBER WITH 1" X 4" TOP RAIL.
2. ALL BARRIERS TO BE ERECTED AROUND TREES TO BE PROTECTED BEFORE CONSTRUCTION OR CLEARING OF PROPERTY COMMENCES.
3. BARRIERS TO REMAIN IN PLACE UNTIL ALL PAVING, CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA.
4. BARRICADES MUST BE PLACED AT DRIPLINE OF TREE TO BE PROTECTED UNLESS OTHERWISE INDICATED.



TREE PLANTING DETAIL

NO SCALE



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LANDSCAPE PLAN
DETAILS AND NOTES

REVISIONS

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