EXHIBIT B

Board of Zoning Adjustment
District of Columbia
CASE NO.18737
EXHIBIT NO.35B

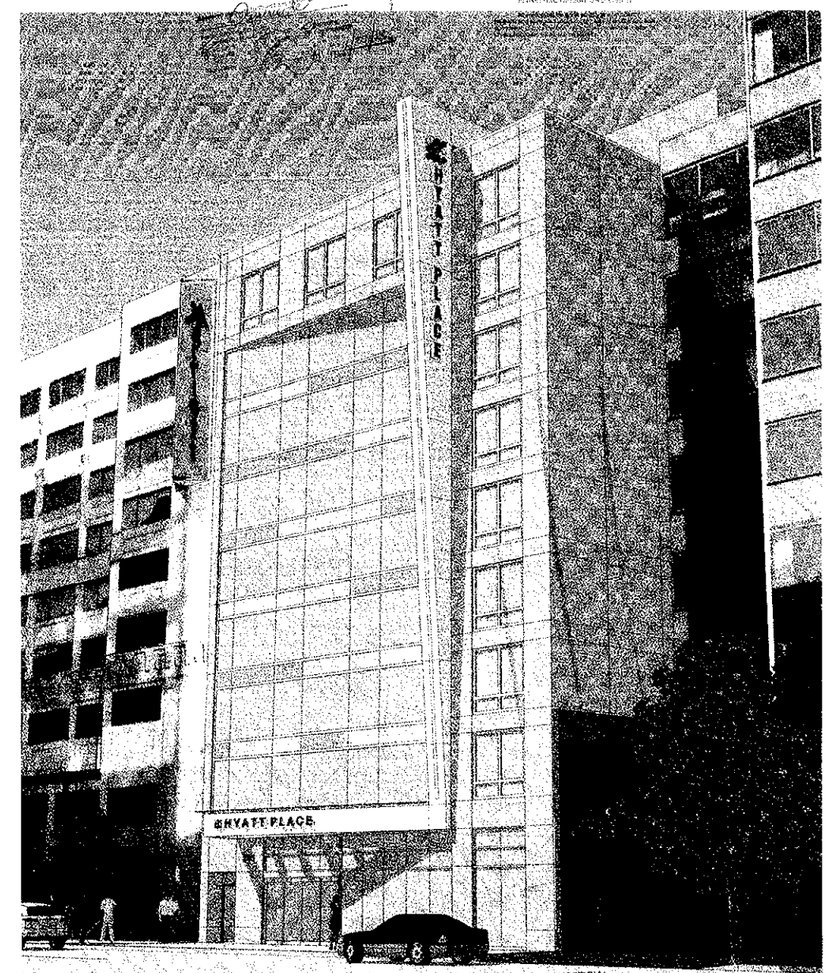
HYATT PLACE™

Hyatt Place Hotel

2121 M Street, NW
Washington, D.C. 20036

August 28, 2013

VOLUME 1



OWNER:

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CONSULTANTS

Zoning Code
2121 M ST NW

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

DESCRIPTION	DATE
FINAL TPR APPROVED	08/28/2013
ADDENDUM #6	08/06/2013
ADDENDUM #4	08/05/2013
ADDENDUM #3	08/02/2013
ADDENDUM #1	07/26/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	08/04/2013
50%CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/25/2013
50% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013

PROJECT NO. 12003

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SHEET TITLE
COVER SHEET
VOLUME 1

G001

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JNA

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DISTRICT OF COLUMBIA — REGISTERED ARCHITECT

Hyatt Place Hotel
2121 M Street, NW
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ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50%CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013
DESCRIPTION	DATE

PROJECT NO. 12069

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SHEET TITLE
SHEET INDEX

G003

FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
WASHINGTON, D.C 20001

SITE TABULATIONS

9 STORY BUILDING
2 LEVELS OF UNDERGROUND PARKING
9 LEVELS OF ABOVE GROUND FLOORS
1 PENTHOUSE LEVEL
168 GUESTROOMS

ZONING TABULATIONS

ZONING DISTRICT:	CR (COMMERCIAL RESIDENTIAL)
OVERLAY:	DC (DUPONT CIRCLE)
WARD:	WARD 2
MAXIMUM ALLOWABLE BUILDING HEIGHT*: *EXCLUDING PENTHOUSE.	90.00' FEET
ACTUAL BUILDING HEIGHT:	89.384'
MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR):	6.0
MAXIMUM ALLOWABLE NON-RESIDENTIAL FAR:	3.0
MAXIMUM ALLOWABLE GROSS FLOOR AREA:	UNLIMITED
ACTUAL GROSS FLOOR AREA	TOTAL BUILDING AREA = 120,597 SF

PARKING TABULATIONS

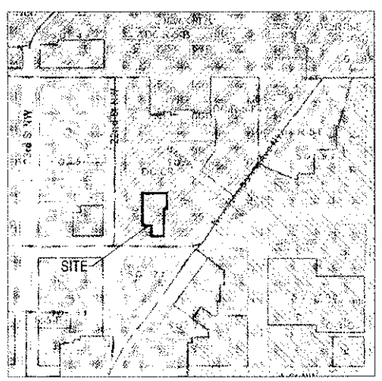
PARKING SPACES REQUIRED:	1 PER 4 ROOMS USABLE FOR SLEEPING PLUS 1/300FT² OF FLOOR AREA IN LARGEST FUNCTION ROOM OR LARGEST EXHIBIT SPACE, WHICHEVER IS GREATER 168 ROOMS/4 + 1710 SF/300 = 48 SPACES NOTE: 34 SPACE ARE AVAILABLE IN THE HP
PARKING SPACES PROVIDED:	48 SPACES 34 SPACES IN PROPOSED GARAGE *(14 SPACES LOCATED IN MARRIOTT GARAGE)
ADA SPACES REQUIRED:	2% = 1 SPACE
ADA SPACES PROVIDED:	2 SPACES (1 CAR AND 1 VAN)
BIKE SPACES REQUIRED:	5% OF PARKING SPACES = 2.1 => 3
BIKE SPACES PROVIDED	8
LOADING SPACES REQUIRED	1 SPACE
LOADING SPACES PROVIDED:	1 SPACE LOCATED IN ALLEY

APPLICABLE BUILDING CODES

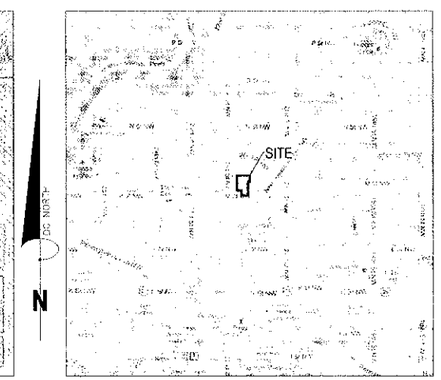
PRIMARY USE GROUP:	RESIDENTIAL R-1/HOTEL (TRANSIENT)
ACCESSORY USE GROUP:	B/A-2/A-3 NON SEPARATED USES
CONSTRUCTION TYPE:	TYPE I B, FULLY SPRINKLERED

APPLICABLE CODES:

- 2006 INTERNATIONAL BUILDING CODE (INCLUDING ICC/ANSI A117.1-2003)
- 2006 INTERNATIONAL PLUMBING CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2006 INTERNATIONAL FUEL GAS CODE
- 2006 INTERNATIONAL ENERGY CONSERVATION CODE
- 2006 INTERNATIONAL FIRE PREVENTION CODE
- 2005 NFPA NATIONAL ELECTRICAL CODE
- DC LAW 8-36 DISTRICT OF COLUMBIA ENVIRONMENTAL POLICY ACT OF 1989
- DCMR 12 BUILDING CODE REGULATIONS (2008)
- DCMR TITLE 11 – ZONING REGULATIONS
- GREEN BUILDING ACT OF 2006
- NFPA-72/2013 FIRE ALARM CODE
- NFPA-13-2013 SPRINKLER CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN



ZONING MAP
SCALE: 1"=250'
THIS ZONING MAP HAS BEEN CREATED USING THE DC ZONING MAP FROM THE DC OFFICE OF ZONING WEBSITE.



VICINITY MAP
SCALE: 1"=500'
THIS VICINITY MAP HAS BEEN CREATED USING AERIAL IMAGERY FROM GOOGLE MAPS. ALL MAP IMAGERY IS COPYRIGHTED BY GOOGLE.

SHEET INDEX

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C4.00	DEMOLITION AND TEST PIT LOCATION PLAN
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C5.10	GEOMETRIC LAYOUT PLAN AND LANDSCAPE DETAILS
C5.20	UTILITY PLAN
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C8.40	DC WATER MISCELLANEOUS CORRESPONDANCE
C9.00	SITE DETAILS

(TOTAL SHEETS=21)

OWNER

RENAISSANCE CENTRO
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BETHESDA, MARYLAND 20814
301-215-7997
CONTACT: ILAN SCHARFSTEIN

CIVIL ENGINEER

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703-548-2188
CONTACT: MICHAEL SZYNAL, P.E.

SITE SURVEYOR

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PROJECT NARRATIVE

THIS PROJECT IS FOR THE CONSTRUCTION OF A 9 STORY HOTEL ADDITION WITH 2 LEVELS OF UNDERGROUND PARKING. A NEW 4" DOMESTIC WATER, A 6" FIRE SERVICE, APPROXIMATELY 203' OF 8" WATER MAIN, A 12" STORM DRAIN CONNECTION AND AN 8" SANITARY SEWER CONNECTION WILL ALSO BE CONSTRUCTED AS PART OF THIS DEVELOPMENT.

NOTE

ALL SITE PLANS AND LANDSCAPE PLANS ARE SUBJECT TO REVISION. THE DEVELOPER RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE, IN ELEVATIONS, DIMENSIONS, CONTOURS, ETC., INCLUDING THE SIZE, LOCATION, CREATION, OR ELIMINATION OF ANY PATIO, DECK, RETAINING WALL, OR OTHER LOT FEATURES. WHEN REQUIRED, APPROVAL OF ANY REVISION TO SITE AND LANDSCAPE PLANS WILL BE OBTAINED FROM THE APPROPRIATE LOCAL JURISDICTION.

JN+A

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COVER SHEET
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880
WASHINGTON DISTRICT OF COLUMBIA

REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF VIRGINIA
No. 029273

PLAN STATUS	
02/01/2013	30% DD SET
02/04/2013	1st SUBMISSION TO DDOE
03/08/2013	90% DD SET
03/15/2013	2ND SUBMISSION TO DC WATER
04/22/2013	50% CD SET
05/30/2013	SCHAFFGOOK SUBMITTAL
06/04/2013	ISSUED FOR REVIEW
06/11/2013	2ND SUBMISSION TO DDOE
07/17/2013	100% CD SET
08/28/2013	ISSUE FOR APPROVAL
DATE	DESCRIPTION

JBW	JBW	MWS
DESIGN	DRAWN	CHKD

SCALE: H: AS SHOWN V:
JOB No. 6963-01-001
DATE: JANUARY 14, 2013
FILE No. 6963-0-CP-001
SHEET C1.00

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

DESCRIPTION	DATE
FINAL SITE APPROVAL	08/28/2013
ISSUED FOR PERMIT	09/04/2013
FOR CONSTRUCTION DOCUMENTS	09/27/2013
100% DESIGN DEVELOPMENT	03/06/2013
50% DESIGN DEVELOPMENT	07/17/2013
100% SCHEMATIC DESIGN	05/06/2013

PROJECT NO 12059

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SHEET TITLE

COVER SHEET

C1.00

JNA

GENERAL NOTES

1. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF REQUIRED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUSHES, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAPPING EXISTING UTILITIES TO BE DISCONNECTED.
5. THE CONTRACTOR SHALL PROVIDE COMPACTED GRADING TO FASHION EXISTING DRAINAGE AND PREVENT PONDING OF WATER.
6. ALL AREAS, ON OR OFF SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY.
7. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
8. EXISTING UNDERGROUND UTILITIES SHALL BE REMOVED TO NEAREST ACCEPTABLE CONSTRUCTION JOINT. NEW UNDERGROUND CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREAS SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION DUE TO THE SATISFACTION OF THE CITY.
9. DAMAGE TO ANY EXISTING PAVEMENTS, CURBS AND GUTTERS, SIDEWALKS OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED TO THE SATISFACTION OF THE DEPARTMENT OF TRANSPORTATION AND ANY ADJACENT OWNERS THAT MAY BE AFFECTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB AND SIDEWALKS, IF APPLICABLE.
11. THE DESIGN, CONSTRUCTION, FIELD PRACTICES AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
12. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR OR OWNER/DEVELOPER ON THEIR RESPECTIVE AGENTS OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED.
13. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR.
14. NO EVIDENCE OF GRAVES OR BURIAL SITES HAS BEEN FOUND ON THIS PROPERTY.
15. ALL EARTHWORK, CONCRETE AND ASPHALT OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONTEMPORARY SPECIFICATIONS AND SOILS REPORT REQUIREMENTS.
16. ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT OF WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS.
17. CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES WITHOUT A RECORDED EASEMENT OR NOTARIZED LETTER OF PERMISSION FROM THE ADJACENT PROPERTY OWNERS.
18. THE PROPERTY ADDRESS MUST BE CLEARLY MARKED IN THE FRONT AND BACK OF THE PROPOSED DEVELOPMENT SITE DURING CONSTRUCTION IN CONTRASTING COLORS FOR EASY IDENTIFICATION FOR EMERGENCY RESPONDER PURPOSES.
19. ANY EXISTING CURBS, GUTTERS OR ROADWAY SURFACE THAT IS DAMAGED OR REMOVED FOR CONSTRUCTION OF UNDERGROUND FEATURES MUST BE REPLACED WITH THE SAME MATERIAL AS CURRENTLY EXISTS OR MUST BE REPLACED WITH CURVED CURB, OR CURB IN CONCRETE STREET MUST HAVE CONCRETE INSTALLED.
20. ALL MANHOLE RIMS TO BE ADJUSTED/RECONSTRUCTED AS NECESSARY TO PROPOSED ELEVATIONS.
21. CONTRACTOR SHALL MATCH EXISTING PAVEMENT WHERE PROPOSED PAVEMENT MEETS EXISTING.
22. EVERY EFFORT SHALL BE MADE TO ENSURE THAT EXISTING GRANITE CURB IS NOT DAMAGED DURING CONSTRUCTION. ANY GRANITE CURB THAT IS DAMAGED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING GRANITE CURB AND BRICK GUTTER THAT IS TO BE REMOVED DURING CONSTRUCTION SHALL BE STORED FOR REUSE ON SITE.
23. CONTRACTOR SHALL TAKE EXTREME CAUTION DURING EXCAVATION CUT TO CLOSE PROXIMITY OF EXISTING BUILDINGS AROUND THE SITE AS WELL AS EXISTING UTILITIES IN BOTH THE ALLEY AND ALONG W STREET, NW.
24. TEMPORARY SHORT DURATION UTILITY OUTAGES DURING THE CONSTRUCTION PROCESS IT CAN BE EXPECTED THAT THERE WILL BE TEMPORARY SHORT DURATION UTILITY OUTAGES TO INCLUDE BUT NOT LIMITED TO: WATER, ELECTRIC, GAS, AND TELEPHONE. SHORT OUTAGES TO BE COORDINATED WITH ADJACENT AFFECTED PROPERTY OWNERS AT LEAST 48 HOURS IN ADVANCE.
25. CONSTRUCTION TRAFFIC AND LANE CLOSURES: DURING THE CONSTRUCTION PROCESS IT CAN BE EXPECTED THAT THERE WILL BE TEMPORARY SHORT DURATION LANE CLOSURES ON AND AROUND THE PROPERTY ON M STREET, 22ND STREET, WARD PLACE, AND WARD ALLEY. IT CAN ALSO BE EXPECTED THAT THERE WILL BE LONG TERM PARKING LANE CLOSURES ON M STREET IN AND AROUND THE PROPERTY AND LONG TERM CONGESTION TRAFFIC THROUGHOUT THE DURATION OF THE PROJECT.

STORM/SANITARY SEWER TABLE

LEGEND

	EXISTING CURB
CONC	CONCRETE
(W)	WALKWAY
(R)	RECESSED
LFL	LOWER FLOOR LEVEL
FF	FOOT OF WALL
BLDG.	BUILDING
COR	CORNER
OPP	OPP PROPERTY
OP	OP PROPERTY

NOTES

TREE TABLE

BENCHMARKS

#1: NAIL SET IN SIDEWALK ELEVATION = 56.56

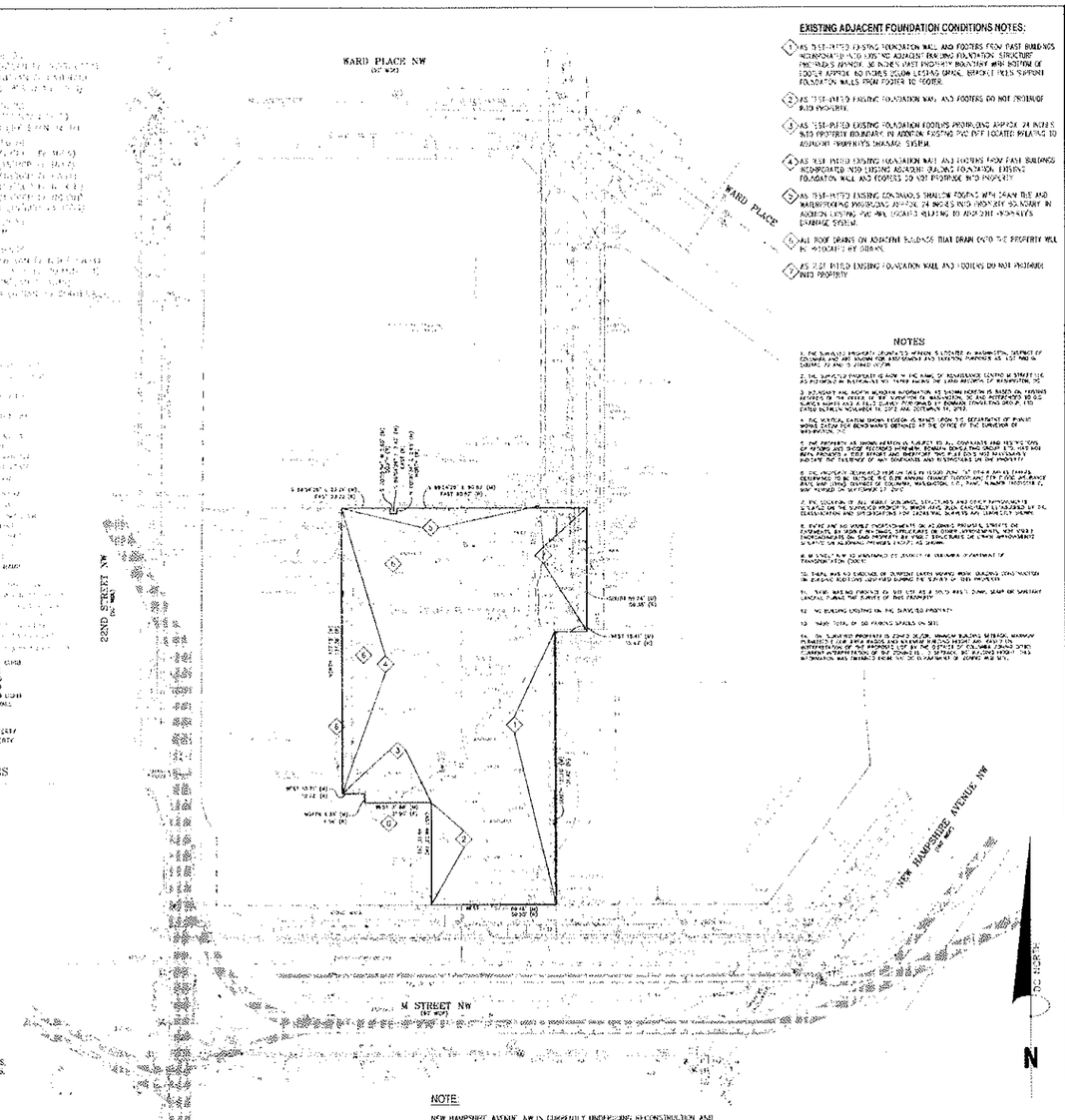
#2: CROSSCUT ELEVATION = 59.85

#3: NAIL SET ELEVATION = 54.80

#4: CROSSCUT IN SIDEWALK ELEVATION = 61.50

ENVIRONMENTAL SITE ASSESSMENT

TO THE KNOWLEDGE OF THE ENGINEER THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, PERENNIAL STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, ISOLATED PROPERTY BY WAVE AND SOILS OR OTHER AREAS ASSOCIATED WITH STREAMS, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, AT THIS TIME THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.



NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW FROM VIRGINIA AVENUE TO EXPANT CIRCLE" AND PREPARED BY SKELLADA ASSOCIATES. EXISTING CONDITIONS ARE EXPECTED TO CHANGE. AT TIME OF CONSTRUCTION ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, M STREET, NW IS PROPOSED TO HAVE THE ADDITION OF A BIKE LANE ALONG PROJECT FRONTAGE. BIKE LANE CONSTRUCTION TIMING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION.

GRAPHIC SCALE

25 0 12.5 25 50 100

(IN FEET)
1 inch = 25 ft.

EXISTING ADJACENT FOUNDATION CONDITIONS NOTES:

1. AS TEST-PITTED EXISTING FOUNDATION WALL AND FOOTERS FROM EAST BUILDINGS INCORPORATED INTO EXISTING ADJACENT BUILDING FOUNDATION. STRUCTURE PROTRUDES APPROX. 30 INCHES PAST PROPERTY BOUNDARY WITH BOTTOM OF FOOTER APPROX. 60 INCHES BELOW EXISTING GRADE. REFER TO TEST-TEMPORARY FOUNDATION WALLS FROM FOOTER TO FOOTER.
2. AS TEST-PITTED EXISTING FOUNDATION WALL AND FOOTERS DO NOT PROTRUDE INTO PROPERTY.
3. AS TEST-PITTED EXISTING FOUNDATION FOOTERS PROTRUDING APPROX. 24 INCHES INTO PROPERTY BOUNDARY. IN ADDITION EXISTING PVC PIPE LOCATED RELATING TO ADJACENT PROPERTY'S DRAINAGE SYSTEM.
4. AS TEST-PITTED EXISTING FOUNDATION WALL AND FOOTERS FROM EAST BUILDINGS INCORPORATED INTO EXISTING ADJACENT BUILDING FOUNDATION. EXISTING FOUNDATION WALL AND FOOTERS DO NOT PROTRUDE INTO PROPERTY.
5. AS TEST-PITTED EXISTING CONTINUOUS SHALLOW FOOTING WITH DRAIN TILE AND WATERPROOFING PROTRUDING APPROX. 24 INCHES INTO PROPERTY BOUNDARY. IN ADDITION EXISTING PVC PIPE LOCATED RELATING TO ADJACENT PROPERTY'S DRAINAGE SYSTEM.
6. ALL ROOF DRAINS ON ADJACENT BUILDINGS THAT DRAIN ONTO THE PROPERTY WILL BE RELOCATED BY OTHERS.
7. AS TEST-PITTED EXISTING FOUNDATION WALL AND FOOTERS DO NOT PROTRUDE INTO PROPERTY.

NOTES

1. THE SUBJECT PROPERTY LOCATED AT 2121 M STREET IN WASHINGTON, DISTRICT OF COLUMBIA, AND AS SHOWN FOR AND OWNED BY THE PLANNING PARTNER AS LOT 880 IN SQUARE 72 AND IS CURRENTLY VACANT.
2. THE SUBJECT PROPERTY IS KNOWN AS THE HYATT PLACE HOTEL IN SQUARE 72 AS PROPOSED IN SUBDIVISION NO. 17-19 AND THE LAND AREA OF 19,999 SQ. FT.
3. BOUNDARY AND NORTH MERIDIAN INFORMATION AS SHOWN HEREON IS BASED ON FIELDING DATA BY THE SURVEY OF THE WASHINGTON, DC AND REFERENCED TO DC SURVEY NORTH AND A FIELD SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, LTD. DATED BETWEEN NOVEMBER 19, 2012 AND OCTOBER 19, 2013.
4. THE VERTICAL DATUM SHOWN HEREON IS BASED FROM THE DEPARTMENT OF PUBLIC WORKS DATUM FOR BENCHMARKS OBTAINED AT THE OFFICE OF THE SURVEYOR OF WASHINGTON, DC.
5. THE PROPERTY AS SHOWN HEREON IS SUBJECT TO ALL COVENANTS AND RESTRICTIONS OF RECORD AND TITLE REFERENCED IN THE COMMITMENT FOR TITLE INSURANCE NO. 1-0-0-0

CROSS SECTION NOTES:

1. CROSS SECTIONS ARE PROVIDED BASED EXISTING CONDITIONS TAKEN FROM A DETAILED SURVEY BY BCC ON __/__/__. CONTRACTOR IS REQUIRED TO FIELD VERIFY EXISTING GRADES OF ALL TOP OF CURB ELEVATIONS IN CLOSE PROXIMITY TO THE PROJECT AREA AND ANY PROPOSED ROADWAYS. ANY DISCREPANCIES WITH THE DESIGN ELEVATIONS MUST BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD

2. CROSS SECTIONS THAT INCLUDE STAIR SYSTEMS; SHOPS; RAMPS; LANDINGS AND OTHER SYSTEMS ATTACHED TO THE BUILDING SHALL BE VERIFIED AND CONFIRMED BY THE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND APPROPRIATE DESIGN TEAM MEMBERS DURING CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE OWNER AND ENGINEER OF RECORD.

3. IF DURING CONSTRUCTION ANY EXISTING CURB IS DAMAGED, REMOVED AND REPLACED, THE CONTRACTOR SHALL VERIFY AND CONFIRM THAT THE HORIZONTAL AND VERTICAL LOCATIONS OF THE NEW CURB MATCH THE PREVIOUS LOCATIONS OF THE CURB. ANY DISCREPANCIES WITH THE DESIGN LOCATIONS AND ELEVATIONS MUST BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD.

4. THE ARCHITECT SHALL CONFIRM THE PROPOSED DOOR LOCATIONS AND THE VERTICAL RELATIONSHIPS AND ELEVATIONS OF THE FLOORS FOR THE DOORWAYS OR ARCADWAYS.

5. PRIOR TO POURING CONCRETE FOR THE LOWEST FLOOR OF THE PROPOSED STRUCTURE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOWEST FLOOR ELEVATIONS OF THE BASEMENT OR PARKING STRUCTURE AND CONFIRMING THE RELATIONSHIP WITH THE EXISTING AND/OR PROPOSED CURBS THAT ARE ADJACENT TO AND DIRECTLY ABUT THE PROPOSED BUILDING. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD.

6. THE CONTRACTOR MAY BE REQUIRED TO MILL AND OVERLAY EXISTING ADJOINING STREETS AND ROADWAYS. THE CONTRACTOR SHALL BE AWARE THAT ANY REPLACEMENT OF EXISTING CURB AND GUTTER MAY REQUIRE "MILLING AND OVERLAYING" OF A PORTION OF THE ROADWAY, IN ORDER TO REPAIR AND REPLACE THE CURBING, AND PROVIDE A GOOD WORKABLE FINISH. SPECIFIC REQUIREMENTS (MILLING AND DEPTH) SHALL BE SUBJECT TO THE CITY INSPECTIONS AND MAY VARY BASED UPON LOCATION.

7. THE CONTRACTOR SHALL PROVIDE OVERLAND RELIEF FROM ALL BUILDINGS AND ENSURE POSITIVE DRAINAGE INTO THE EXISTING CURB, GUTTER AND CONVEYANCE SYSTEMS LOCATED ADJACENT AND ADJOINING THE SITE.

PROJECT NARRATIVE

THIS PROJECT IS FOR THE CONSTRUCTION OF A 9 STORY HOTEL ADDITION WITH 2 LEVELS OF UNDERGROUND PARKING. A NEW 4" DOMESTIC WATER, A 6" FIRE SERVICE, APPROXIMATELY 203' OF 8" WATER MAIN, A 12" STORM DRAIN CONNECTION AND AN 8" SANITARY SEWER CONNECTION WILL ALSO BE CONSTRUCTED AS PART OF THIS DEVELOPMENT

GENERAL NOTES

1. THIS PROPOSED PLAN INDICATES THAT THE EXISTING 24" DIAMETER TREE ALONG M STREET, NW SHALL BE REMOVED AND NOT REPLACED. THIS IS SUBJECT TO REVIEW OF THE CITY ARBORIST.

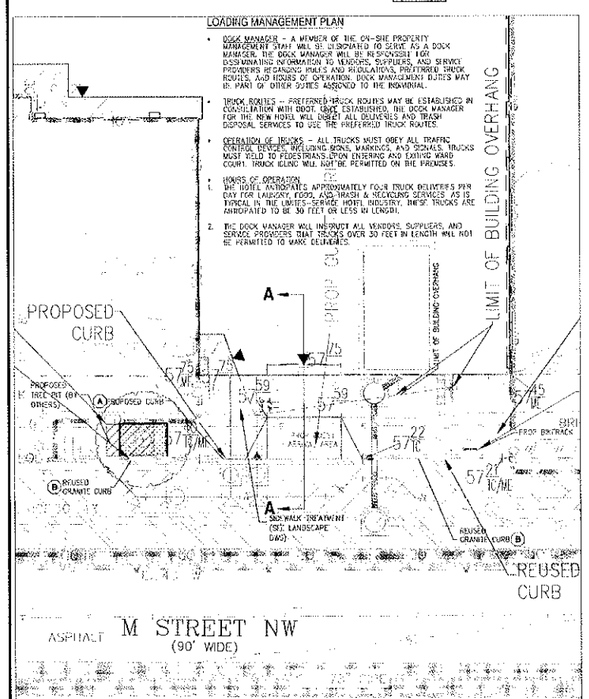
2. NOTIFICATION SHALL BE REQUIRED TO ADJOINING OWNERS FOR CONSTRUCTION DEPENDING ON THE TYPE AND EXTENT OF THEIR ENCROACHMENT (FOOTINGS, FOOTING DRAINS, FOUNDATIONS, OTHER ENCROACHMENTS, ETC.). THE OWNER/DEVELOPER MAY CONSIDER PERFORMING INTERIOR AND EXTERIOR SURVEYS AND ASSESSMENTS TO INSURE THAT NO DAMAGE OCCURS DURING CONSTRUCTION.

LEGEND

- LIMITS OF COVERED PEDESTRIAN ACCESS BETWEEN BUILDINGS
- LIMITS OF PROPOSED PAVEMENT RESTORATION PER DDOT 215.01
- LIMITS OF PROPOSED PCC ALLEY PER DDOT 503.01
- LIMITS OF PROPOSED SIDEWALK SECTIONS PER DDOT 608.01
- LIMITS OF PROPOSED MILL AND OVERLAY PAVEMENT
- NO PARKING STRIPING (4"YELLOW DIAGONAL LINE SPACED 10FT)

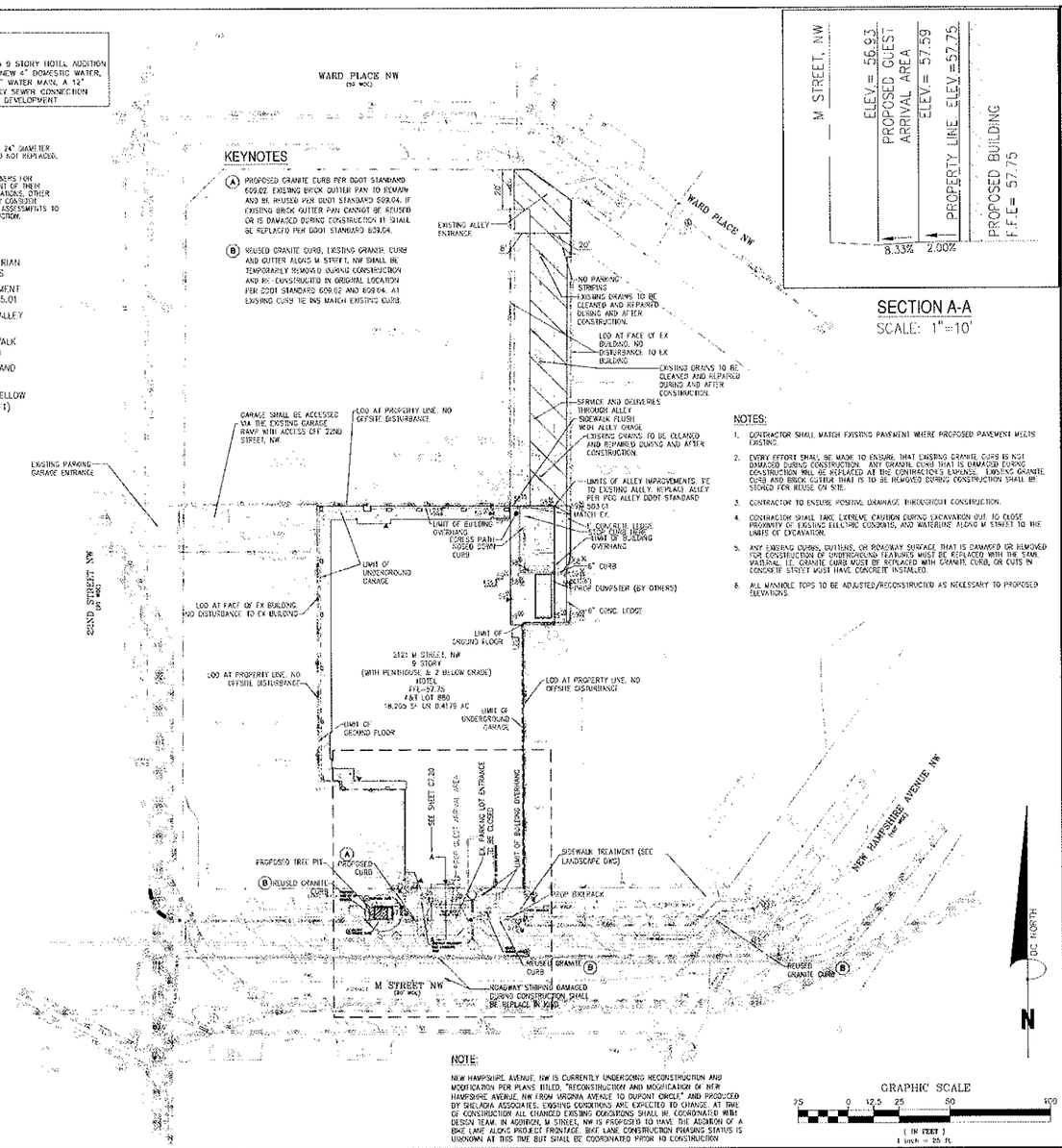
LOADING MANAGEMENT PLAN

- DOCK MANAGER – A MEMBER OF THE ON-SITE PROPERTY MANAGEMENT STAFF WILL BE DESIGNATED TO SERVE AS A DOCK MANAGER. THE DOCK MANAGER WILL BE RESPONSIBLE FOR DISSEMINATING INFORMATION TO VENDORS, SUPPLIERS, AND SERVICE PROVIDERS REGARDING HOURS AND REGULATIONS, PREFERRED TRUCK ROUTES, AND HOURS OF OPERATION. DOCK MANAGEMENT DUTIES MAY BE PART OF OTHER DUTIES ASSIGNED TO THE INDIVIDUAL.
- TRUCK ROUTES – PREFERRED TRUCK ROUTES MAY BE ESTABLISHED IN CONSULTATION WITH DDOT. ONCE ESTABLISHED, THE DOCK MANAGER FOR THE NEW HOTEL WILL DIRECT ALL DELIVERIES AND TRASH DISPOSAL SERVICES TO USE THE PREFERRED TRUCK ROUTES.
- OPERATION OF TRUCKS – ALL TRUCKS MUST OBEY ALL TRAFFIC CONTROL DEVICES INCLUDING SIGNS, MARKINGS, AND SIGNALS. TRUCKS MUST YIELD TO PEDESTRIANS UPON ENTERING AND EXITING WARD COURT. TRUCK IDLING WILL NOT BE PERMITTED ON THE PREMISES.
- HOURS OF OPERATION – THE HOTEL ANTICIPATES APPROXIMATELY FOUR TRUCK DELIVERIES PER DAY FOR LAUNDRY, FOOD, AND TRASH & RECYCLING SERVICES. AS IS TYPICAL IN THE LIMITED-SERVICE HOTEL INDUSTRY, THESE TRUCKS ARE ANTICIPATED TO BE 30 FEET OR LESS IN LENGTH.
2. THE DOCK MANAGER WILL INSTRUCT ALL VENDORS, SUPPLIERS, AND SERVICE PROVIDERS THAT TRUCKS OVER 30 FEET IN LENGTH WILL NOT BE PERMITTED TO MAKE DELIVERIES.



M STREET, NW FRONTAGE DETAIL

SCALE: 1"=10'



KEYNOTES

(A) PROPOSED GRANITE CURB PER DDOT STANDARD 609.02. EXISTING BRICK GUTTER PAN TO REMAIN AND BE REUSED PER DDOT STANDARD 609.04. IF EXISTING BRICK GUTTER PAN CANNOT BE REUSED OR IS DAMAGED DURING CONSTRUCTION IT SHALL BE REPLACED PER DDOT STANDARD 609.04.

(B) REUSED GRANITE CURB. EXISTING GRANITE CURB AND GUTTER ALONG M STREET, NW SHALL BE TEMPORARILY REMOVED DURING CONSTRUCTION AND RE-CONSTRUCTED IN ORIGINAL LOCATION PER DDOT STANDARD 609.02 AND 609.04. AT EXISTING CURB TIE INS MATCH EXISTING CURB.

SECTION A-A

SCALE: 1"=10'

NOTES:

1. CONTRACTOR SHALL MATCH EXISTING PAVEMENT WHERE PROPOSED PAVEMENT MEETS EXISTING.
2. EVERY EFFORT SHALL BE MADE TO ENSURE THAT EXISTING GRANITE CURB IS NOT DAMAGED DURING CONSTRUCTION. ANY GRANITE CURB THAT IS DAMAGED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING GRANITE CURB AND BRICK GUTTER THAT IS TO BE REMOVED DURING CONSTRUCTION SHALL BE STORED FOR REUSE ON SITE.
3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL TAKE EXTREME CAUTION DURING EXCAVATION OUT TO CLOSE PROXIMITY OF EXISTING ELECTRIC CONDUITS, AND WATERLINE ALONG M STREET TO THE LIMITS OF EXCAVATION.
5. ANY EXISTING CURBS, GUTTERS, OR ROADWAY SURFACE THAT IS DAMAGED OR REMOVED FOR CONSTRUCTION OF UNDERGROUND CLEARANCE MUST BE REPLACED WITH THE SAME MATERIAL, I.E. GRANITE CURBS MUST BE REPLACED WITH GRANITE CURB, OR CUTS IN CONCRETE STREET MUST HAVE CONCRETE INSTALLED.
6. ALL MANHOLE TOPS TO BE ADJUSTED/RECONSTRUCTED AS NECESSARY TO PROPOSED ELEVATIONS.

NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW (FROM VIRGINIA AVENUE TO DUPONT CIRCLE) AND PREPARED BY GREENHORN ASSOCIATES. EXISTING CONDITIONS ARE EXPECTED TO CHANGE. AT TIME OF CONSTRUCTION ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, M STREET, NW IS PROPOSED TO HAVE THE ADDITION OF A BIKE LANE ALONG PROJECT FRONTAGE. BIKE LANE CONSTRUCTION PHASING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION

GRAPHIC SCALE

25 0 12.5 25 50 100

(IN FEET)
1 inch = 25 ft.

JNA

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DETAILED SITE PLAN
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880
WASHINGTON DISTRICT OF COLUMBIA

DISTRICT OF COLUMBIA
JONATHAN W. WEIMER
No. PE052270
3-8-13
PROFESSIONAL ENGINEER

PLAN STATUS

DATE	DESCRIPTION
02/08/2013	SITE CD SET
02/04/2013	BZA SUBMISSION TO DDOT
03/06/2013	SITE CD SET
03/15/2013	BZA SUBMISSION TO DC WATER
04/22/2013	SITE CD SET
05/10/2013	DCWATER/DDOT SUBMITTAL
06/04/2013	ISSUED FOR REVIEW
06/11/2013	2ND SUBMISSION TO DDOT
07/17/2013	TOOK CD SET
08/28/2013	FINAL SITE APPROVED

DATE	DESCRIPTION
FINAL SITE APPROVED	08/28/2013
ISSUED FOR PERMIT	09/06/2013
SITE CONSTRUCTION DOCUMENTS	09/22/2013
SITE DESIGN DEVELOPMENT	09/06/2013
SITE DESIGN DEVELOPMENT	07/01/2013
FIRST SUBMITTAL TO DDOT	06/04/2013

DESIGN	DRAWN	CHKD
JBW	JBW	MWS

SCALE: H: 1"=25' V: ___

JOB No. 6963-01-001

DATE: JANUARY 14, 2013

FILE No. 6963-D-CP-001

SHEET C5.00

PROJECT NO 12069

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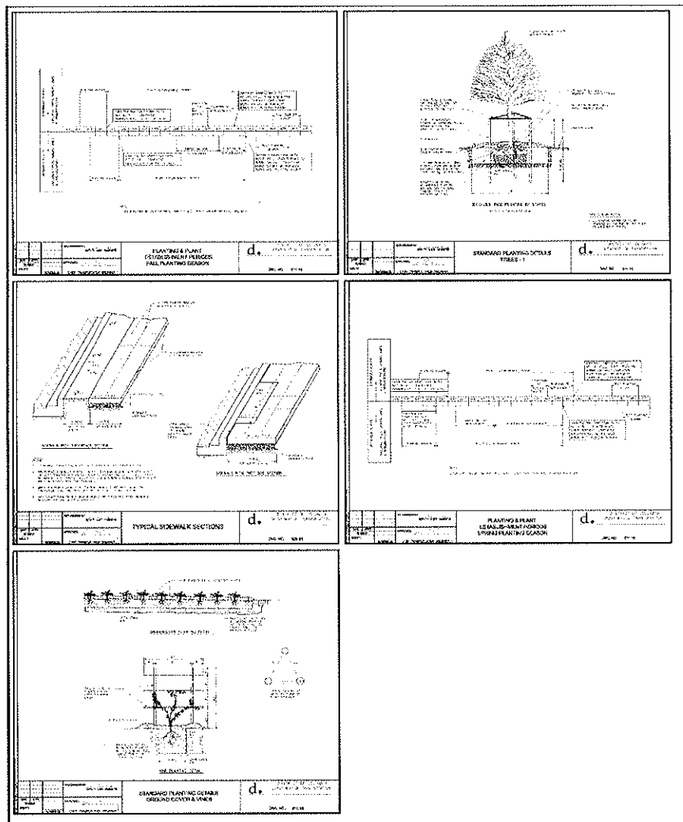
SHEET TITLE

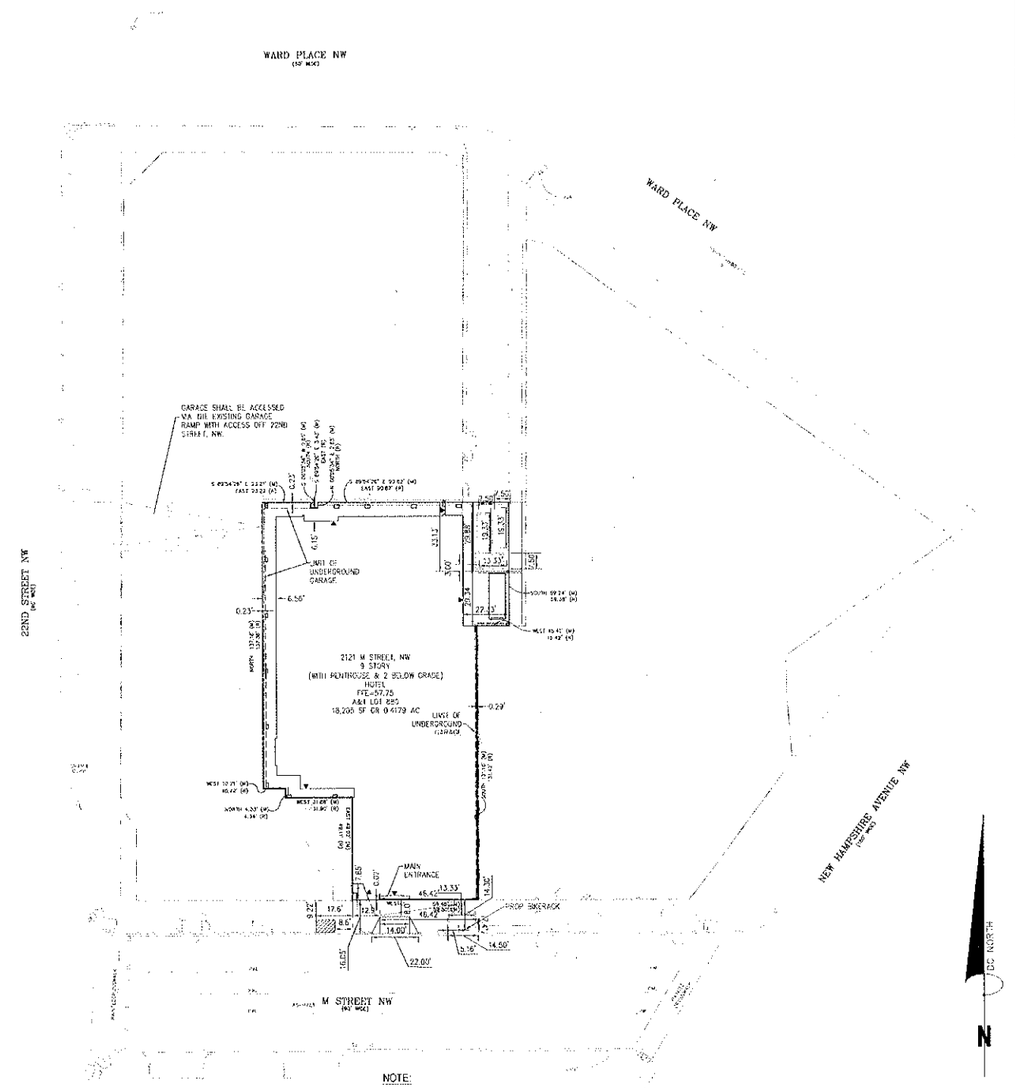
DETAILED SITE PLAN

Hyatt Place Hotel Georgetown 2121 M Street, NW Washington, D.C. 20036

C5.00

JNA





NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS DATED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW FROM VIRGINIA AVENUE TO DUPONT CIRCLE" AND PREPARED BY SHILLADIA ASSOCIATES. EXISTING CONDITIONS ARE EXPECTED TO CHANGE. AT TIME OF CONSTRUCTION, ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, M STREET, NW IS PROPOSED TO HAVE THE ADDITION OF A BIKE LANE ALONG PROJECT FRONTAGE. BIKE LANE CONSTRUCTION PHASING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION.

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GEOMETRIC LAYOUT PLAN AND LANDSCAPE DETAILS
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880
WASHINGTON DISTRICT OF COLUMBIA

DISTRICT OF COLUMBIA REGISTERED PROFESSIONAL ENGINEER

PLAN STATUS	
02/01/2013	SDR 00 SET
02/04/2013	1ST SUBMISSION TO DDOE
03/08/2013	SDR 01 SET
03/19/2013	2ND SUBMISSION TO DC WATER
04/22/2013	SDR 02 SET
05/15/2013	DCWATER/DDOE SUBMITTAL
06/04/2013	ISSUED FOR REVIEW
06/11/2013	3RD SUBMISSION TO DDOE
07/17/2013	SDR 03 SET
08/26/2013	FINAL SITE APPROVED

DATE	DESCRIPTION
	FINAL SITE APPROVED
	ISSUED FOR REVIEW
SDR	CONSTRUCTION DOCUMENTS
SDR	DESIGN DEVELOPMENT
SDR	DESIGN DEVELOPMENT
SDR	SCHEMATIC DESIGN

DATE	DESCRIPTION
08/26/2013	
06/04/2013	
04/22/2013	
03/08/2013	
02/01/2013	
12/20/2012	

JBW	JBW	MWS
DESIGN	DRAWN	CHKD

SCALE 1" = 25'

JOB No. 6963-01-001

DATE JANUARY 14, 2013

FILE No. 6963-D-CP-001

SHEET C5.10

PROJECT NO 12069

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SHEET TITLE

GEOMETRIC LAYOUT PLAN AND LANDSCAPE DETAILS

C5.10

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

JNA

KEYNOTES

(A) PROPOSED 6" WATER SHUTOFF VALVE WITH CASING PER DC WATER STANDARD W-20.01

(B) PROPOSED 6" WATER SHUTOFF VALVE WITH CASING PER DC WATER STANDARD W-20.01

(C) PROPOSED 8"X6" TEE WITH THRUST BLOCKS PER DC WATER STANDARD W-40.02

(D) PROPOSED IN-LINE THRUST BLOCK PER DC WATER STANDARD W-40.02

(E) PROPOSED 45° BEND WITH IN-LINE THRUST BLOCK PER DC WATER STANDARD W-40.02

(F) PROPOSED 45° BEND WITH RESTRAINED JOINTS.

(G) PROPOSED 48" PRECAST CONCRETE MANHOLE PER DC WATER STANDARD S-20.02.

(H) PROPOSED 48" PRECAST CONCRETE MANHOLE PER DC WATER STANDARD S-20.02

(I) PROPOSED SANITARY SEWER LATERAL PER DC WATER STANDARD S-10.01.

GENERAL UTILITY NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO D.C. PLUMBING REGULATIONS, DC WATER REGULATIONS, ALL APPLICABLE CODES AND REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. THROUGHOUT PERIOD OF CONSTRUCTION, TAKE ALL MEASURES NECESSARY TO KEEP SEDIMENT ON SITE. CONFORM TO APPLICABLE SEDIMENT CONTROL REQUIREMENTS AND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DESIGNATED AREAS. SEDIMENT SHALL NOT BE ALLOWED TO ENTER STORM DRAIN SYSTEMS.
3. ALL DENSE BACKFILL SHALL BE "CONTROL FILL", TAMP TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASSHTO TEST T-180 AND 90% OF OPTIMUM MOISTURE.
4. PROVIDE ACCURATELY AS-BUILT LOCATION OF ALL UNDERGROUND UTILITIES, BOTH NON-FERROUS MATERIALS AND EXISTING UNCOVERED IN BOTH PLAN AND ELEVATION BEFORE BACKFILLING TRENCH. IF WATER IS ENCOUNTERED IN THE TRENCH, A BED OF GRAVEL 4" THICK SHALL BE PLACED UNDER THE PIPE FOR THE WIDTH OF THE TRENCH.
5. WATER MAINS 3" DIAMETER AND LARGER SHALL BE DUCTILE IRON CEMENT LINED, BITUMINOUS COATED WITH RESTRAINED JOINTS OR MECHANICAL JOINTS. 2" AND SMALLER SHALL BE COPPER, TYPE K.
6. PROVIDE 4' MINIMUM COVER OVER ALL WATER LINES INSTALLING SERVICE LINES.
7. ALL WATER MAINS AND FITTINGS SHALL BE PROPERLY TIED, BLOCKED AND ANCHORED PER DC WATER SPECIFICATIONS.
8. TEST WATER AND SEWER LINES LEAKAGE BY APPLYING A PRESSURE OF 150 PSI FOR A MINIMUM TIME OF 3 HOURS AND 50 LENGTH OF NOT LESS THAN 150 FEET AT A TIME.
10. ALL MANHOLES AND CATCH BASINS TO BE SLOPED FLAT AND BY REDUCED DOLLS WITH REGULAR REMOVAL BY SANITARY WRENCH.
11. IF PRECAST CONCRETE STRUCTURES ARE TO BE USED, SUBMIT SHOP DRAWINGS SHOWING FULL DETAILS TO DEPARTMENT FOR APPROVAL PRIOR TO ASSIGNED FABRICATION.
12. OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND CONSTRUCTION OF ALL "DRY" UTILITIES, SUCH AS GAS, ELECTRIC, AND TELEPHONE.
13. EXISTING WATER AND SEWER CONNECTIONS, TO BE REPLACED, MUST BE ABANDONED PRIOR TO NEW CONNECTIONS BEING INSTALLED.
14. CONTRACTOR SHALL COORDINATE WATER CONNECTION REPLACEMENT WITH ADJACENT PROPERTY OWNERS AS REQUIRED.

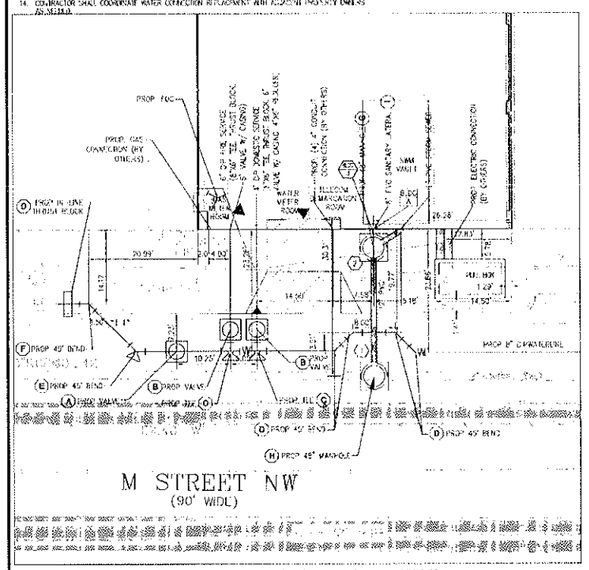
MANHOLE SIZING WORKSHEET

MANHOLE STRUCTURE #2

NOTE: PROPOSED DRY UTILITIES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE UPON FINAL DESIGN. THIS COORDINATION PLACEMENT AND DESIGN TO BE COORDINATED WITH DRY UTILITY CONSULTANT. A COPY OF THE DRY UTILITY DESIGN SHALL BE PROVIDED TO BOWMAN CONSULTING FOR CONFLICT REVIEW PRIOR TO INSTALLATION.

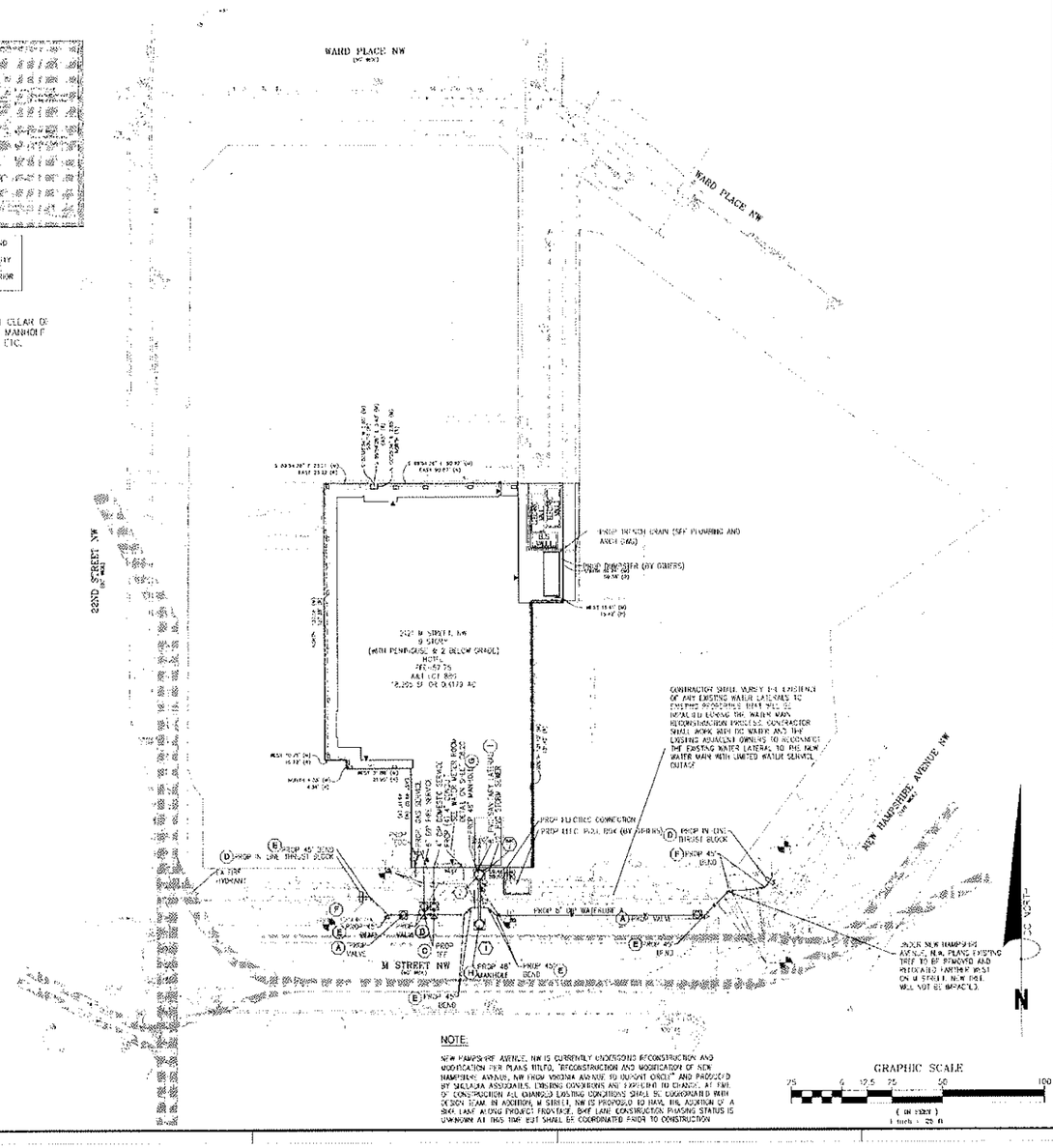
LEGEND

GUEST ARRIVAL AREA TO BE KEPT CLEAR OF SURFACE OBSTRUCTIONS SUCH AS MANHOLE COVERS, CLEANOUTS, VAULT LIDS, ETC.



M STREET, NW FRONTAGE DETAIL

SCALE 1"=10'



NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW FROM VIRGINIA AVENUE TO DUPONT CIRCLE" AND PROVIDED BY SKELLAN ASSOCIATES. EXISTING CONDITIONS ARE REFLECTED IN CHARGE. AT THE TIME OF CONSTRUCTION ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, M STREET, NW IS PROPOSED TO HAVE THE ADDITION OF A BIKE LANE ALONG PROJECT FRONTAGE. BIKE LANE CONSTRUCTION PHASING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION

GRAPHIC SCALE

25 0 12.5 25 50 100

(IN FEET)
1 inch = 25 ft.

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UTILITY PLAN
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880
WASHINGTON, DISTRICT OF COLUMBIA

PLAN STATUS	
12/04/2012	90% DD SET
12/04/2012	1ST SUBMISSION TO DDOE
01/08/2013	100% DD SET
01/15/2013	2ND SUBMISSION TO DC WATER
01/22/2013	50% CD SET
03/18/2013	DCWATER/DDOE SUBMITTAL
06/04/2013	ISSUED FOR PERMIT
08/31/2013	2ND SUBMISSION TO DDOE
07/11/2014	100% CD SET
07/08/2015	FINAL SITE APPROVAL

DATE	DESCRIPTION
FINAL SITE APPROVAL	07/08/2015
FINAL CONSTRUCTION DRAWINGS	07/11/2014
90% DESIGN DEVELOPMENT	12/04/2012
50% DESIGN DEVELOPMENT	03/22/2013
100% SUBMITTAL REVISION	07/08/2015
100% SUBMITTAL REVISION	07/11/2014

DESIGN	DRAWN	CHKD
JBW	JBW	MWS

SCALE: HORIZ. AS SHOWN / VERT. N/A

JOB No. 6963-01-001

DATE: JANUARY 14, 2013

FILE No. 6963-D-CP-001

SHEET C5.20

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

PROJECT NO. 12009

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DRAFTING

UTILITY PLAN

C5.20

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
3. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES. EXISTING WATER AND SEWER LATERAL LOCATIONS ARE TYPICALLY UNKNOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DISCONNECTING ALL EXISTING WATER AND SEWER LATERALS PRIOR TO DEMOLITION OF SITE.
4. ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY DISMANTLED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE REINSTALLED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER PRIOR TO CONSTRUCTION.
5. ALL ITEMS WITHIN REPAIRS, VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
6. CONTRACTOR SHALL SECURE A D.C. CONSTRUCTION PERMIT PRIOR TO WORKING IN PUBLIC OPEN SPACE.
7. RECORD INFORMATION TAKEN FROM D.C. RECORDS FOR WATER AND SEWER AS WELL AS SOME FIELD RUN SURVEY DONE BY THIS FIRM. THE CONTRACTOR SHALL INCLUDE WITHIN THIS SCOPE OF WORK, PROVISIONS FOR EXCAVATION AND REMOVAL OF ANY ABANDONED UTILITIES ON SITE. THE CONTRACTOR SHALL EXAMINE THE D.C. DRAWINGS PRIOR TO CONSTRUCTION.
8. THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED. FOLLOWING TOTURY MAIN CUT PROCEDURES OF TEST PITS FOR GAS, LIGHTING, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED, PRIOR TO LOCAL JURISDICTIONAL APPROVAL.
9. PLEASE NOTE THAT THE CONTRACTOR WILL BE REQUIRED TO REPAIR AND REPLACE ANY EXISTING CURB AND GUTTER THAT IS DAMAGED DURING CONSTRUCTION OR DOES NOT MEET DC REGULATIONS AS DEFINED BY DC DEPARTMENT OF TRANSPORTATION. THIS IS IN ADDITION TO THE AMOUNT OF CURB AND GUTTER SHOWN TO BE REMOVED. EXISTING GRANITE CURB TO BE DEMOLISHED MAY BE REUSED IF IT MEETS DC STANDARDS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PEPCO ON ANY ELECTRIC LINE RELOCATION INCLUDING STREET LIGHTS AND TRAFFIC CONTROL DEVICES.
11. DURING DEMOLITION ALL EXISTING WATER SERVICE CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE. ALL EXISTING WATER SERVICE CONNECTIONS TO BE ABANDONED AT THE PUBLIC WATER MAIN BELOW. NEW CONNECTIONS ARE INSTALLED. CONTRACTOR SHALL VERIFY LOCATIONS OF TAP AT MAIN FOR CUT AND CAP COMPLETION. THE PORTION OF PIPE TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT.
12. DURING DEMOLITION ALL EXISTING SANITARY CONNECTIONS SHALL BE ABANDONED AT THE PROPERTY LINE. ALL EXISTING SANITARY CONNECTIONS TO BE ABANDONED AT THE PUBLIC MAIN BELOW. NEW CONNECTIONS ARE INSTALLED. CONTRACTOR SHALL VERIFY LOCATIONS OF TAP AT MAIN FOR CUT AND CAP COMPLETION. THE PORTION OF PIPE TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT.
13. DURING DEMOLITION ALL EXISTING STORM SEWER CONNECTIONS SHALL BE ABANDONED AT THE PROPERTY LINE. ALL EXISTING STORM SEWER CONNECTIONS TO BE ABANDONED AT THE PUBLIC MAIN BELOW. NEW CONNECTIONS ARE INSTALLED. CONTRACTOR SHALL VERIFY LOCATIONS OF TAP AT MAIN FOR CUT AND CAP COMPLETION. THE PORTION OF PIPE TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT.
14. CONTRACTOR IS RESPONSIBLE FOR CLEANING AND CLEARING ALL EXISTING STORM AND SANITARY SEWER STRUCTURES THAT ARE FILLED WITH DEBRIS AND CLOGGED FROM THE PROPOSED POINT OF CONNECTION TO THE NEXT DOWNSTREAM MANHOLE. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL ELEMENTS ASSOCIATED WITH THIS WORK.
15. ALL DATA SHOWN AS "FIELD RECORDED" MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR GENERATING THIS DATA AND SECURING ALL PERMITS. THE ENGINEER OF RECORD SHALL BE PROVIDED THIS DATA WITHIN 24 HOURS OF RECEIPT BY CONTRACTOR.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH MUNICIPALITIES OR UTILITY COMPANIES FOR DISCONNECTING LINES TO BE ABANDONED OR REMOVED AND FOR THE IMPLEMENTATION OF UTILITY RELATED WORK.
17. SIDEWALK CLOSURES AND/OR TAP TESTS MAY BE REQUIRED BEFORE PERMIT ISSUANCE. CONTACT DDOT'S PUBLIC SPACE MANAGEMENT ADMINISTRATION AT 202-442-4610 TO GET MORE INFORMATION.
18. GET THE SOIL EROSION PACKAGE FROM DDOT'S SOIL EROSION UNIT, LOCATED IN THE PERMIT CENTER TO PREPARE YOUR OPERATION PLAN.
19. A PLUMBING SUPPLEMENTAL PERMIT, OBTAINED BY A PLUMBER REGISTERED AND LICENSED IN THE DISTRICT OF COLUMBIA, IS REQUIRED FOR ANY WATER/SEWER CAP.
20. FEES ARE REQUIRED FOR ABANDONMENT OF THE WATER/SEWER SERVICES IN THE PUBLIC EASEMENT (PARKS ROAD).
21. OWNER MUST PAY ANY OUTSTANDING WATER BILLS BEFORE A RAZE PERMIT CAN BE ISSUED.
22. OWNER IS REQUIRED TO OBTAIN A "RAZE-OFF" BY ANY ADJACENT PROPERTY OWNERS WHEN THE CONSTRUCTION INVOLVES PARTY WALLS.
23. THE APPLICANT IS RESPONSIBLE FOR SUBMITTING CLEARANCE LETTERS TO REQUIRED AGENCIES, PAYING ANY FEES OR FEES TO THE AGENCIES, GETTING WRITTEN APPROVALS, AND RETURNING THE ORIGINALS TO DDOT.
24. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
25. DISCONNECTION OF SERVICES AND EXISTING SUBSIDING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PROVIDERS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PROVIDERS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
26. PRIOR TO REMOVAL OF MAINTAINING OF AN EXISTING UTILITY SYSTEM, THE CONTRACTOR SHALL DOCUMENT THE CONDITIONS AND LOCATIONS OF UTILITIES THAT CONTINUE AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
27. THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS OR CLEAN FILL AS PER THE REQUIREMENTS OF DDOT.
28. THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. WORK UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
29. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/ON UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE ENGINEER AND OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

SEQUENCE OF CONSTRUCTION:

1. INSTALL PERIMETER CONTROLS: SAFETY FENCE, INLET PROTECTION, AND CONSTRUCTION ENTRANCE (WITH WASH RACK). ACCESS TO PUBLIC ALLEY TO BE MAINTAINED AT ALL TIMES. SEE EROSION AND SEDIMENT CONTROL PLAN.
2. DUST CONTROL MEASURES SHALL BE IMPLEMENTED WHILE CONSTRUCTION IS OCCURRING.
3. EXISTING UTILITIES TO BE ABANDONED AND REMOVED FROM THE PUBLIC CONNECTION.
4. DEMO INTERNAL BUILDING AND ASPHALT/CONCRETE WITHIN PROPOSED RECONSTRUCTION AREA. CONTRACTOR MAY USE EXISTING ASPHALT AREA FOR STAGING.
5. CONSTRUCT INTERNAL BUILDING. CONSTRUCT PROPOSED SANITARY, WATER, AND STORM SEWER CONNECTIONS FROM THE PROPOSED BUILDING.
6. AFTER COMPLETION OF BUILDING AND UTILITY CONSTRUCTION, CONTRACTOR SHALL COMMENCE CONSTRUCTION OF THE STREETSCAPE ELEMENTS.
7. INSTALL STREETSCAPE ELEMENTS INCLUDING, BUT NOT LIMITED TO NEW SIDEWALK MATERIALS AND TREES.
8. AFTER ALL CONSTRUCTION OPERATIONS CEASE, VEGETATION HAS BEEN ESTABLISHED AS SHOWN ON THE PLANS, AND THE INSPECTOR HAS APPROVED, ALL MECHANICAL SEDIMENT CONTROLS SHALL BE REMOVED.

NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW FROM VIRGINIA AVENUE TO DUPONT CIRCLE" AND PRODUCED BY SHELADIA ASSOCIATES. EXISTING CONDITIONS ARE EXPECTED TO CHANGE. AT TIME OF CONSTRUCTION ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, M STREET, NW IS PROPOSED TO HAVE THE ADDITION OF A BIKE LANE ALONG PROJECT FRONTAGE. BIKE LANE CONSTRUCTION PHASING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. CONTRACTOR SHALL SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL 2003 EDITION.
3. FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREIN REFER TO THE HANDBOOK OF THE DOH/WQD.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREIN THAT ARE DEEMED NECESSARY BY THE APPROVING AUTHORITY AND/OR SITE INSPECTOR.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES DAILY. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CLOSE OF EACH WORKING DAY.
7. THIS PLAN ILLUSTRATES HORIZONTAL LOCATION OF EXISTING UTILITIES BASED ON BEST AVAILABLE INFORMATION. THE INFORMATION SHOWN CONCERNING UNDERGROUND UTILITIES AND FEATURES IS NOT GUARANTEED, ALL INCLUSIVE OR CORRECT. THE CONTRACTOR SHALL VERIFY FEATURES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE AT ALL TIMES UNLESS OTHERWISE NOTED. ALL STRUCTURES ABOVE AND/OR BELOW GROUND THAT ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROPERLY SUPPORTED AND MAINTAINED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE UTILITY OWNERS FOR THE PROTECTION OR RELOCATION OF SUCH STRUCTURES. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL MAKE REPAIRS OR PAY FOR REPAIRS TO THE STRUCTURE TO THE OWNER'S SATISFACTION.
8. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND EXISTING UTILITIES.
9. CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT CONSTRUCTION METHODOLOGY TO THE OWNER PRIOR TO BIDDING.
10. CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
11. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
13. ANY EXISTING CURB, GUTTERS OR ROADWAY SURFACE THAT IS DAMAGED OR REMOVED FOR EASE OF UNDERGROUND FEATURES MUST BE REPLACED WITH THE SAME MATERIAL. I.E. GRANITE CURB MUST BE REPLACED WITH GRANITE CURB, OR CUTS IN CONCRETE MUST HAVE CONCRETE INSTALLED.
14. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM SITE AND TOWARDS THE EXISTING CATCH BASINS UNLESS SHOWN OTHERWISE.
15. CONTRACTOR SHALL PREVENT DUST FROM ESCAPING THE WORK SITE.
16. AT THE END OF EACH WORK DAY, THE CONTRACTOR SHALL INSPECT ALL UTILITY TRENCHES FOR STANDING WATER. IF WATER EXISTS THE TRENCH SHALL BE DRAINED WITH AN APPROVED FILTERING DEVICE BEFORE DISCHARGE. THE RUNOFF FROM DEWATERING ACTIVITIES SHALL NOT BE DISCHARGED DIRECTLY INTO THE STREET.

SITE INFORMATION:

TOTAL AREA OF SITE =	0.62 ACRES
AREA DISTURBED (INCLUDES ROW) =	0.62 ACRES
BUILDING AREA =	0.41 ACRES
TOTAL CUT =	13,176 CU. YARDS*
TOTAL FILL =	0 CU. YARDS*
OFFSITE WASTE/BORROW AREA LOCATION =	TO BE SUBMITTED BY CONTRACTOR FOR APPROVAL

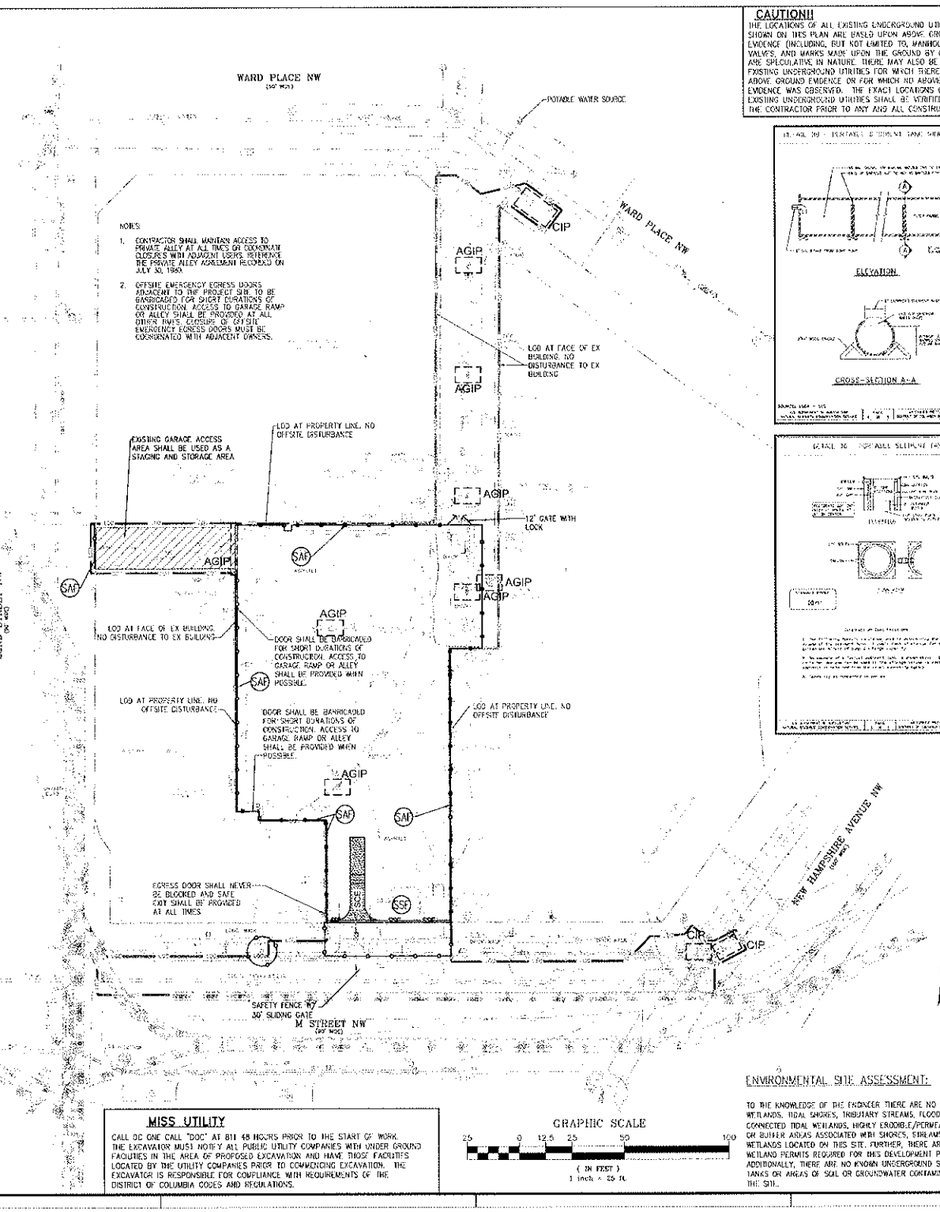
*THESE NUMBERS ARE FOR PERMITTING ONLY AND NOT FOR BIDDING

GENERAL NOTES

1. THIS PROPOSED PLAN INDICATES THAT THE EXISTING 27" DIAMETER TREE ALONG M STREET, NW SHALL BE REMOVED AND NOT REPLACED. THIS IS SUBJECT TO REVIEW OF THE CITY ARBORIST.
2. PERMISSION MAY/SHALL BE REQUIRED FROM ADJOINING OWNERS FOR CONSTRUCTION DEPENDING ON THE TYPE AND EXTENT OF ENCROACHMENT (FOOTINGS, FOOTING DRAINS, FOUNDATIONS, OTHER ENCROACHMENTS, ETC.). THE OWNER/DEVELOPER MAY CONSIDER PERFORMING INTERIOR AND EXTERIOR SURVEYS AND ASSESSMENTS TO ENSURE THAT NO DAMAGE OCCURS DURING CONSTRUCTION.

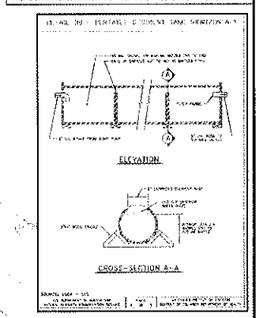
LEGEND

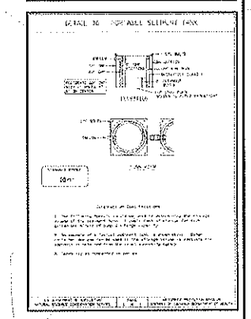
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
STABILIZED CONSTRUCTION ENTRANCE	SCE
SUPER SILT FENCE ON PAVEMENT	SSF
SAFETY FENCE (5' CHAIN LINK FENCE)	SAF
LIMITS OF DISTURBANCE	
UTILITY POLE PROTECTION	



CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.





MISS UTILITY

CALL DC ONE CALL "DOC" AT 811 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

GRAPHIC SCALE

25 0 12.5 25 50 100

(IN FEET)
1 inch = 25 ft.

ENVIRONMENTAL SITE ASSESSMENT:

TO THE KNOWLEDGE OF THE ENGINEER THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.

JNA

Bowman CONSULTING

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EROSION & SEDIMENT CONTROL PLAN - PHASE I
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880
WASHINGTON, DISTRICT OF COLUMBIA

PLAN STATUS	
02/20/2013	90% DD SET
02/04/2013	1ST SUBMISSION TO DDOT
03/08/2013	100% DD SET
03/15/2013	2ND SUBMISSION TO DC WASA
04/22/2013	50% CD SET
05/10/2013	60% WATER/SEWER SUBMITTAL
06/24/2013	95% CD FOR REVIEW
06/31/2013	2ND SUBMISSION TO DDOT
07/17/2013	100% CD SET
08/29/2013	FINAL SPR APPROVED

DATE	DESCRIPTION
FINAL SPR APPROVED	08/29/2013
ISSUED FOR REVIEW	06/14/2013
60% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
90% DESIGN DEVELOPMENT	02/20/2013
60% SCHEMATIC DESIGN	01/04/2013

DESIGN	DRAWN	CHKD
JBW	JBW	MWS

SCALE 1" = 25'

JOB No. 6963-01-001

DATE : JANUARY 14, 2013

FILE No. 6963-D-CP-001

SHEET C6.00

PROJECT NO. 12069

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SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN - PHASE I

C6.00

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
3. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES BEFORE WATER AND SEWER LATERAL INSTALLATION. AND UNLESS OTHERWISE INDICATED, CONTRACTOR IS RESPONSIBLE FOR CAPPING AND DISCONNECTING ALL EXISTING WATER AND SEWER LATERALS PRIOR TO DEMOLITION OF SITE.
4. ITEMS SHOWN TO BE ASSOCIATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNLESS OTHERWISE THAT ARE TO BE PLACED IN BULK NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER PRIOR TO CONSTRUCTION.
5. ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
6. CONTRACTOR SHALL SECURE A D.C. CONSTRUCTION PERMIT PRIOR TO WORKING IN PUBLIC OPEN SPACE.
7. REFORD INFORMATION TAKEN FROM D.C. RECORDS FOR WATER AND SEWER AS WELL AS SOME FIELD RUN SURVEY DONE BY THIS FIRM. THE CONTRACTOR SHALL VERIFY WITH THE SCOPE OF WORK, PROCEDURES FOR DISCONNECTING AND REMOVAL OF ANY ABANDONED UTILITIES ON SITE. THE CONTRACTOR SHALL EXAMINE THE D.C. DRAWINGS PRIOR TO CONSTRUCTION.
8. THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (i.e. TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS DIRECTED BY THE CONTRACTOR WHEN UTILITY AGENCY TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED PRIOR TO FINAL JURISDICTIONAL APPROVAL.
9. PLEASE NOTE THAT THE CONTRACTOR WILL BE REQUIRED TO REPAIR AND REPLACE ANY EXISTING CURB AND GUTTER THAT IS DAMAGED DURING CONSTRUCTION OR DOES NOT MEET DC REQUIREMENTS AS DIRECTED BY DC GOVERNMENT PERSONNEL. THIS IS IN ADDITION TO THE AMOUNT OF CURB AND GUTTER SHOWN TO BE REMOVED. EXISTING GRANITE CURB TO BE SALVAGED MAY BE REUSED IF IT MEETS DC STANDARDS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH PEPCO ON ANY ELECTRIC LINE RELOCATION INCLUDING STREET LIGHTS AND TRAFFIC CONTROL DEVICES.
11. DURING DEMOLITION ALL EXISTING WATER SERVICE CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE. ALL EXISTING WATER SERVICE CONNECTIONS TO BE ABANDONED AT THE PUBLIC WATER MAIN BELOW FOR COMMERCIAL USES ARE INSTALLED. CONTRACTOR SHALL VERIFY LOCATIONS OF TAP AT MAIN FOR CUT AND CAP COMPLETION. THE PORTION OF PIPE TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT.
12. DURING DEMOLITION ALL EXISTING SANITARY CONNECTIONS SHALL BE ABANDONED AT THE PROPERTY LINE. ALL EXISTING SANITARY CONNECTIONS TO BE ABANDONED AT THE PUBLIC MAIN BELOW FOR COMMERCIAL USES ARE INSTALLED. CONTRACTOR SHALL VERIFY LOCATIONS OF TAP AT MAIN FOR CUT AND CAP COMPLETION. THE PORTION OF PIPE TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT.
13. DURING DEMOLITION ALL EXISTING STORM SEWER CONNECTIONS SHALL BE ABANDONED AT THE PROPERTY LINE. ALL EXISTING STORM SEWER CONNECTIONS TO BE ABANDONED AT THE PUBLIC MAIN BELOW FOR COMMERCIAL USES ARE INSTALLED. CONTRACTOR SHALL VERIFY LOCATIONS OF TAP AT MAIN FOR CUT AND CAP COMPLETION. THE PORTION OF PIPE TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT.
14. CONTRACTOR IS RESPONSIBLE FOR CLEANING AND CLEARING ALL EXISTING STORM AND SANITARY SEWER STRUCTURES THAT ARE FILLED WITH DEBRIS AND SEDIMENT FROM THE PROPOSED POINT OF CONNECTION TO THE NEAT DOWNSTREAM MANHOLE. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS ASSOCIATED WITH THIS WORK.
15. ALL DATA SHOWN AS "DEM REFERENCE" MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THIS DATA AND SECURING ALL PERMITS. THE ENGINEER OF RECORD SHALL BE PROVIDED THIS DATA WITHIN 24 HOURS OF REQUEST BY CONTRACTOR.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH REPRESENTATIVES OF UTILITY COMPANIES FOR DISCONNECTED UTILITIES TO BE ABANDONED OR REMOVED AND FOR THE IMPLEMENTATION OF UTILITY RELATED WORK.
17. SIDEWALK DEPOSITS AND/OR BAD SITES MAY BE REQUIRED DURING PERMIT ISSUANCE. CONTACT DDOT'S PUBLIC SPACE MANAGEMENT ADMINISTRATION AT 202-442-4670 TO GET MORE INFORMATION.
18. GET THE SOIL EROSION PACKAGE FROM DDOT'S SOIL EROSION UNIT, LOCATED IN THE PERMIT CENTER TO PREPARE YOUR EROSION PLAN.
19. A PLUMBING SUPPLEMENTAL PERMIT, OBTAINED BY A PLUMBER REGISTERED AND LICENSED IN THE DISTRICT OF COLUMBIA, IS REQUIRED FOR ANY WATER/SEWER CO.
20. FEES ARE REQUIRED FOR ABANDONMENT OF THE WATER/SEWER SERVICES IN THE PUBLIC EASEMENT (PAVED ROAD).
21. OWNER MUST PAY ANY OUTSTANDING WATER BILLS BEFORE A RAZE PERMIT CAN BE ISSUED.
22. OWNER IS REQUIRED TO OBTAIN A SIGN OFF BY ANY ADJACENT PROPERTY OWNERS WHEN THE CONSTRUCTION INVOLVES PARTY WALLS.
23. THE APPLICANT IS RESPONSIBLE FOR REPAIRING CLEANING, LETTERS TO REQUIRED ADJACENT OWNERS AND REQUIRED FEES TO THE AGENCIES, GETTING WRITTEN APPROVALS, AND ACQUIRING THE ORIGINALS TO DCRA.
24. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIAL DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONTINUE SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
25. DISCONNECTION OF SERVICES AND DISPOSING PLUMBING LINES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PROVIDERS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PROVIDERS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
26. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY DIVISION, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
27. THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS OR CLEAN FILL AS PER THE REQUIREMENTS OF DDOT.
28. THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
29. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING STRUCTURES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SIZE AND FORWARD THE INFORMATION TO THE ENGINEER AND OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

SEQUENCE OF CONSTRUCTION:

1. INSTALL PERIMETER CONTROLS: SAFETY FENCE, INLET PROTECTION, AND CONSTRUCTION ENTRANCE (WITH WASH RACK). ACCESS TO PUBLIC ALLEY TO BE MAINTAINED AT ALL TIMES. SEE EROSION AND SEDIMENT CONTROL PLAN.
2. DUST CONTROL MEASURES SHALL BE IMPLEMENTED WHILE CONSTRUCTION IS OCCURRING.
3. EXISTING UTILITIES TO BE ABANDONED AND REMOVED FROM THE PUBLIC CONNECTION.
4. DEMO INTERNAL BUILDING AND ASPHALT/CONCRETE WITHIN PROPOSED RECONSTRUCTION AREA. CONTRACTOR MAY USE EXISTING ASPHALT AREA FOR STAGING.
5. CONSTRUCT INTERNAL BUILDING, CONSTRUCT PROPOSED SANITARY, WATER, AND STORM SEWER CONNECTIONS FROM THE PROPOSED BUILDING.
6. AFTER COMPLETION OF BUILDING AND UTILITY CONSTRUCTION, CONTRACTOR SHALL COMMENCE CONSTRUCTION OF THE STREETSCAPE ELEMENTS.
7. INSTALL STREETSCAPE ELEMENTS INCLUDING, BUT NOT LIMITED TO NEW SIDEWALK MATERIALS AND TREES.
8. AFTER ALL CONSTRUCTION OPERATIONS CEASE, VEGETATION HAS BEEN ESTABLISHED AS SHOWN ON THE PLANS, AND THE INSPECTOR HAS APPROVED, ALL MECHANICAL SEDIMENT CONTROLS SHALL BE REMOVED.

NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW FROM VIRGINIA AVENUE TO DUPONT CIRCLE" AND PROJECTED BY SHEARER ASSOCIATES. EXISTING CONDITIONS ARE EXPECTED TO CHANGE AT TIME OF CONSTRUCTION. ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, M STREET, NW IS PROPOSED TO HAVE THE ADDITION OF A BIKE LANE ALONG PROJECT FRONTAGE. BIKE LANE CONSTRUCTION PHASING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. CONTRACTOR SHALL SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, 2003 EDITION.
3. FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREIN REFER TO THE HANDBOOK OF THE DOT/WMA.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREIN THAT ARE DEEMED NECESSARY BY THE APPROVING AUTHORITY AND/OR SITE INSPECTOR.
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8. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND EXISTING UTILITIES.
9. CONTRACTOR TO STRICTLY CONSIDER CURRENT INFORMATION AVAILABLE AND CLEARLY REPORT CONSTRUCTION METHODOLOGY TO THE OWNER PRIOR TO BIDDING.
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13. ANY EXISTING CURB, GUTTERS OR ROADWAY SURFACE THAT IS DAMAGED OR REMOVED FOR RAZE OF UNDERGROUND FEATURES MUST BE REPLACED WITH THE SAME MATERIAL. I.E. GRANITE CURB MUST BE REPLACED WITH GRANITE CURB, OR CUTS IN CONCRETE MUST HAVE CONCRETE INSTALLED.
14. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM SITE, AND TOWARDS THE EXISTING CATCH BASINS UNLESS SHOWN OTHERWISE.
15. CONTRACTOR SHALL PREVENT FUGITIVE DUST FROM ESCAPING THE WORK SITE.
16. AT THE END OF EACH WORK DAY, THE CONTRACTOR SHALL INSPECT ALL UTILITY TRENCHES FOR STANDING WATER. IF WATER EXISTS THE TRENCH SHALL BE DEWATERED WITH AN APPROVED FILTERING DEVICE BEFORE DISCHARGE. THE RUNOFF FROM DEWATERING ACTIVITIES SHALL NOT BE DISCHARGED DIRECTLY INTO THE STREET.

SITE INFORMATION:

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AREA DISTURBED (INCLUDES ROW) =	0.67 ACRES
BUILDING AREA =	0.41 ACRES
TOTAL CUT =	1,174 CU. YARDS*
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GENERAL NOTES

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AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
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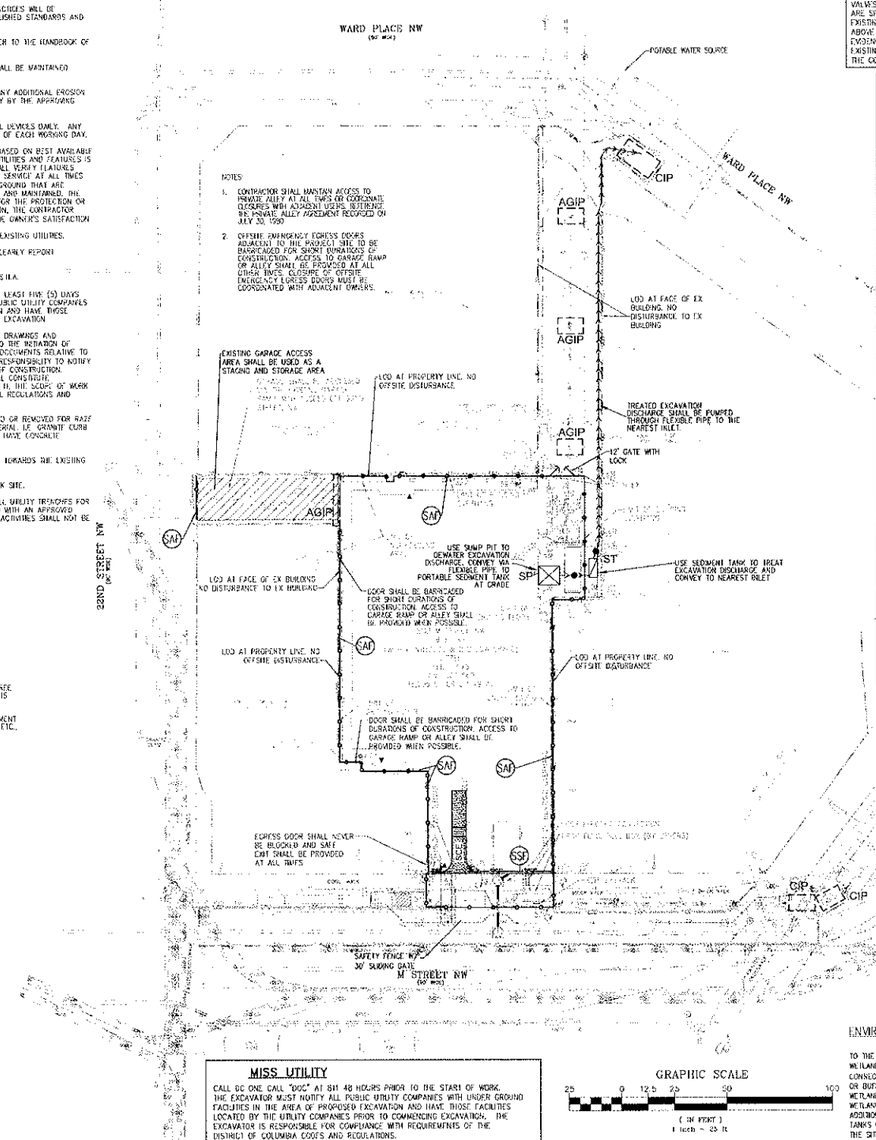
SUMP PIT	SP
SEDIMENT TANK	ST
PUMP	



NOTES

1. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE ALLEY AT ALL TIMES OR COORDINATE CLOSURES WITH ADJACENT USERS. REFERENCE THE PRIVATE ALLEY AGREEMENT RECORDED ON JULY 30, 1990.
2. OFFSITE EMERGENCY EGRESS DOORS ADJACENT TO THE PROJECT SITE TO BE BARRICADED FOR SHORT DURATIONS OF CONSTRUCTION. ACCESS TO GARAGE RAMP OR ALLEY SHALL BE PROVIDED AT ALL OTHER TIMES. CLOSURE OF OFFSITE EMERGENCY EGRESS DOORS MUST BE COORDINATED WITH ADJACENT OWNERS.

MISS UTILITY

CALL DC ONE CALL "DOC" AT 811 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

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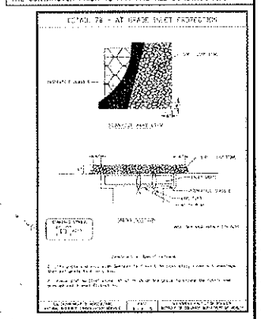
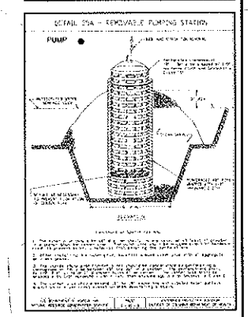
1 inch = 25 ft

CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.





ENVIRONMENTAL SITE ASSESSMENT:

TO THE KNOWLEDGE OF THE ENGINEER THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, HIGHLY PROBABLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.

Bowman CONSULTING

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EROSION & SEDIMENT CONTROL PLAN - PHASE II
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880
WASHINGTON DISTRICT OF COLUMBIA

PLAN STATUS	
12/06/2012	SDR CO SET
12/24/2012	DEL SUBMISSION TO DDOE
03/08/2013	SDR CO SET
03/15/2013	DDOE SUBMISSION TO DC WASA
04/22/2013	SDR CO SET
05/10/2013	DCWATER/DDOE SUBMITTAL
06/04/2013	ISSUED FOR REVIEW
06/11/2013	DDOE SUBMISSION TO DDOE
07/17/2013	SDR CO SET
08/28/2013	FINAL CON APPROVAL
DATE	DESCRIPTION

JBW	JBW	MWS
DESIGN	DRAWN	CHKD

SCALE: HZ 1"=25' VT

JOB No: 6963-01-001

DATE: JANUARY 14, 2013

FILE No. 6063-D-CP-001

SHEET C6.10

FINAL SITE APPROVAL	05/28/2013
ISSUED FOR REVIEW	06/04/2013
CONSTRUCTION DOCUMENTS	06/24/2013
DDOE SUBMISSION COMMENTS	08/09/2013
DDOE SUBMISSION COMMENTS	08/27/2013
DDOE SUBMISSION	01/14/2014
DESCRIPTION	DATE

PROJECT NO 12069

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SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN - PHASE II

C6.10

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

GENERAL NOTES

1. THESE DOCUMENTS HAVE BEEN PREPARED TO ADHERE TO THE FOLLOWING CODES:
   - 2006 International Building Code (including ICC/ANSI A117.1 2003)
   - 2006 International Plumbing Code
   - 2006 International Mechanical Code
   - 2006 International Fire Code
   - 2006 International Fuel Gas Code
   - 2006 International Energy Conservation Code
   - 2005 NFPA National Electrical Code
   - DC LAW 6-36 District of Columbia Environmental Policy Act of 1989
   - DCMR 12 Building Code Regulations (2008)
   - DCMR TITLE 11-Zoning Regulations
   - Green Building Act Of 2006
   - NFPA-72 Fire Alarm Code
   - NFPA-13 Sprinkler Code
   - 2010 Americans with Disabilities Act - Standards for Accessible Design

   THE CONTRACTOR AND EACH SUBCONTRACTOR ARE RESPONSIBLE FOR ENSURING THAT THEIR WORK ADHERES THERETO, AND ALSO TO ALL OTHER APPLICABLE CODES, REGULATIONS, ORDINANCES AND THE LAWS OF THE DISTRICT OF COLUMBIA.

2. THESE DRAWINGS ARE DIAGRAMMATIC ONLY, ESTABLISHING RELATIONSHIP AND DIMENSIONAL INTENTS. DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS BEFORE BEGINNING THEIR WORK. THE ARCHITECT SHALL BE CONSULTED PRIOR TO ANY IMPLEMENTATION OF ADJUSTMENTS TO THE DESIGN THAT MAY BE REQUIRED DUE TO CONDITIONS IN THE FIELD. ANY DISCREPANCIES NOTED IN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS, OR ANY AMBIGUITIES OR INCONSISTENCIES CONTAINED THEREIN, SHALL BE REPORTED TO THE ARCHITECT AT THE EARLIEST OPPORTUNITY, AND A SUITABLE RESOLUTION ESTABLISHED PRIOR TO THE SUBMITTAL OF BIDS AND THE BEGINNING OF THE AFFECTED WORK. ANY WORK WHICH IS COMPLETED IN VIOLATION OF THESE PRINCIPLES IS AT THE CONTRACTOR'S OWN RISK, AND NO ADJUSTMENTS TO THE CONTRACT FOR CONSTRUCTION (SCHEDULE, CONTRACT SUM, QUALITY OF WORK, ETC.) SHALL BE ALLOWED TO UNCOVER AND/OR CORRECT THE AFFECTED WORK TO THE ARCHITECT'S SATISFACTION.

3. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE LEGALLY REGISTERED AND LICENSED TO COMPLETE THEIR WORK IN THE DISTRICT OF COLUMBIA. ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ALL OTHER INSURANCE, AS REQUIRED BY LAW, AND AS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS. ALL SHOP DRAWINGS AND/OR FURTHER DESIGN DOCUMENTS SHALL BE STAMPED AND SEALED BY THE CONTRACTOR AND/OR HIS DESIGNER AS REQUIRED BY THE LOCAL JURISDICTION.

4. TAKEN TOGETHER WITH THE SPECIFIC INSTRUCTIONS OF THE EXECUTED CONTRACT, THESE DESIGN DRAWINGS ARE THE CONTRACT DOCUMENTS. IN THE EVENT OF CONFLICT INTERNAL TO ANY OF THESE DOCUMENTS, THE MORE EXTENSIVE, MORE COSTLY AND/OR RESTRICTIVE REQUIREMENT SHALL GOVERN.

5. THE CONTRACTOR IS SPECIFICALLY RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES ABOVE AND BELOW GRADE. LOCATIONS ARE TO BE ASCERTAINED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

6. MANUFACTURER'S NAMEPLATES, INCLUDING TRADEMARK AND OTHER IDENTIFYING SYMBOLS, SHALL NOT BE PERMITTED IN SURFACES VISIBLE TO THE PUBLIC.

7. DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER AS TO CREATE CONCENTRATED LOADS ON THE FLOOR.

8. ALL DIMENSIONS ARE TO FACE OF FINISH PARTITION EXCLUDING WOOD, TILE AND STONE FINISHES, UNLESS OTHERWISE INDICATED. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM ACTUAL FINISHED FLOOR.

9. FLOOR ELEVATIONS AND LEVELS ARE TO TOP OF FINISH HARD SURFACES (CONCRETE FLOOR SLAB) EXCLUDING APPLIED FINISHES (CARPET, VCT OTHER THINSET FINISH MATERIALS), UNLESS OTHERWISE SPECIFIED.

10. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM ACTUAL FINISHED FLOOR. FOR WALLS RECEIVING WALL MOUNTED ITEM, PROVIDE BLOCKING OR OTHER ANCHORING DEVICE CAPABLE OF SUSTAINING THE FORCE ANTICIPATED AS A RESULT OF THE APPLIED FORCES ON THE ITEM OR AS REQUIRED BY CODE.

11. ALL PENETRATIONS THROUGH FIRE RATED WALLS ARE TO BE SEALED WITH FIRE STOP SEALANT. ALL HIDDEN CONDITIONS & PENETRATIONS THROUGH FLOOR AND CEILINGS INCLUDING PENETRATIONS AND OPENINGS DUE TO, BUT NOT LIMITED TO, THE REMOVAL OF EQUIPMENT, CONDUITS, PIPES, ETC. SHALL BE FIRESAFED, AS APPROVED BY UL OR BUILDING OFFICIALS.

12. ALL DRYWALL WORK SHALL ADHERE TO ACCEPTED INDUSTRY STANDARDS, INCLUDING THE US GYPSUM ASSOCIATION'S "GYPSUM CONSTRUCTION HANDBOOK" (LATEST EDITION) AND ALL APPLICABLE CODES.

13. THE CONTRACTOR SHALL CAULK ALL JOINTS BETWEEN DISSIMILAR FINISH MATERIALS, INTERIOR & EXTERIOR.

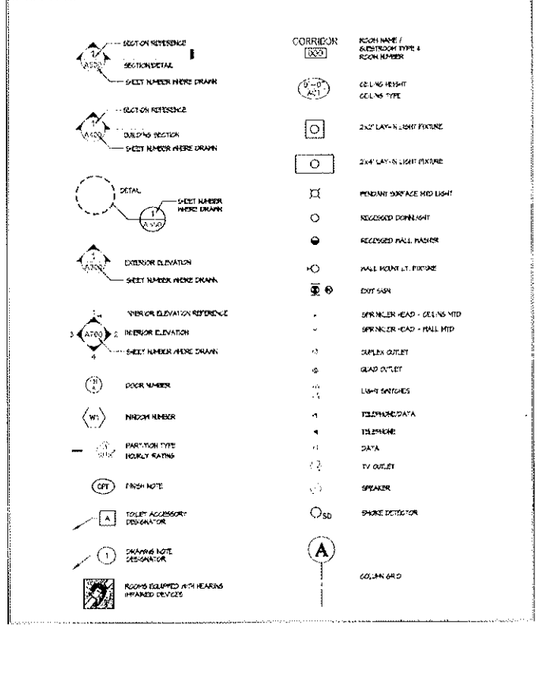
14. THE CONTRACTOR SHALL PROVIDE LIGHT GAUGE METAL SHOP DRAWINGS, STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROJECTS' JURISDICTION.

15. SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE BUILDING DESIGN. REVIEWED DEFERRED ITEMS MUST BE FORWARDED TO THE LOCAL BUILDING OFFICIAL AS REQUIRED BY THE GENERAL CONTRACTOR. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED ITEMS SHALL NOT INCREASE THE CONTRACT FOR CONSTRUCTION (SCHEDULE, CONTRACT SUM, QUALITY OF WORK, ETC.).

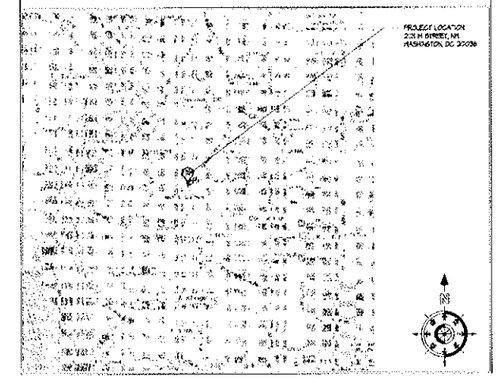
    DEFERRED SUBMITTED ITEMS ARE THE FOLLOWING (BUT NOT LIMITED TO):
    1. FIRE PROTECTION AND SPRINKLERS SYSTEMS
    2. FIRE ALARM SYSTEMS
    3. SIGNAGE (EXTERIOR & INTERIOR INCLUDING OCCUPANCY LOADS & GUEST ROOM DIRECTIONAL INFORMATION SIGNAGE)
    4. SWIMMING POOLS AND SPAS

16. CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 & NFPA 30 AND AS DIRECTED BY THE FIRE MARSHAL.

SYMBOLS LIST



LOCATION MAP



ROOM MATRIX

Floor	1st	Mez	2nd	3rd	4th	5th	6th	7th	8th	Total
Guest Room										
King ADA Roll In Shower	1	0	1	0	1	0	1	0	0	4
King ADA Tub Bath	0	0	1	0	1	0	1	0	0	3
King Accessible	0	0	0	0	1	0	1	0	0	2
Double Queen	0	3	8	8	7	8	7	8	7	56
King Deluxe	2	0	2	2	2	2	2	2	2	16
King Suite	0	0	1	1	1	1	1	1	1	7
King Suite Accessible	0	0	0	0	1	0	0	0	0	1
King Deluxe Accessible	0	0	0	0	1	0	0	0	0	1
King Suite Roll In Shower	0	0	1	1	1	1	1	1	1	8
King Suite Tub Bath	0	0	1	1	1	1	1	1	1	8
King Deluxe Roll In Shower	0	0	1	1	1	1	1	1	1	8
King Deluxe Tub Bath	0	0	1	1	1	1	1	1	1	8
King Suite Roll In Shower	0	0	1	1	1	1	1	1	1	8
King Suite Tub Bath	0	0	1	1	1	1	1	1	1	8
King Suite Roll In Shower	0	0	1	1	1	1	1	1	1	8
King Suite Tub Bath	0	0	1	1	1	1	1	1	1	8
King Suite Roll In Shower	0	0	1	1	1	1	1	1	1	8
King Suite Tub Bath	0	0	1	1	1	1	1	1	1	8
Total	9	21	21	21	21	21	21	21	21	168

King	112	67%		
Double Queen	56	33%		
Total	168			

Required ADA Rooms (Non-Accessible)	2		2	2
Accessible ADA Rooms	5		5	5

Designed Hearing Impaired Rooms: 10
Designed Hearing Impaired Rooms: 10

ABBREVIATIONS

@	AT	CHAN	CHANNEL	EA	EACH		PANEL	KIT	KITCHEN			REST	RESTAURANT	TOS	TOP OF STEEL
℄	CENTERLINE	CJ	CONTROL JOINT	EF	EXHAUST FAN	FRT	FIRE RETARDANT TREATED	KPL	KICKPLATE	OA	OVERALL	REV	REVISION	TOW	TOP OF WALL
#	POUND OR NUMBER	CLG	CEILING	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	FS	FLOOR SINK, FOOD SERVICE			OC	ON CENTER	RH	RIGHT HAND	TV	TELEVISION
		CLR	CLEAR			FT	FOOT	LAM	LAMINATE(D)	OD	OUTSIDE (DIAMETER) (DIMEN.)	RM	ROOM	TYP	TYPICAL
ABV	ABOVE	CLOS	CLOSET	EJ	EXPANSION JOINT	FTG	FOOTING	LAV	LAVATORY	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	RO	ROUGH OPENING		
AC	AIR CONDITIONER	CMU	CONCRETE MASONRY UNIT	ELEV	ELEVATOR OR ELEVATOR	FURN	FURNISH, FURNITURE	LBS	POUNDS			RTU	ROOF TOP UNIT	UL	UNDERWRITERS LABORATORY
ACT	ACOUSTICAL CEILING TILE	CO	CLEAN OUT	ELEC	ELECTRIC(AL)	FURR	FURRING	LH	LEFT HAND	OH	OVERHEAD			UNO	UNLESS NOTED OTHERWISE
AD	ACCESS DOOR	COL	COLUMN	EMER	EMERGENCY			LLH	LONG LEG HORIZONTAL	OPER	OPERATIVE, OPERABLE	S	SOUTH	UR	URINAL
ADJ	ADJACENT	CONC	CONCRETE	ENCL	ENCLOSURE	GA	GAUGE	LLV	LONG LEG VERTICAL	OPNG	OPENING	SAR	SHELF AND ROD	UTIL	UTILITY
ADDM	ADDENDUM	CONF	CONFERENCE	EQ	EQUAL	GALV	GALVANIZED	LT	LIGHT	OPP	OPPOSITE	SIS	STAINLESS STEEL		
ADDL	ADDITIONAL	CONN	CONNECTOR	EQUIP	EQUIPMENT	GC	GENERAL CONTRACTOR	LTG	LIGHTING	OS	OVERFLOW SCUPPER	SCHED	SCHEDULED	V	VOLTS / VOLTAGE
AFF	ABOVE FINISH FLOOR	CONST	CONSTRUCTION	ETR	EVAPORATOR	GEN	GENERATOR	LVL	LEVEL			SECT	SECTION	VCT	VINYL COMPOSITION TILE
ALTER	ALTERNATING	CONT	CONTINUOUS	EWC	ELECTRIC WATER COOLER	GL	GLASS, GLAZING			PC	PRECAST CONCRETE	SECUR	SECURELY	VERT	VERTICAL
ALUM	ALUMINUM	CONTR	CONTRACTOR	EX, EXIST	EXISTING	GLUE LAM	GLUE LAMINATED	M	MENS	PERF	PERFORATED	SERV	SERVICE	VEST	VESTIBULE
AMP	AMPERE	COORD	COORDINATE	EXH	EXHAUST	GND	GROUND	MAINT	MAINTENANCE	PKG	PARKING, PACKAGE	SF	SQUARE FEET	VTR	VENT THROUGH ROOF
ANOD	ANODIZED	CORR	CORRIDOR	EXP	EXPANSION	GWB	GYPSUM WALL BOARD	MATL	MATERIAL	PL	PLATE, PROPERTY LINE	SHT	SHEET	VWC	VINYL WALL COVERING
AP	ACCESS PANEL	CPT	CARPET	EXT	EXTERIOR	GYP	GYPSUM	MAX	MAXIMUM	PLAM	PLASTIC LAMINATE	SIM	SIMILAR		
ARCH	ARCHITECTURAL	C/W	COMPLETE WITH					MECH	MECHANICAL	PLAS	PLASTER	SPEC	SPECIFICATION	W	WOMENS, WIDE, WEST
AUTO	AUTOMATIC	CT	CERAMIC TILE	FA	FIRE ALARM	HC	HOLLOW CORE	MET	METAL	PLYWD	PLYWOOD	SQ	SQUARE	W/	WITH
A/V	AUDIO VISUAL			FC	FACE OF CURB	HDWR	HARDWARE	MEZZ	MEZZANINE	PNL	PANEL	SSK	SERVICE SINK	W/O	WITHOUT
AVG	AVERAGE	DBL	DOUBLE	FCU	FAN COIL UNIT	HM	HOLLOW METAL	MFR	MANUFACTURER	PR	PAIR	STC	SOUND TRANSMISSION COEFFICIENT	WC	WATER CLOSET
		DEG	DEGREE	FD	FLOOR DRAIN	HORIZ	HORIZONTAL	MGR	MANAGER	PREP	PREPARATION			WD	WOOD
BD	BOARD	DEMO	DEMOLISH(LITION)	FE	FIRE EXTINGUISHER	HR	HOUR	MIN	MINIMUM	PT	PRESSURE PRESERVATIVE TREATED	STD	STANDARD	WDW	WINDOW
BETW	BETWEEN	DEPT	DEPARTMENT	FEC	FIRE EXTINGUISHER CABINET	HT	HEIGHT	MIR	MIRROR	PTD	PAINTED	STL	STEEL	WGL	WIRE GLASS
BLDG	BUILDING	DET	DETAIL	FF&E	FURNISHINGS, FIXTURE AND EQUIPMENT (BY OWNER)	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	MISC	MISCELLANEOUS	PVC	POLYVINYL CHLORIDE	STOR	STORAGE	WP	WATERPROOF
BLKG	BLOCKING	DIA	DIAMETER					MO	MASONRY OPENING	PWR	POWER	STRUCT	STRUCTURE(AL)	WPT	WORK POINT
BM	BEAM	DIFF	DIFFUSER	FHC	FIRE HOSE CABINET			MMR	MOLD & MOISTURE RESISTANT			SUSP	SUSPENDED	WWF	WELDED WIRE FABRIC
BOT	BOTTOM	DIM	DIMENSION	FIN	FINISH(ED)	ID	INSIDE DIAMETER	MR	MOISTURE RESISTANT	QTY	QUANTITY				
BP	BASE PLATE	DISP	DISPENSER	FIXT	FIXTURE	IN	INCH	MTD	MOUNTED			T	TREAD		
BR	BEDROOM	DN	DOWN	FLR	FLOOR	INSUL	INSULATION	MTG	MEETING	R	RISER	T&G	TOUNGE & GROOVE		
BRZ	BRONZE	DR	DOOR	FR	FIREPROOF(ING)	INT	INTERIOR			RAF	RAISED ACCESS FLOOR	TEL	TELEPHONE		
BRG	BEARING	DS	DOWNSPOUT	FRR	FIRE RATED	INV	INVERT	N	NORTH	RCP	REFLECTED CLG PLAN	THK	THICK(NESS)		
BTU	BRITISH THERMAL UNIT	DW	DISHWASHER	FRG	FIBERGLASS REINFORCED GYPSUM	JC	JANITOR'S CLOSET	N/A	NOT APPLICABLE	RD	ROOF DRAIN	THR	THRESHOLD		
		DWG	DRAWING			JT	JOINT	N.C	NOT IN CONTRACT	REF	REFRIGERATOR	THRU	THROUGH		
CAB	CABINET			FRP	FIBERGLASS REINFORCED			NO	NUMBER	REINF	REINFORCE(D)(ING)	TLT	TOILET		
CG	CORNER GUARD	E	EAST					NTS	NOT TO SCALE	REQD	REQUIRED	TOC	TOP OF CONCRETE		

JONATHAN NEIMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT

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BOCA RATON, FLORIDA 33433
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CONSULTANTS

DISTRICT OF COLUMBIA
JONATHAN NEIMER
REGISTERED
ARCHITECT

FINAL IFC APPROVAL	08/28/2013
FOUNDATION-TO-GRADE DWGS ISSUED FOR BID	07/29/2013
ISSUED FOR REVIEW	06/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	07/01/2013
100% SCHEMATIC DESIGN	01/04/2013
DESCRIPTION	DATE

PROJECT NO. 12004
DRAWN BY: D.J.H. CHECKED BY: J.N. PROJECT MGR.: J.N.

SHEET TITLE
PROJECT INFORMATION

A001

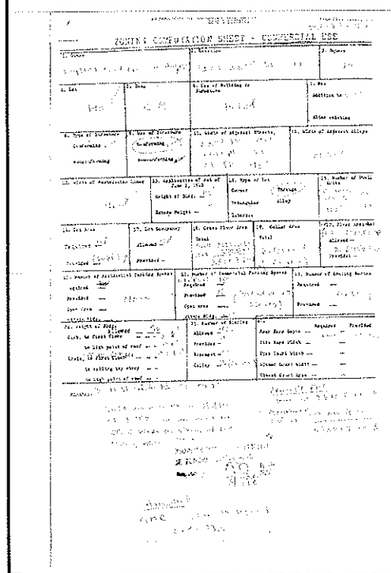
Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

5/28/2013 9:49 AM Katy Christine K:\2012\12009 - Hyatt Place DC Downtown\Sheets\12009-A001.dwg

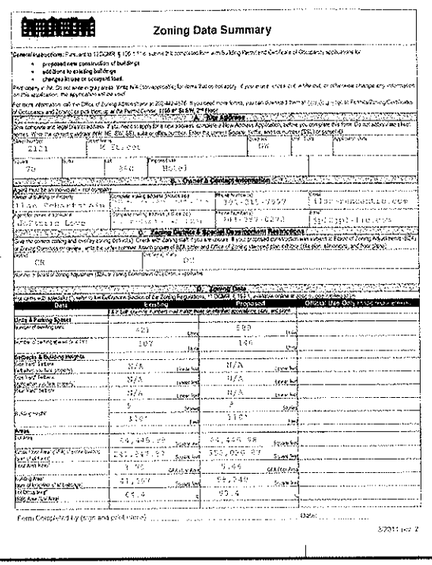
*GENERAL NOTE:

THIS DRAWING SET IS FOR THE PROPOSED BUILDING TO BE AN ADDITION TO THE MARRIOTT HOTEL AND EXISTING RETAIL LOCATED ON THE SITE. ALL EXISTING INFORMATION LISTED IS REFERENCING THE MARRIOTT HOTEL AND RETAIL SPACES. ADDITION INFORMATION LISTED IS FOR THE PROPOSED BUILDING SHOWN IN THIS DRAWING SET. TOTAL PROPOSED INFORMATION IS THE EXISTING BUILDING ON SITE (MARRIOTT) AND THE PROPOSED NEW ADDITION (HYATT PLACE HOTEL).

ZONING COMPUTATION SHEET - EXISTING BUILDING



ZONING COMPUTATION SHEET - W/ PROPOSED ADDITION



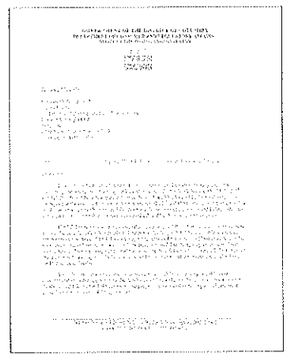
ZONING ANALYSIS

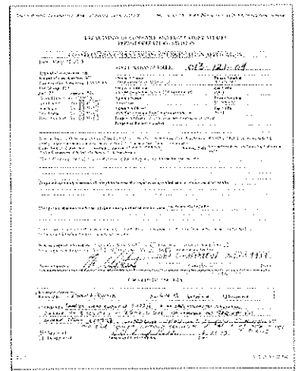
ZONING DISTRICT & SPECIAL DEVELOPMENT RESTRICTIONS

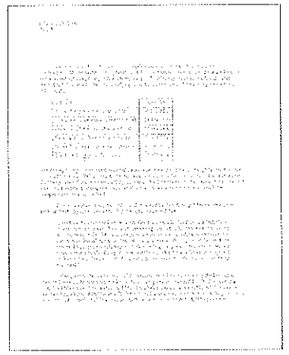
DISTRICT: CR
OVERLAY: DC

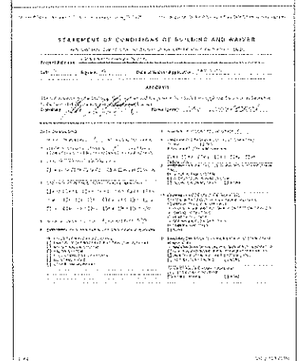
ZONING DATA

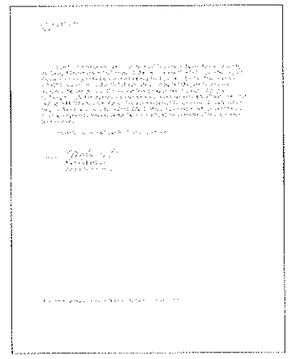
DATA	EXISTING	ADDITION	TOTAL PROPOSED	REQUIRED/ALLOWABLE	NOTES
# OF DWELLING UNITS	421	168	589	N/A	
# OF PARKING SPACES	108	34	140	40	NO PARKING SPACES REQ'D FOR EXIST. BLDG.
SIDE (L) YARD SETBACK	N/A	N/A	N/A	N/A	
SIDE (R) YARD SETBACK	N/A	N/A	N/A	N/A	
REAR YARD SETBACK	N/A	N/A	N/A	N/A	
CLOSED COURT MIN. WIDTH	N/A	N/A	33'-0 3/4"	15'-11 7/8"	2 1/2" PER 1'-0" HT; HT = 76'-4"
CLOSED COURT MIN. AREA	N/A	N/A	16,493 sq.ft.	2516 sq.ft.	AREA MIN.=2X SQUARE OF REQ. WIDTH
OPEN COURT MIN. DIMS-ALLEY	N/A	N/A	22'-3 7/8"	15'-11 7/8"	2 1/2" PER 1'-0" HT; HT = 84'-6"
OPEN COURT MIN. DIMS-2nd FL	N/A	N/A	16'-8 3/8"	15'-11 7/8"	2 1/2" PER 1'-0" HT; HT = 76'-4"
ACTUAL BUILDING HEIGHT		88.834'	88.834'	90'	PROPOSED FIRST FLOOR ELEVATION = 57.75'
ZONING BUILDING HEIGHT	110'	84.384'	84.384'	90'	+ 0.55'-M ST. REF. TO 57.2' FROM H#1 ZONING COMP. SHEET
LOT AREA	64,445.98 sq.ft.	0 sq.ft.	64,445.98 sq.ft.	64,445.98 sq.ft.	
GROSS FLOOR AREA	241,847.87 sq.ft.	109,942 sq.ft.	351,239.87 sq.ft.	362,497.78 sq.ft.	REF. DCRA LETTER DATED FEB. 13, 2009
NON RESIDENTIAL USE		7,041 sq.ft.	7,041 sq.ft.	8,454 sq.ft.	REF. DEVELOPMENT RIGHTS AGREEMENT OCT. 5, 2006
FLOOR/AREA RATIO	3.75 GFA/LOT	1.71 GFA/LOT	5.46 GFA/LOT	6.0 GFA/LOT	REF. DCRA LETTER DATED FEB. 13, 2009
BUILDING AREA (FOOTPRINT)	41,507 sq.ft.	16,679 sq.ft.	58,186 sq.ft.		
LOT OCCUPANCY	64.4%	25.9%	90.3%	100%	

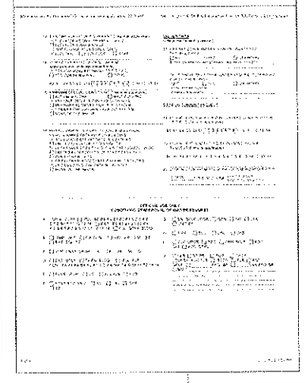












DCRA OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)
11/26/13

CODE ANALYSIS (EXISTING HOTEL-MARRIOTT)

INFORMATION TAKEN FROM 6/6/1974 DRAWING SET

1972 D.C. BUILDING CODE REQUIREMENTS:

- BUILDING CONSTRUCTION TYPE: IC
- OCCUPANCY TYPE L-1 HOTEL

CODE ANALYSIS (PROPOSED ADDITION) (HYATT PLACE HOTEL)

APPLICABLE CODES:

- 2006 International Building Code (including ICC/ANSI A117.1-2003)
- 2006 International Plumbing Code
- 2006 International Mechanical Code
- 2006 International Fuel Gas Code
- 2006 International Energy Conservation Code
- 2006 International Fire Prevention Code
- 2005 NFPA National Electrical Code
- DC Law 8-36 District of Columbia Environmental Policy Act of 1989
- DCMR 12 Building Code Regulations (2008)
- DCMR Title II - Zoning Regulations
- Green Building Act of 2006
- NFPA-12 Fire Alarm Code
- NFPA-13 Sprinkler Code
- 2010 ADA Standards for Accessible Design

BUILDING DATA

OCCUPANCY TYPE	PRIMARY USE GROUP: RESIDENTIAL R-1 / HOTEL (TRANSIENT) ACCESSORY USE GROUP: B / A-2 / A-3 NON SEPARATED USES
CONSTRUCTION TYPE	TYPE I B, FULLY SPRINKLERED
HIGH RISE	YES
HEIGHT / NUMBER OF STORIES	ALLOWABLE: 11 STORIES ACTUAL: 9 STORIES / 88'-10" (HIGHEST OCCUPIED FLR)
TOTAL BUILDING GROSS AREA	ALLOWABLE: TYPE IB - UNLIMITED (U.L.) PER FLOOR ACTUAL: LOWER LEVEL 2 - 8,245 SF LOWER LEVEL 1 - 6,484 SF LEVEL ONE - 16,199 SF LEVELS TWO THRU EIGHT - 11,222 SF PER FLOOR x 7 FLOORS = 78,554 SF LEVEL NINE - 11,206 SF ROOF = 2,799 SF TOTAL BUILDING AREA: 124,626 SF
FIRE PROTECTION SYSTEM	FULLY AUTOMATIC FIRE SPRINKLER SYSTEM, NFPA 13

FIRE RESISTANCE REQUIREMENTS-TABLE 601:

STRUCTURAL FRAME (INCLUDING COLUMNS GIRDERS & TRUSSES)	2 HR
BEARING WALLS	
EXTERIOR	2 HR
INTERIOR	2 HR
NONBEARING WALLS	
INTERIOR	0 HR
FLOOR CONSTRUCTION (INCLUDING BEAMS & COLUMNS)	2 HR
ROOF CONSTRUCTION (INCLUDING BEAMS & COLUMNS)	1 HR

NONBEARING WALLS (TABLE 602):

EXTERIOR	FIRE SEPARATION DISTANCE	
	0-5 FT	1 HR
	5-10 FT	1 HR
	10-30 FT	1 HR
	OVER 30 FT	0 HR

MAXIMUM AREA OF EXTERIOR WALL OPENINGS (TABLE 704.8):

PROTECTED	FIRE SEPARATION DISTANCE (FT)	
	0-3	NOT PERMITTED
	GREATER THAN 3-5	15%
	GREATER THAN 5 TO 10	25%
	GREATER THAN 10 TO 15	45%
	GREATER THAN 15 TO 20	75%
	GREATER THAN 20 TO 25	NO LIMIT
	GREATER THAN 25 TO 30	NO LIMIT
	GREATER THAN 30	NO LIMIT

SHAFTS (707.4)	2 HR
FIRE SEPARATION WALLS (SINGLE OCCUPANCY) (706.3.9)	2 HR
FIRE PARTITION SEPARATING SLEEPING UNITS R-1 (708.1)	1 HR

CORRIDOR FIRE RESISTANCE RATING (TABLE 1018.1):

OCCUPANCY A & B	0 HR (W/FIRE SPRINKLER SYSTEM)
OCCUPANCY R	0.5 HR (W/ FIRE SPRINKLER SYSTEM)

EXIT REQUIREMENTS:

MAXIMUM TRAVEL DISTANCE TO EXIT (SPRINKLERED) (1016.1):	250 FEET
MAXIMUM DEAD END CORRIDOR LENGTH (1017.3):	20 FEET
EGRESS WIDTH PER PERSON SERVED (STAIRWAYS) (1005.1):	0.2 INCH
EGRESS WIDTH PER PERSON SERVED (1005.1):	0.15 INCH
MINIMUM CORRIDOR/AISLE WIDTH (1017.2):	44 INCHES
MINIMUM CLEAR OPENING OF EXIT DOORS (1008.1.1):	32 INCHES
MINIMUM STAIR WIDTH (1009.1):	44 INCHES
NUMBER OF EXITS AND CONTINUITY (1018.1):	2 EXITS PER FLOOR

THE AMERICANS WITH DISABILITIES ACT

TRANSIENT LODGING
TOTAL NUMBER OF UNITS IN HOTEL: 168
TOTAL NUMBER OF ACCESSIBLE UNITS REQ'D (INCLUDING ROLL-IN SHOWER #): 8
NUMBER OF UNITS WITH ROLL-IN SHOWERS REQUIRED: 2 MIN.
NUMBER OF UNITS WITHOUT ROLL-IN SHOWERS REQUIRED: 6 MIN.
TOTAL NUMBER OF UNITS FOR PERSONS WITH HEARING IMPAIRMENTS REQ'D: 14

BICYCLE PARKING REQUIREMENTS
REQUIRED BICYCLE PARKING SPACES: 5% OF PARKING = 3
PROVIDED BICYCLE PARKING SPACES: 6

PARKING REQUIREMENTS
REQUIRED PARKING SPACES: 168 ROOMS/4 + 17,105F/300 = 49
PROVIDED PARKING SPACES: 94 IN HYATT PLACE ADDITION GARAGE
14 IN THE MARRIOTT GARAGE (MARRIOTT HAS 140 EXISTING PARKING SPACES. THE MARRIOTT IS REQUIRED TO HAVE 92 SPACES PROVIDING 108 NON REQUIRED PARKING SPACES)

INTERIOR FINISHES (TABLE 803.5)
SMOKE DENSITY DEVELOPED 0-450
FLAME SPREAD

VERTICAL EXITS AND PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITWAYS	ROOMS AND ENCLOSED SPACES
CLASS B 26-75	CLASS B 26-75	CLASS C 76-200

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CONSULTANTS

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

DESCRIPTION	DATE
FINAL TPR APPROVED	08/28/2013
ADDENDUM #6	08/08/2013
FOUNDATION-TO-GRADE DWGS	07/29/2013
ADDENDUM #1	07/26/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50%CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013

PROJECT NO: 12069

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SHEET TITLE
CODE & ZONING ANALYSIS

A002

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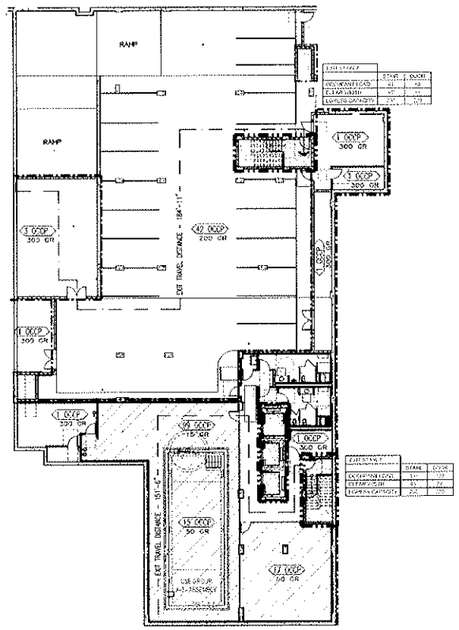
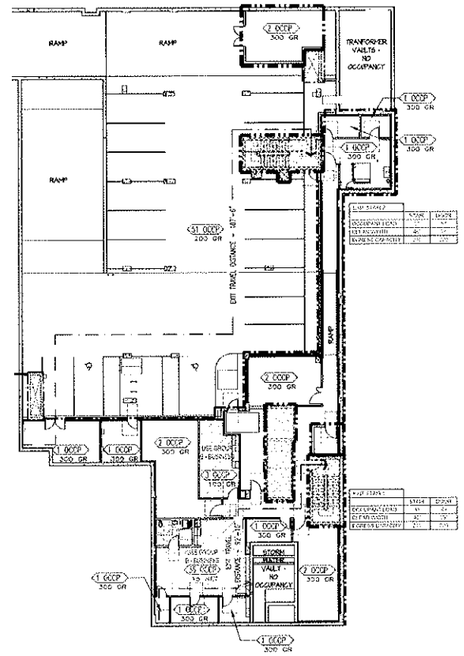


1 LIFE SAFETY PLAN - LL2
A003 1/16" = 1'-0"



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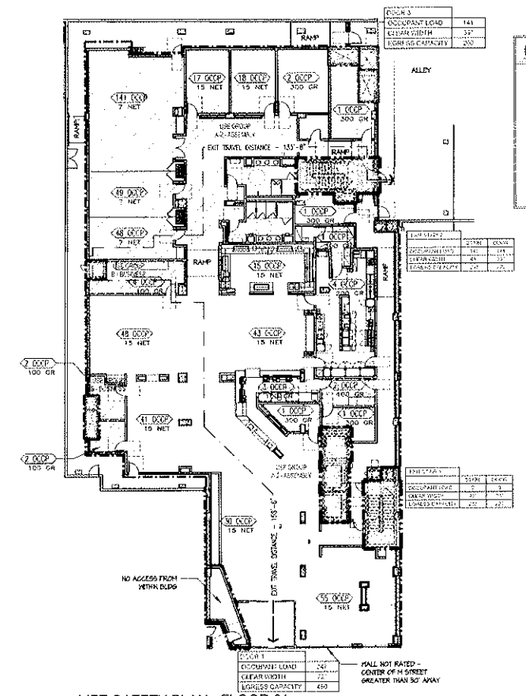
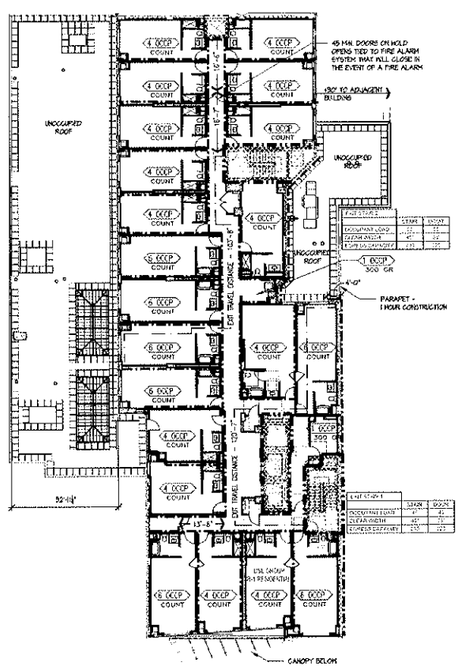


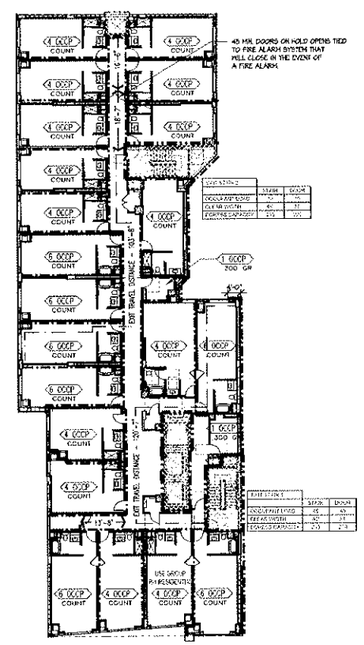
3 LIFE SAFETY PLAN - FLOOR 01
A003 1/16" = 1'-0"

LEGEND:

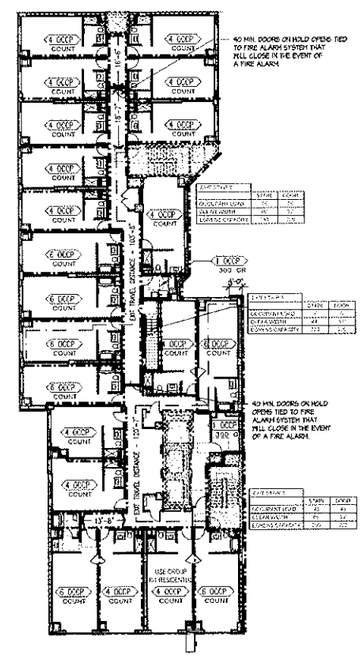
- 2 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED SHAFT
- 1 HOUR FIRE RATED SHAFT
- 1 HOUR FIRE RATED PARTITION
- TRAVEL DISTANCE
- USE GROUP A-3 - ASSEMBLY
- USE GROUP B - BUSINESS



4 LIFE SAFETY PLAN - FLOOR 02
A003 1/16" = 1'-0"



5 LIFE SAFETY PLAN - FLOORS 3-8
A003 1/16" = 1'-0"



6 LIFE SAFETY PLAN - FLOOR 09
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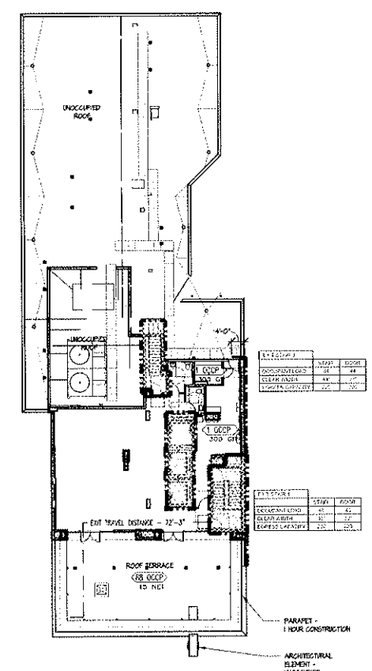

7 LIFE SAFETY PLAN - ROOF TERRACE
A003 1/16" = 1'-0"

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CONSULTANTS

FINAL TPR APPROVED	08/28/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50%CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013
DESCRIPTION	DATE

PROJECT NO. 12069

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SHEET TITLE
LIFE SAFETY PLANS

Hyatt Place Hotel
2121 M Street, NW
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A003

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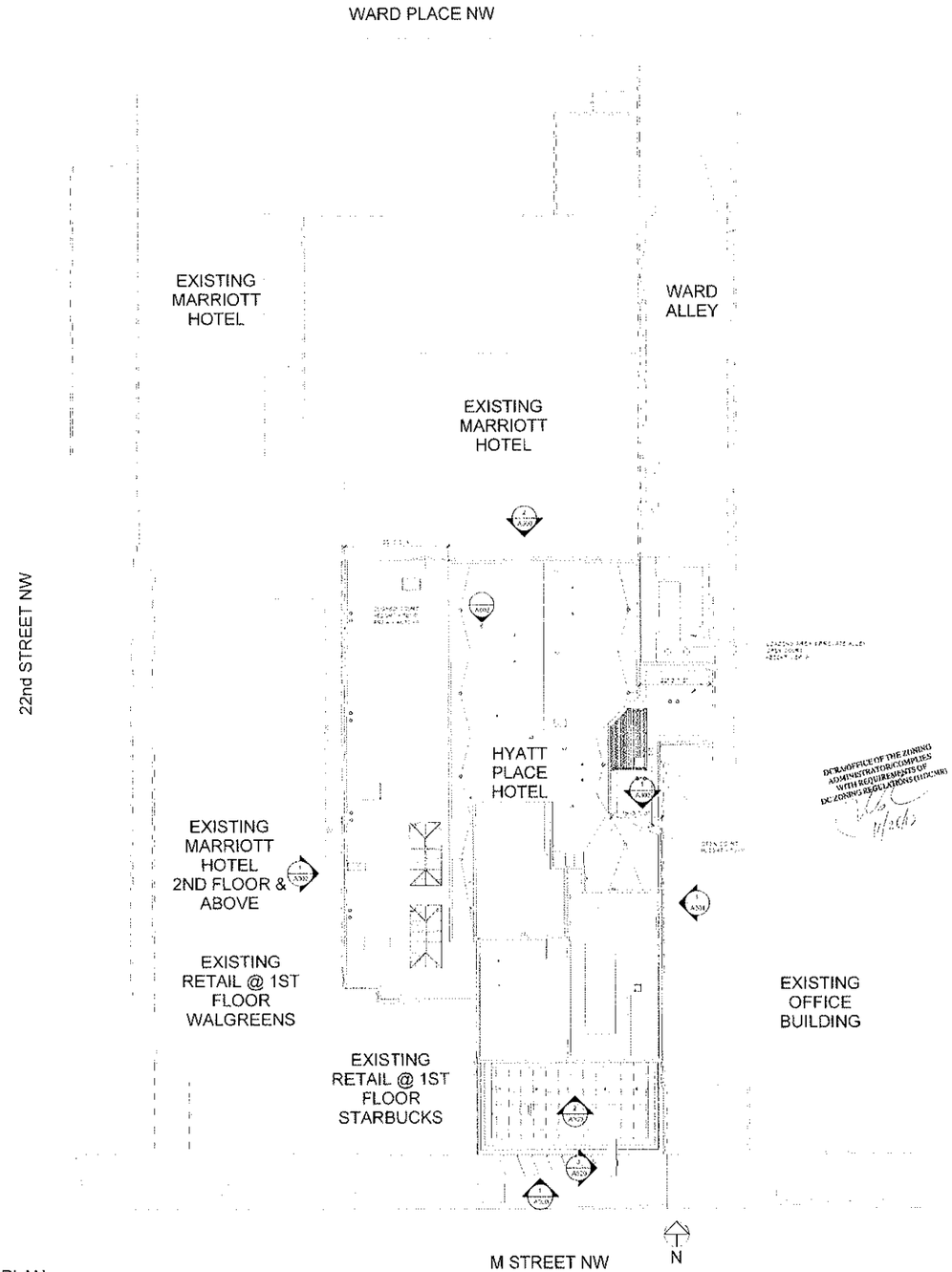

1 SITE PLAN
1/16" = 1'-0"

JONATHAN NEIMER + ASSOCIATES, INC.

ARCHITECTURE
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WWW.NEIMER.COM

CONSULTANTS:

This professional service of the architect was rendered in a manner generally accepted in the vicinity of Washington, D.C. No other warranty or guarantee is assumed by the architect for damages of any person or entity involved in the project.

DCRA OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	PRELIMINARY REVIEW	05.23.2011
	ZONING REVIEW	06.06.2011
	REVISED PRELIMINARY	06.17.2011
	ISSUED FOR PERMIT	06.24.2011
	50% CONSTRUCTION DOCUMENTS	08.22.2011
	ISSUED FOR PERMIT	09.06.2011
	90% CONSTRUCTION DOCUMENTS	12.31.2011
	100% SCHEMATIC DESIGN	03.06.2012

Project Number: 12053

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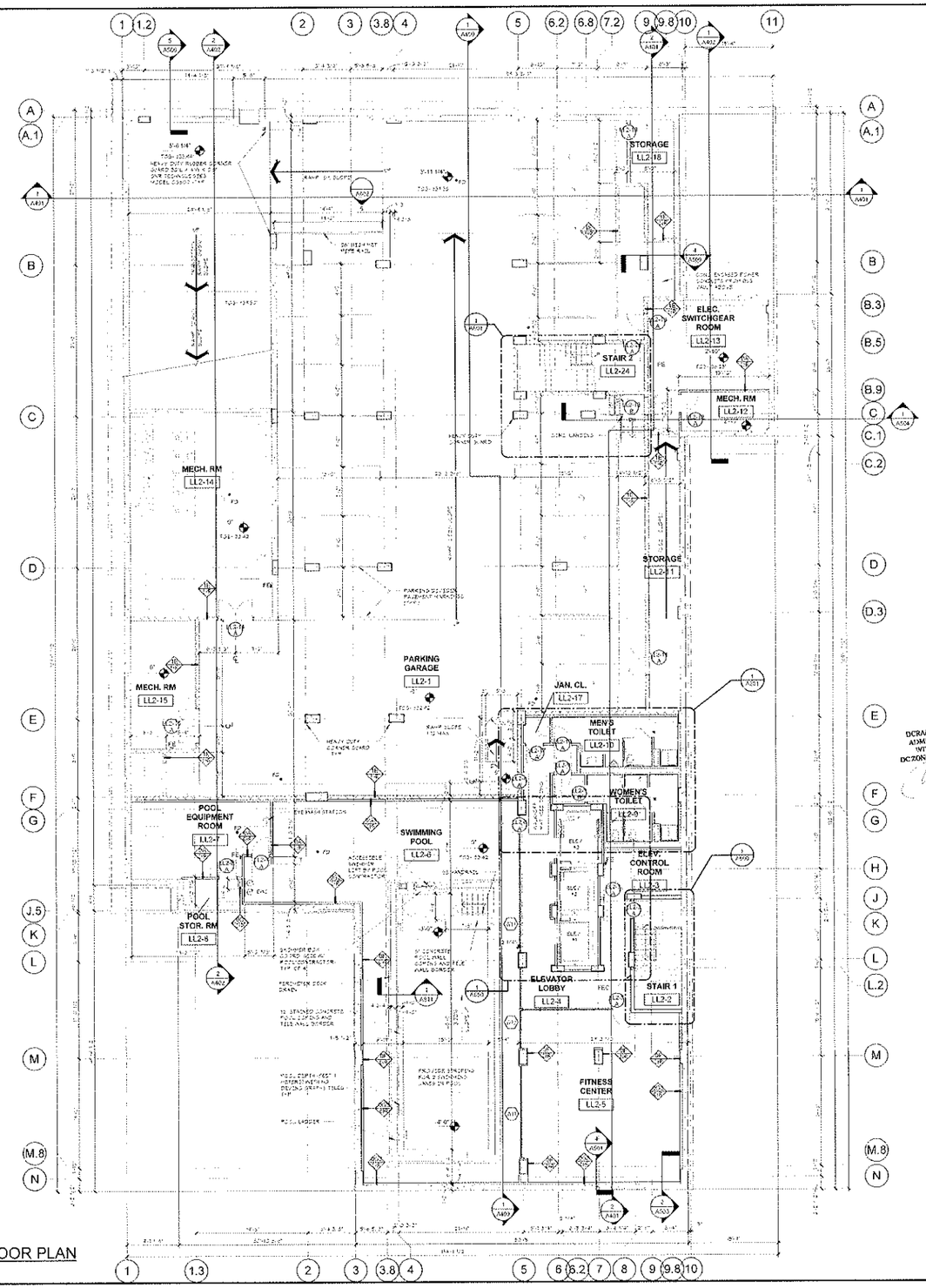
Sheet Title:

ARCHITECTURAL SITE PLAN

A090



1 A100 LOWER LEVEL 2 FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7961 SHAWLUN PLACE, SUITE 310
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703.872.1615 FAX 703.872.0943
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CONSULTANTS:

The professional services of this architect are undertaken for and are performed in the interest of Pennsylvania Centre, LLC. No contractual obligations are assumed by the architect to this benefit of any other person involved in this project.

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4/26/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL TRIAL APPROVED	08-26-2013
	ISSUED FOR BID	07-17-2013
	ISSUED FOR REVIEW	06-04-2013
	95% CONSTRUCTION DOCUMENTS	04-22-2013
	100% DESIGN DEVELOPMENT	03-08-2013
	50% DESIGN DEVELOPMENT	03-01-2013
	100% SCHEMATIC DESIGN	06-04-2012

Project Number: 12069

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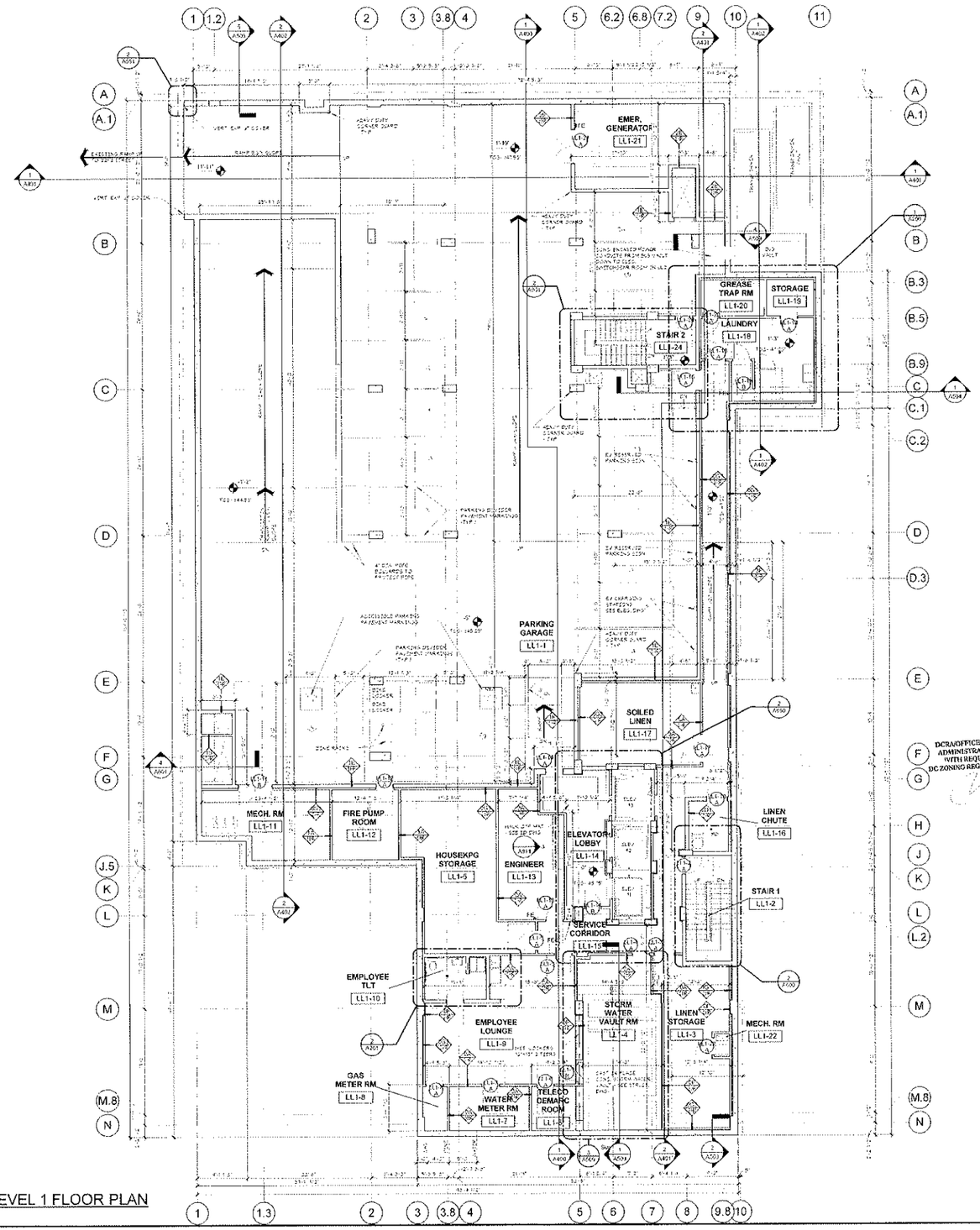
SHEET TITLE
LOWER LEVEL 2
FLOOR PLAN

A100



1 LOWER LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSERVATION CONSULTING

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CONSULTANTS

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Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL FPR APPROVED	06/26/2013
	ISSUED FOR BID	07/19/2013
	ISSUED FOR PERMIT	08/08/2013
	50% CONSTRUCTION DOCUMENTS	04/22/2013
	100% DESIGN DEVELOPMENT	03/08/2013
	50% DESIGN DEVELOPMENT	02/20/2013
	100% SCHEMATIC DESIGN	02/04/2013

Project Number 12069

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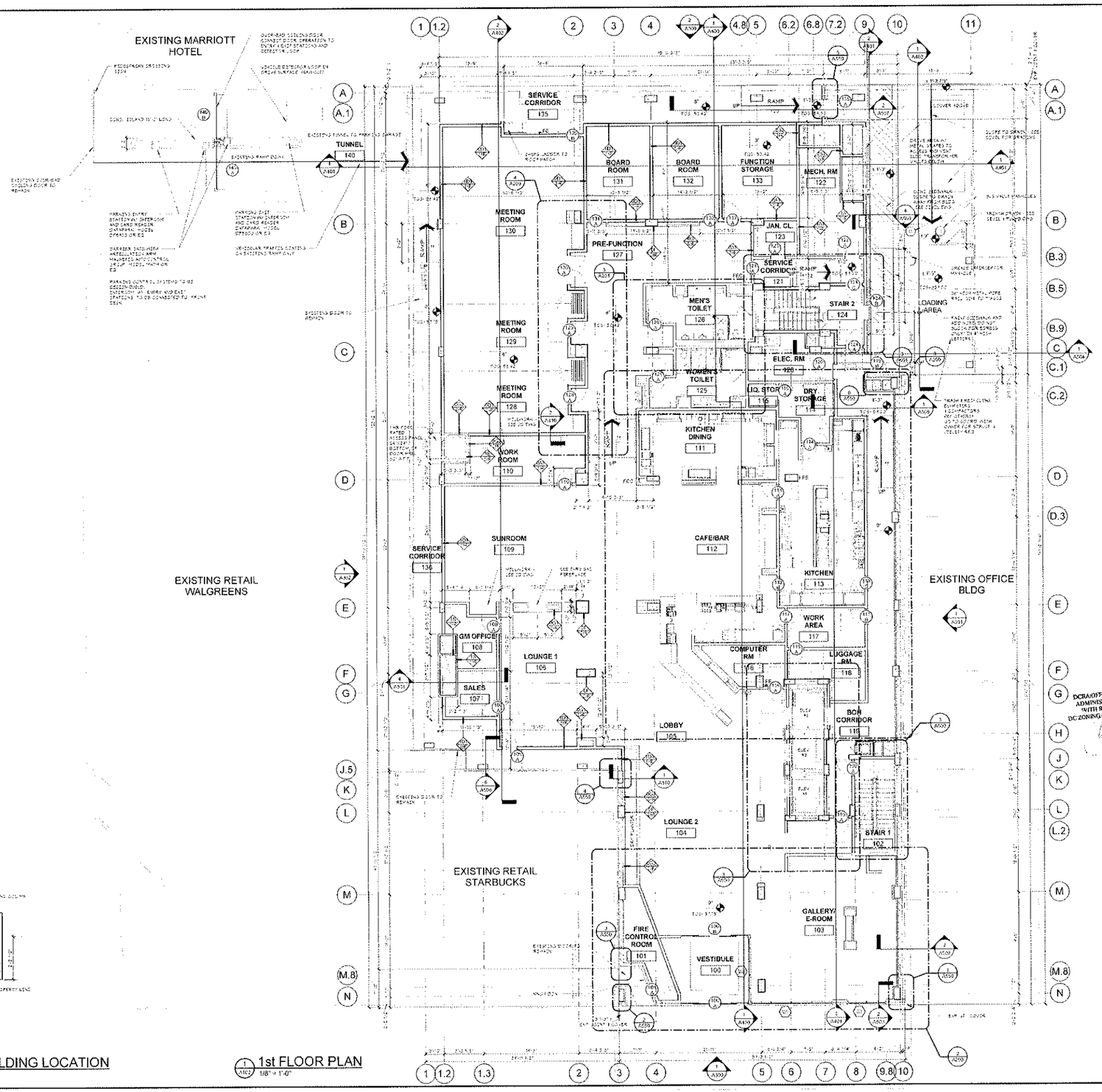
SHEET TITLE

LOWER LEVEL 1
FLOOR PLAN

A101



PLAN DETAIL -BUILDING LOCATION
1/2" = 1'-0"

1st FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
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CONSULTANTS:

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Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL PERMIT APPROVED	08/28/2013
1	ADDENDUM #6	08/06/2013
	ISSUED FOR BID	07/12/2013
	ISSUED FOR SERVICE	06/04/2013
	50% CONSTRUCTION DOCUMENTS	05/20/2013
	90% DESIGNER REVIEW	03/08/2013
	50% DESIGN DEVELOPMENT	02/01/2013
	100% SCHEMATIC DESIGN	09/04/2013

Project Number: 12069

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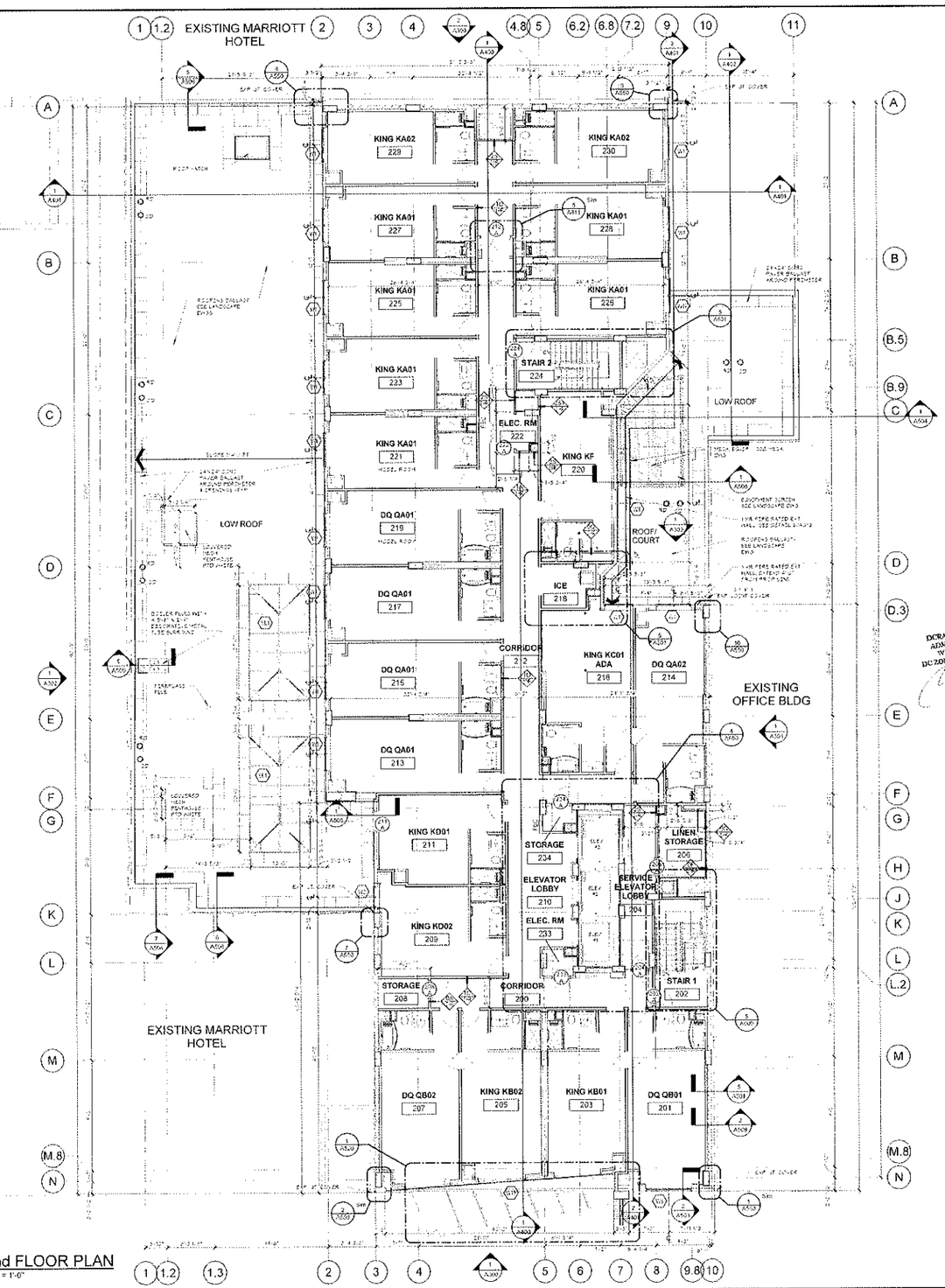
SHEET TITLE
1st FLOOR PLAN

A102



1 2nd FLOOR PLAN
A101 1/8" = 1'-0"

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ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

CONSULTANTS:

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4/26/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL NFR APPROVED	06/28/2013
1	ADDENDUM #1	08/08/2013
	ISSUED FOR BID	07/12/2013
	ISSUED FOR PERMIT	06/04/2013
	50% CONSTRUCTION DOCUMENTS	04/22/2013
	100% DESIGN DEVELOPMENT	02/06/2013
	50% DESIGN DEVELOPMENT	02/01/2013
	100% SCHEMATIC DESIGN	01/04/2013

Project Number: 12059

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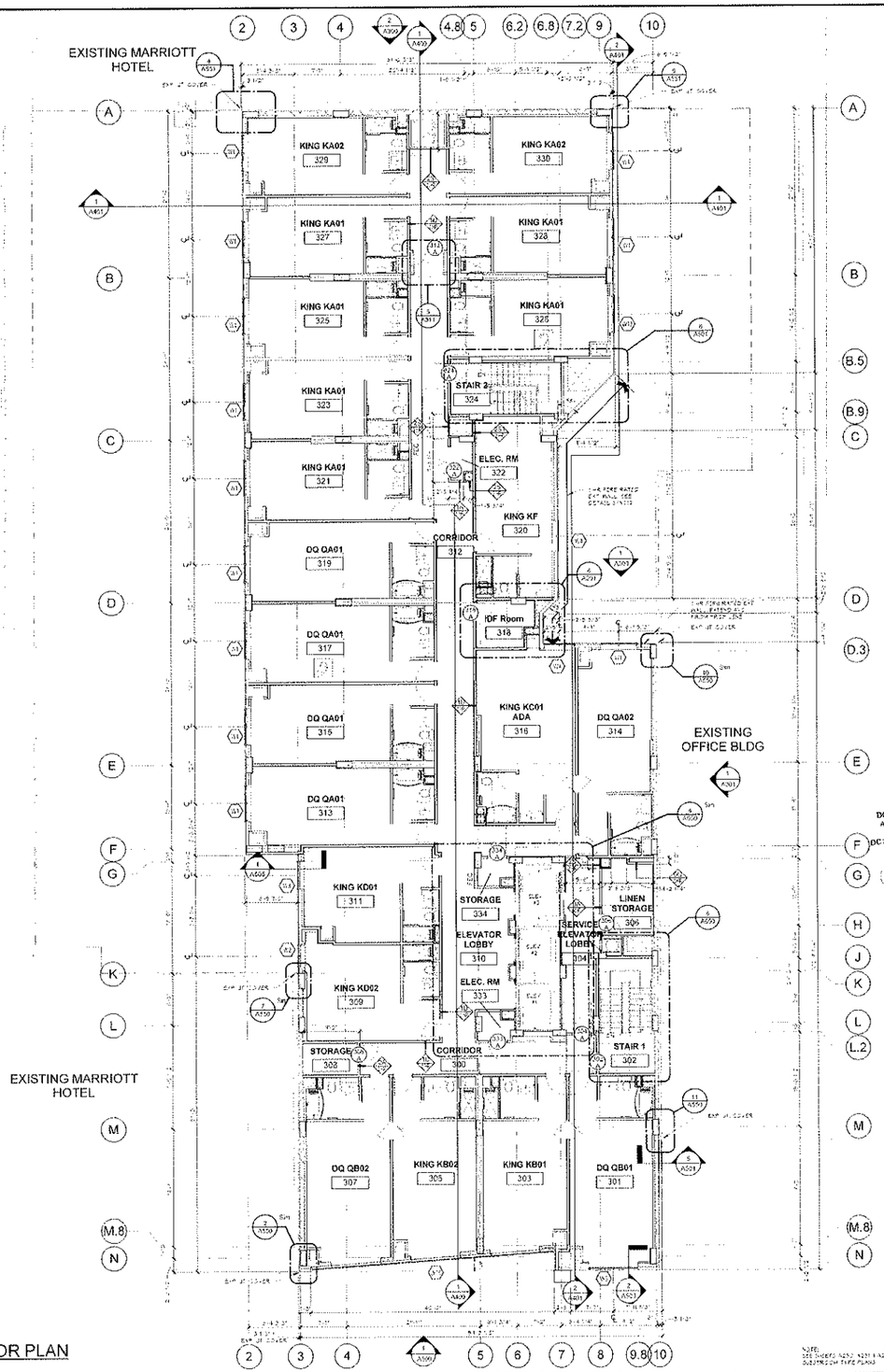
SUBJECT TITLE:
2nd FLOOR PLAN

A103



1 3rd FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7361 CALHOUN PLACE, SUITE 360
ROCKVILLE, MARYLAND 20855
301.670.1035 FAX 301.670.5043
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CONSULTANTS

DISTRICT OF COLUMBIA
SCOTT HERB POOLE
No. 14
REGISTERED
ARCHITECT

This professional instrument of the architect are valid only for use and performance on the subject of Pennsylvania Center, LLC. No contractual obligation is assumed by the architect or by the architect's any other person involved in this project.

DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIANCE WITH REQUIREMENTS OF THE DC ZONING REGULATIONS ONLY

Hyatt Place Hotel

2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL TER APPROVED	08/26/2013
1	ADDENDUM #1	08/06/2013
	ISSUED FOR BID	07/17/2013
	ISSUED FOR REVIEW	06/04/2013
	50% CONSTRUCTION DOCUMENTS	04/22/2013
	95% DESIGN DEVELOPMENT	03/06/2013
	50% DESIGN DEVELOPMENT	02/08/2013
	100% SCHEMATIC DESIGN	01/04/2013

Project Number: 12059

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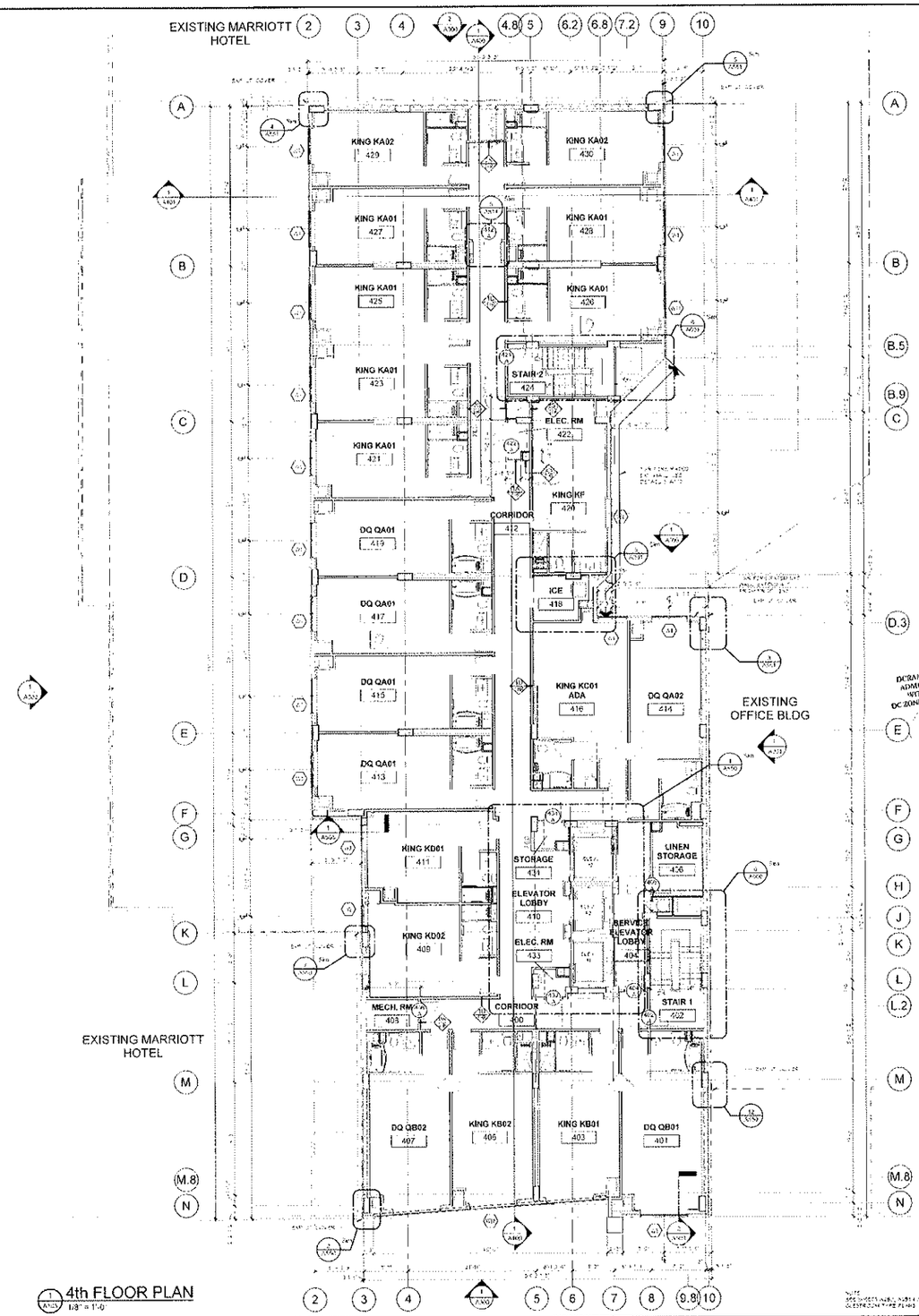
SHEET TITLE

3rd FLOOR PLAN

A104



1 4th FLOOR PLAN
1/8" = 1'-0

JONATHAN NEHMER + ASSOCIATES, INC.

DCRA/OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)
11/16/15

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date

Project Number: 12068

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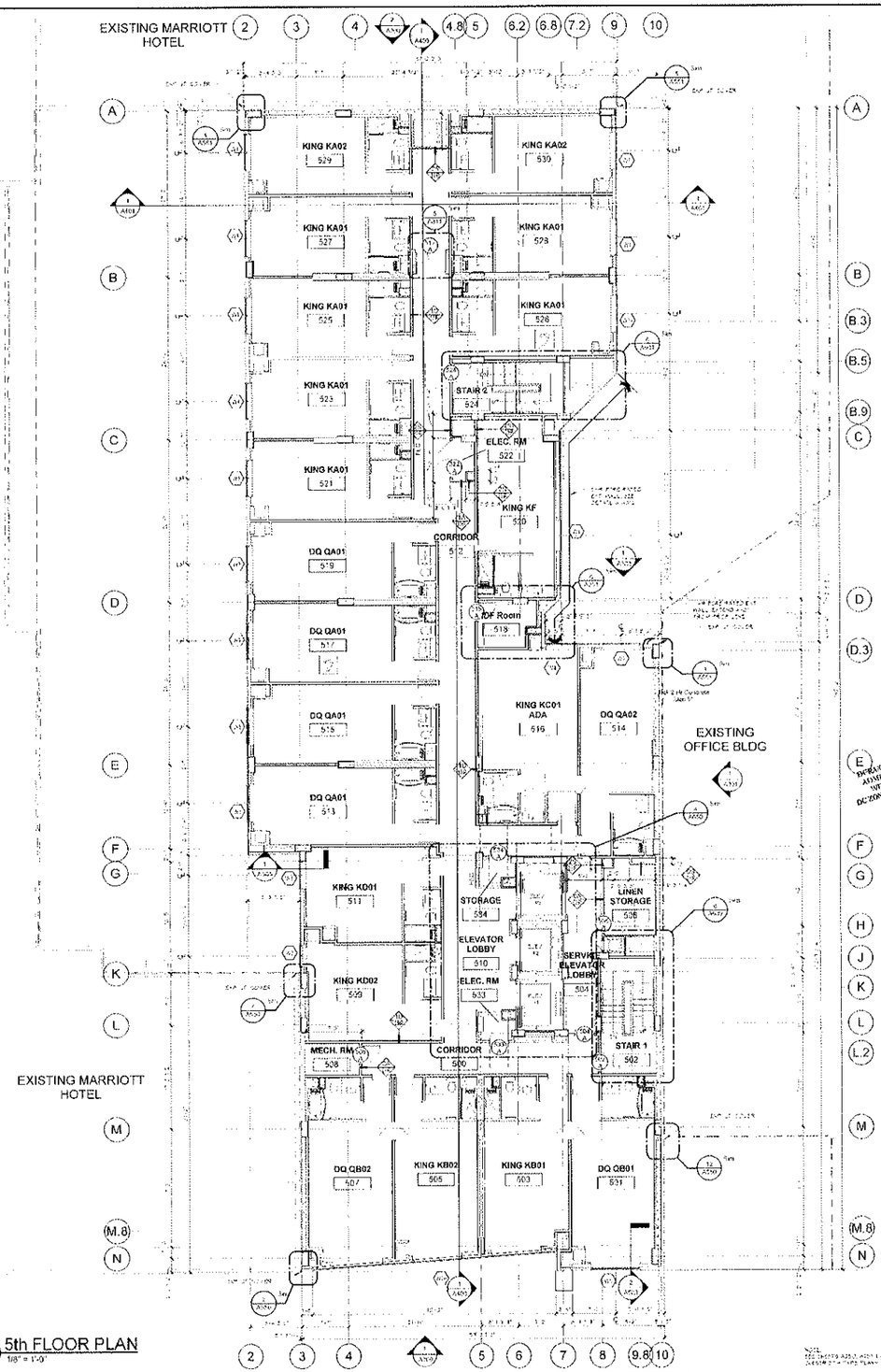
4th FLOOR PLAN

A105



1 5th FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

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CONSULTANTS

OFFICE OF THE ZONING ADMINISTRATOR
DC ZONING REGULATIONS (11DCMR)
11/14/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	30% DESIGN REVIEW SET	09/24/2013
	60% CONSTRUCTION DOCUMENTS	09/30/2013
	90% CONSTRUCTION DOCUMENTS	10/11/2013
	100% CONSTRUCTION DOCUMENTS	11/04/2013
	100% DESIGN DEVELOPMENT	04/22/2013
	60% DESIGN DEVELOPMENT	03/01/2013
	30% DESIGN DEVELOPMENT	01/04/2013

Project Number 12069

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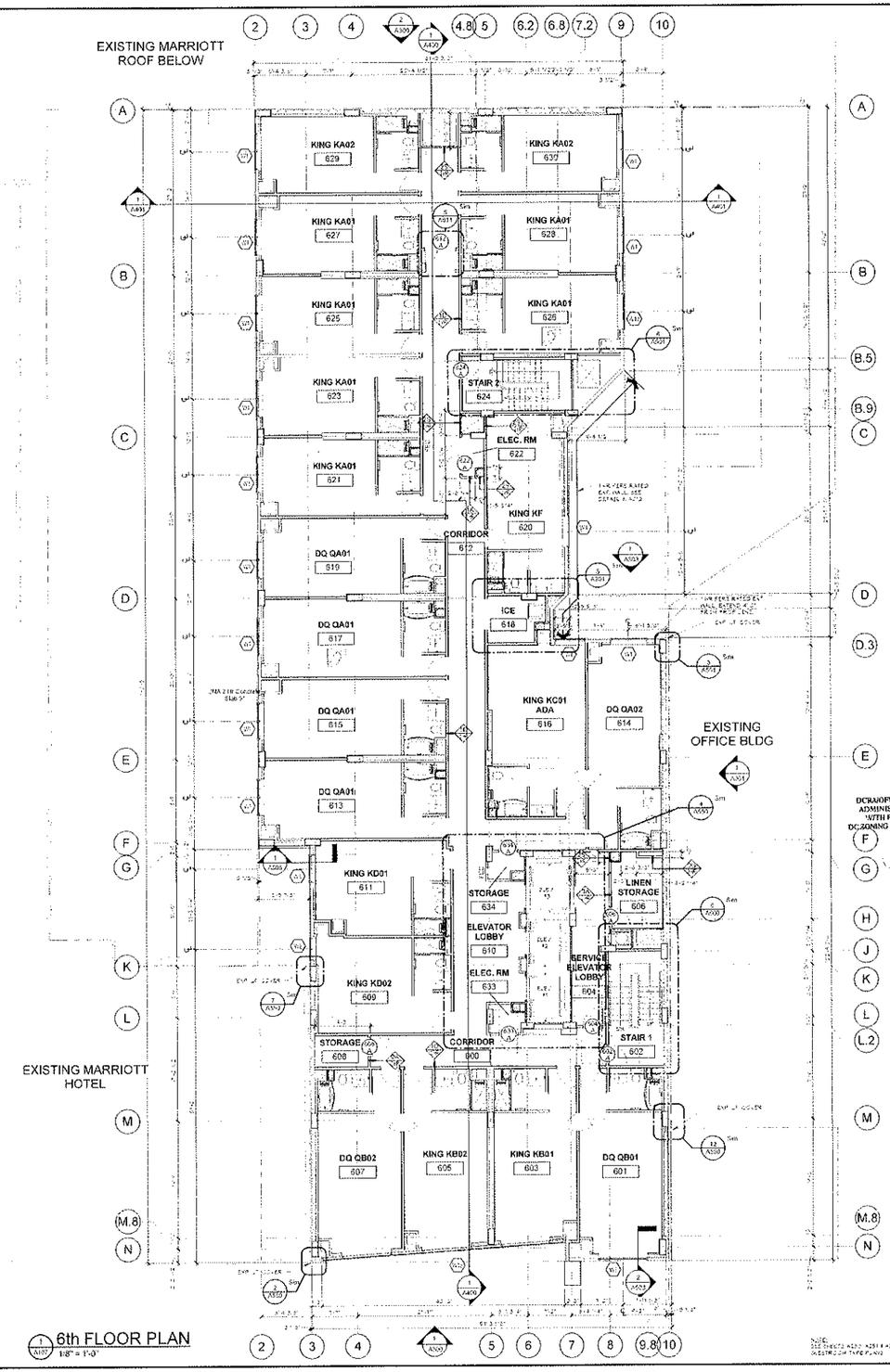
SHEET TITLE
5th FLOOR PLAN

A106



1 A107 6th FLOOR PLAN
1/8" = 1'-0"

DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (HDCMR)

NOTE:
SEE SHEETS A201, A202 & A203 FOR ENLARGED ARCHITECTURAL TYPE PLANS

JNA

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION DOCUMENTS

7101 CALHOUN PLACE, SUITE 300
ROCKVILLE, MARYLAND 20855
301.570.1835 FAX 301.420.9043
www.jnaarch.com

CONSULTANTS:

The professional services of the architect are undertaken for and are performed in the interest of the Hyatt Place Chevy, LLC. No contractual obligation is assumed by the architect to the benefit of any other persons involved in the project.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL BPR - APPROVED	05/29/2013
	ADDENDUM #4	05/09/2013
	ISSUED FOR BID	02/07/2013
	ISSUED FOR REVIEW	04/04/2013
	50% CONSTRUCTION DOCUMENTS	04/22/2013
	75% DESIGN DEVELOPMENT	03/08/2013
	50% DESIGN DEVELOPMENT	02/01/2013
	100% SCHEMATIC DESIGN	01/04/2013

Project Number 12069

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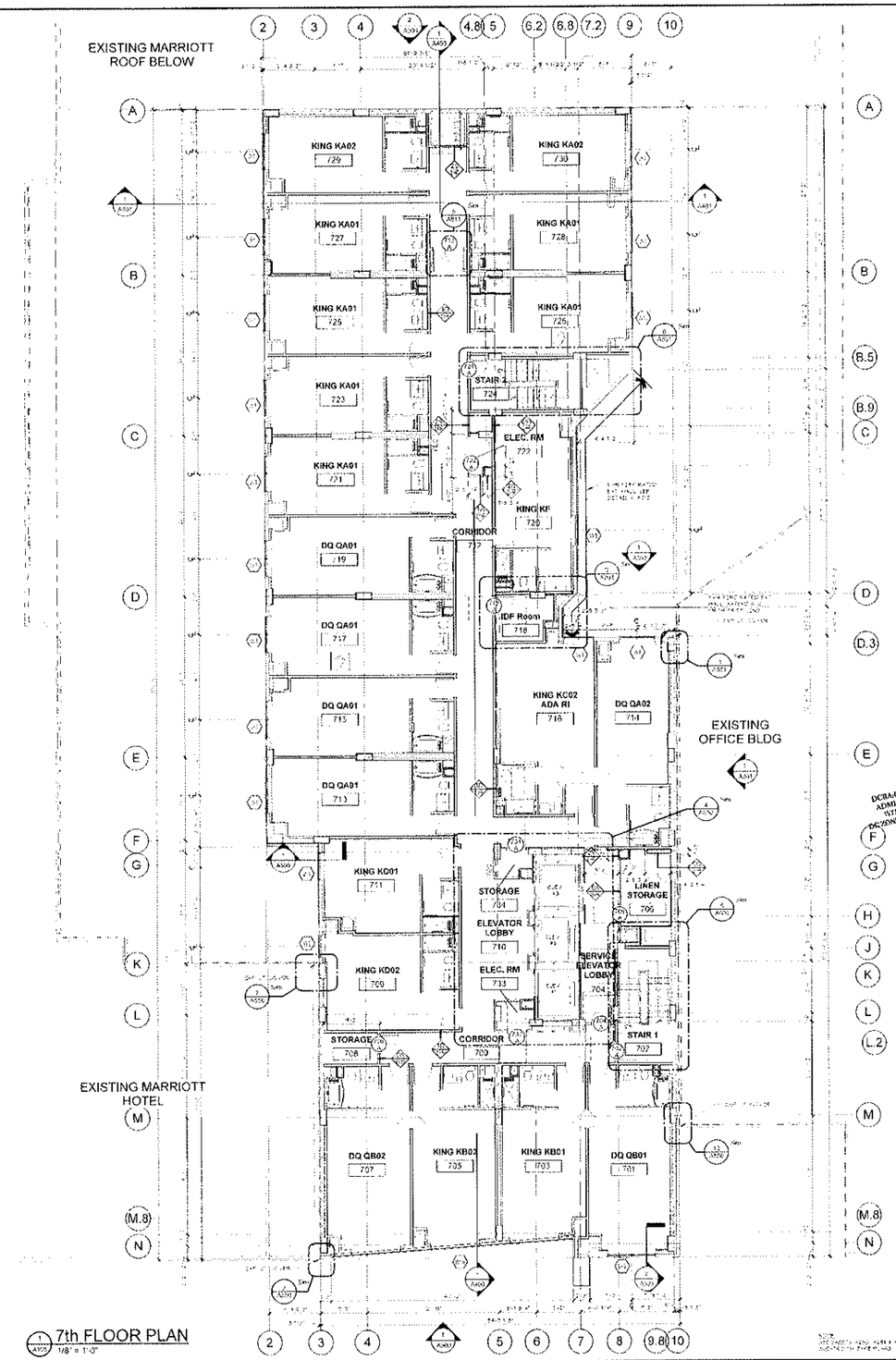
SHEET TITLE
6th FLOOR PLAN

A107



7th FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

DCRA OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL SITE PLAN SUBMITTAL	06-26-2013
1	ADDENDUM #1	08-09-2013
	ISSUED FOR PERMIT	07-17-2014
	ISSUED FOR REVIEW	05-06-2015
	50% CONSTRUCTION DOCUMENTS	04-22-2015
	100% DESIGN DEVELOPMENT	03-06-2015
	50% DESIGN DEVELOPMENT	02-09-2015
	100% SCHEMATIC DESIGN	01-04-2015

Project Number: 12009

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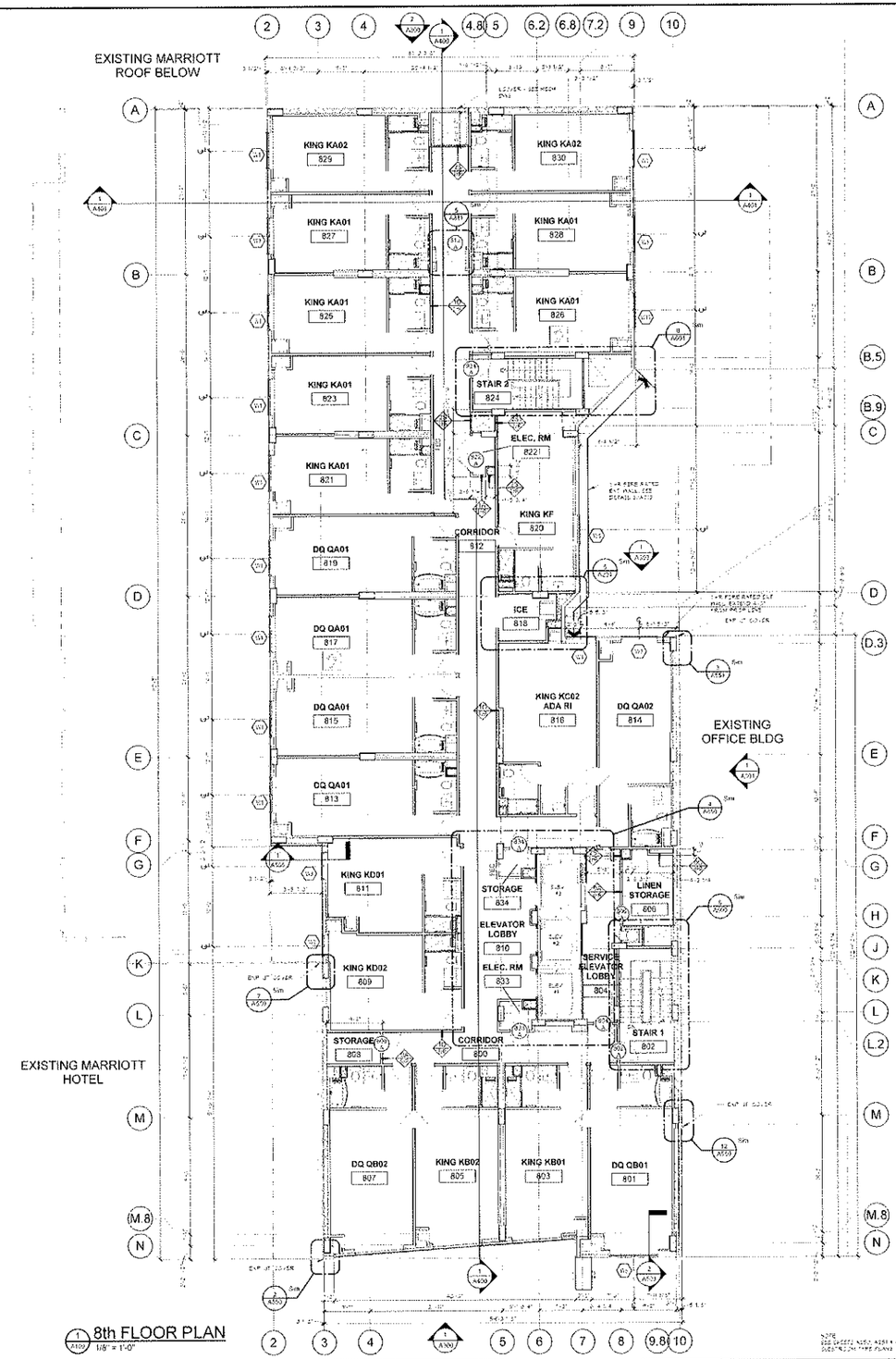
SHEET TITLE
7th FLOOR PLAN

A108



1 A109 8th FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.
ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7164 COLUMBIA PIKE, SUITE 310
ROCKVILLE, MARYLAND 20855
301.670.1035 FAX 301.670.9643
www.jnaarchitect.com

CONSULTANTS:

DISTRICT OF COLUMBIA
JONATHAN NEHMER
No. 3000
REGISTERED
ARCHITECT

The professional services of the architect are undertaken for sole use pursuant to the agreement of Hyatt Place Cinema, LLC. No contractual obligations are assumed by the architect for the benefit of any other persons involved in the project.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

DC RA OFFICE OF THE ZONING ADMINISTRATOR CALCULATIONS WITH REQUIREMENTS OF DC ZONING REGULATIONS (DCMR)
11/20/12

FINAL TFR APPROVED	06/26/2013
ADDENDUM #6	06/04/2013
ISSUED FOR BID	05/17/2013
ISSUED FOR REVIEW	05/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/28/2013
50% DESIGN DEVELOPMENT	02/21/2013
100% SCHEMATIC DESIGN	01/04/2013

No.	Description	Date

Project Number: 12069

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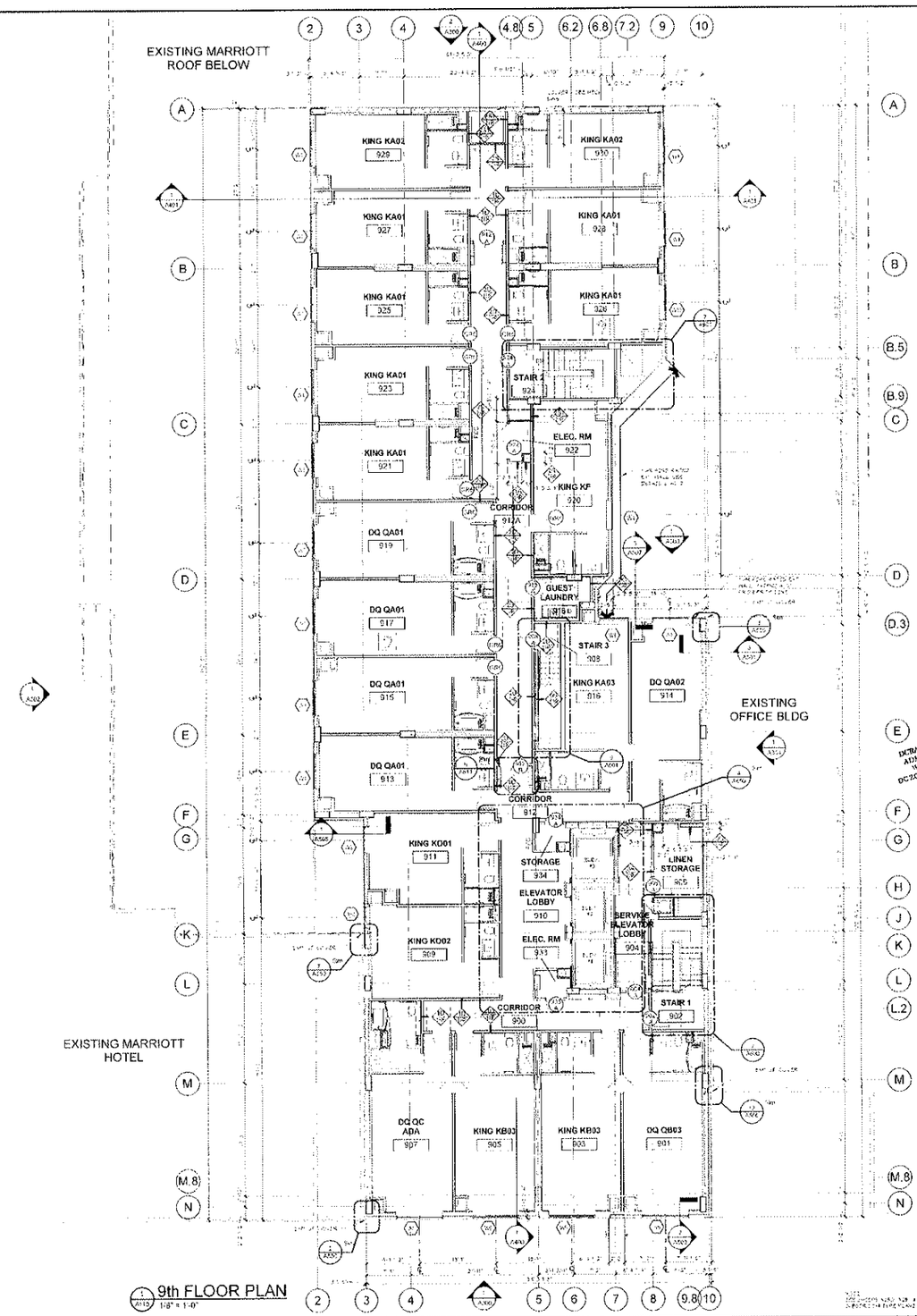
SHEET TITLE
8th FLOOR PLAN

A109



9th FLOOR PLAN
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.
ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

CONSULTANTS:

DCRA OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS 11/26/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date

Project number 12069

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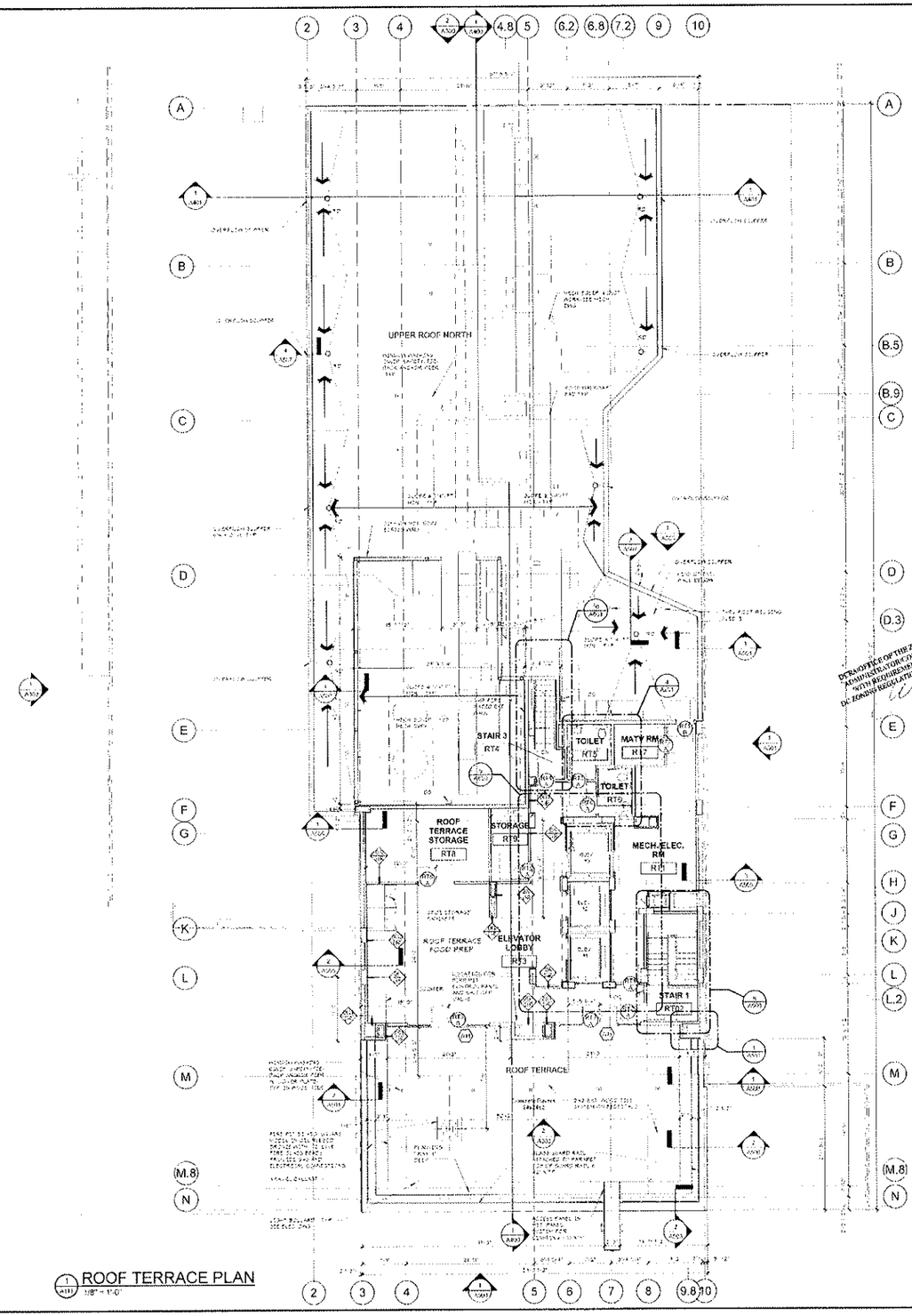
SHEET TITLE
9th FLOOR PLAN

A110



1 ROOF TERRACE PLAN
1/8" = 1'-0"

JONATHAN NEIMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

CONSULTANTS

DEMONSTRATION OF THE ZONING ADMINISTRATOR FOR COMPLIANCE WITH REQUIREMENTS OF DC ZONING REGULATIONS (11-X DCMR)
11/16/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL PUD APPROVED	04/08/2013
	ADDENDUM #1	04/08/2013
	PUD SUBMITTAL	02/27/2013
	ISSUED FOR REVIEW	06/24/2013
	50% CONSTRUCTION DOCUMENTS	08/22/2013
	50% DESIGN DEVELOPMENT	05/06/2013
	PRELIMINARY DESIGN	02/21/2013
	100% SCHEMATIC DESIGN	01/16/2013

Project Number 12009

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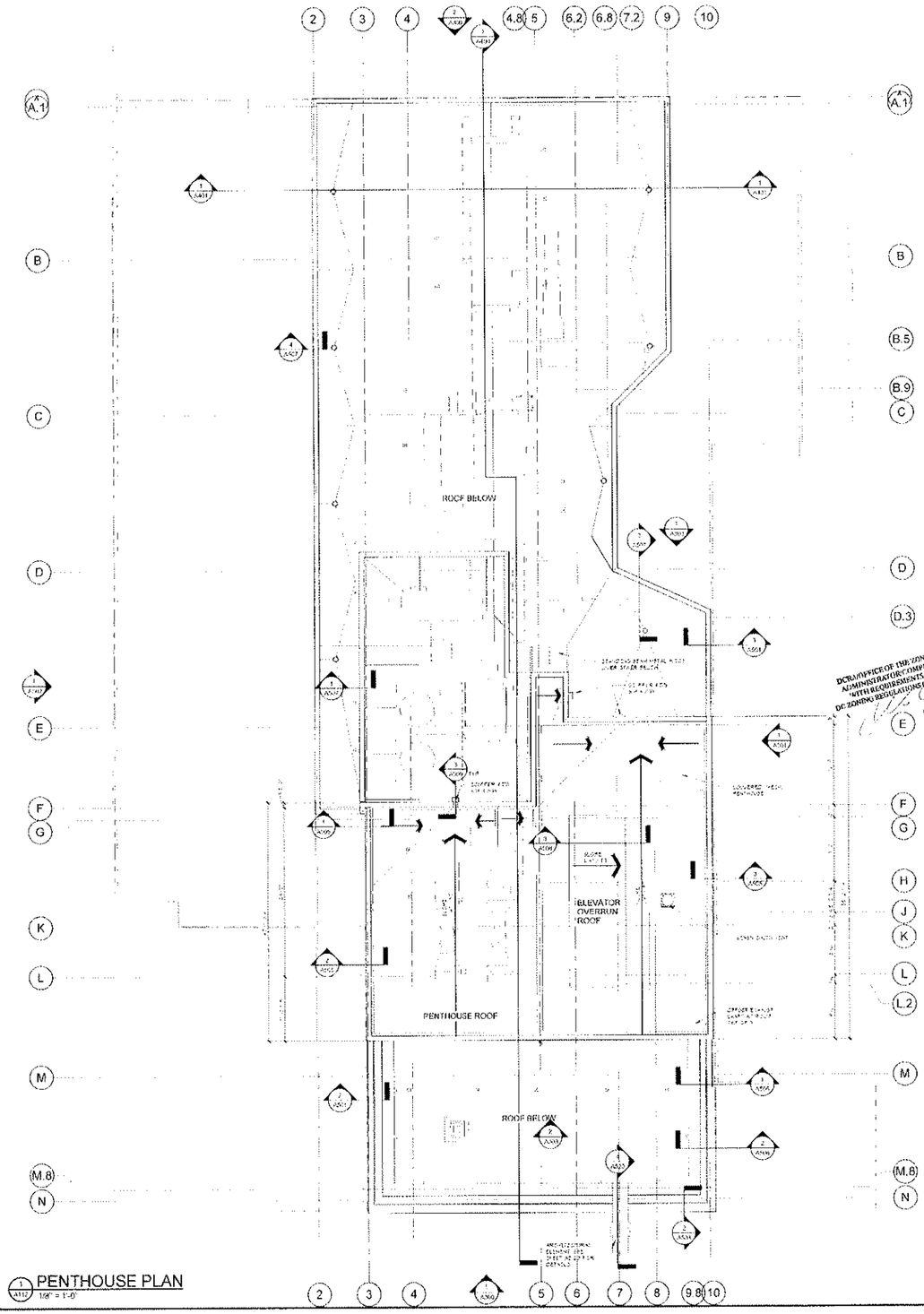
SHEET TITLE
ROOF TERRACE PLAN

A111



1 PENTHOUSE PLAN
A112 1/16" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

CONSULTANTS

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date

Project Number 12099

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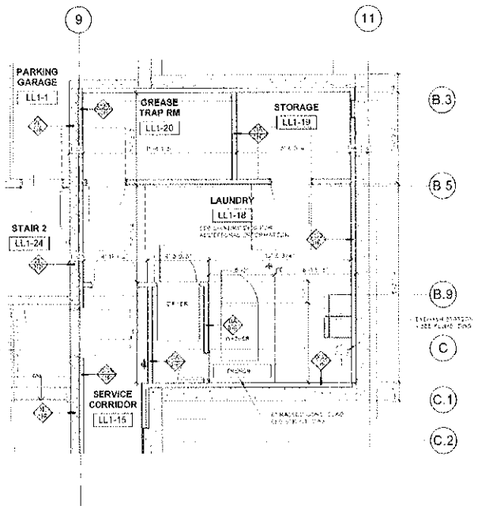
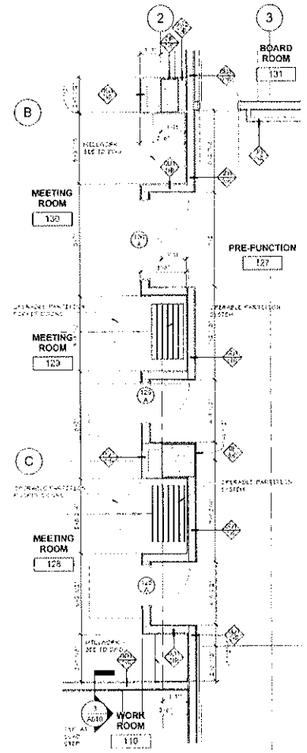
PENTHOUSE PLAN

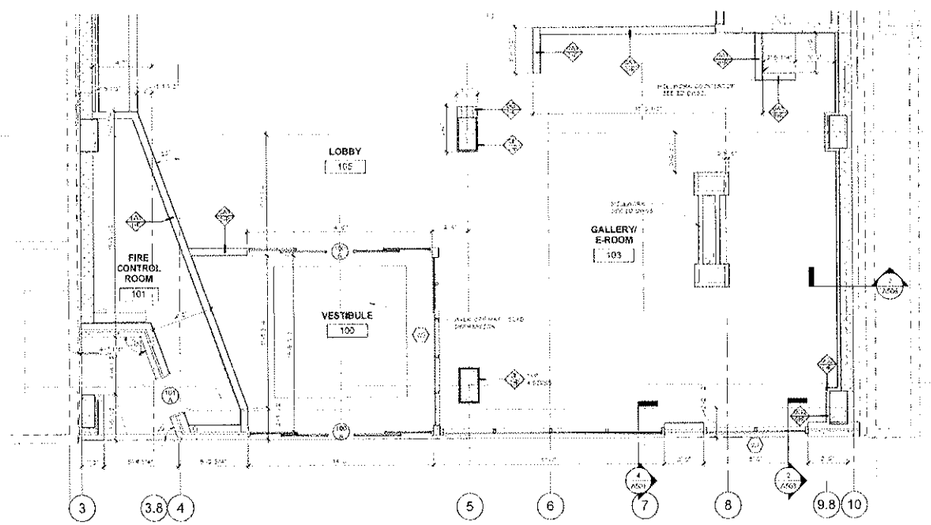
A112



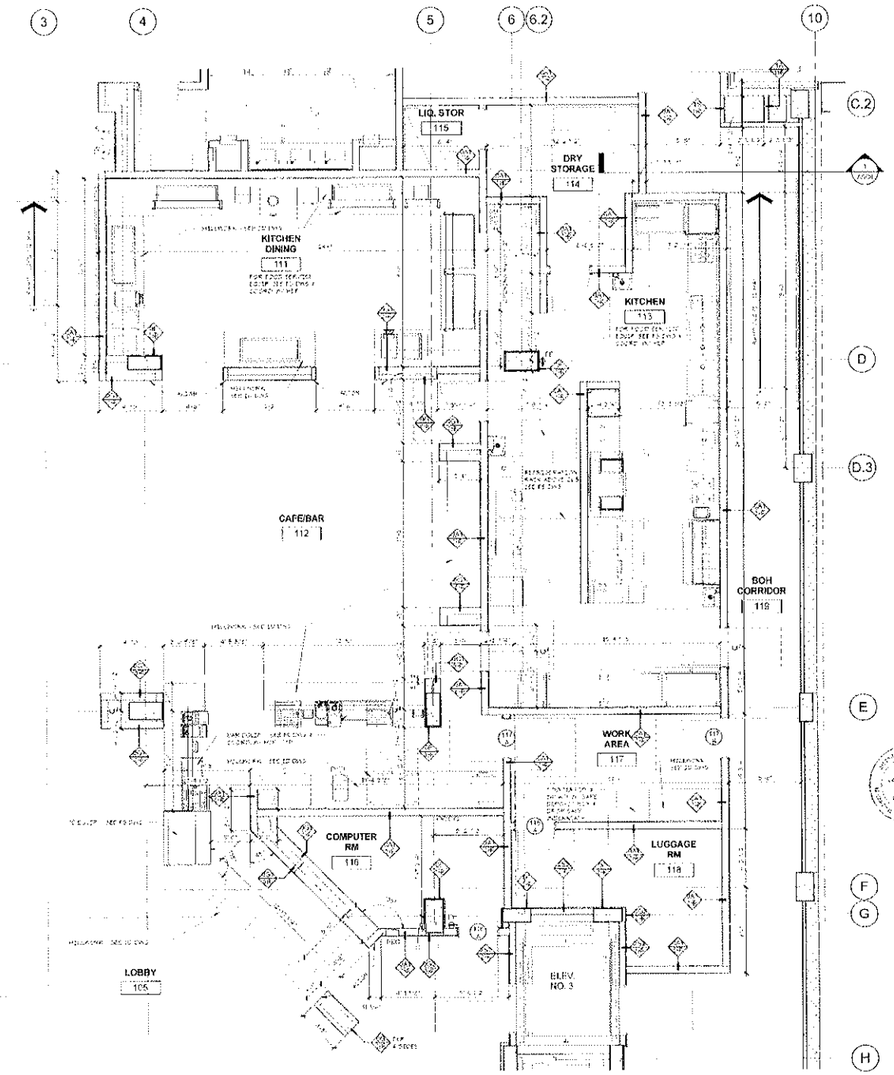
1 ENLARGED PLAN - LAUNDRY
1/4" = 1'-0"



4 ENLARGED PLAN - MEETING ROOM
1/4" = 1'-0"



2 ENLARGED PLAN - 1st FLOOR SOUTH
1/4" = 1'-0"



3 ENLARGED PLAN - 1st FLOOR CAFE'/BAR
1/4" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION DESIGN

2000 CONNECTICUT AVENUE, SUITE 200
WASHINGTON, DISTRICT OF COLUMBIA 20008
202.232.4035 FAX 202.232.8443
www.nehmer.com

CONSULTANTS

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL PERMIT ISSUE	09.25.2013
	ISSUED FOR PERMIT	07.10.2013
	ISSUED FOR BIDDING	06.04.2013
	95% CONSTRUCTION DOCUMENTS	04.22.2013
	90% CONSTRUCTION DOCUMENTS	03.08.2013
	60% DESIGN DEVELOPMENT	02.01.2013
	30% SCHEMATIC DESIGN	01.04.2013

Project Number: 12069

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SHEET TITLE
ENLARGED FLOOR PLANS

A200

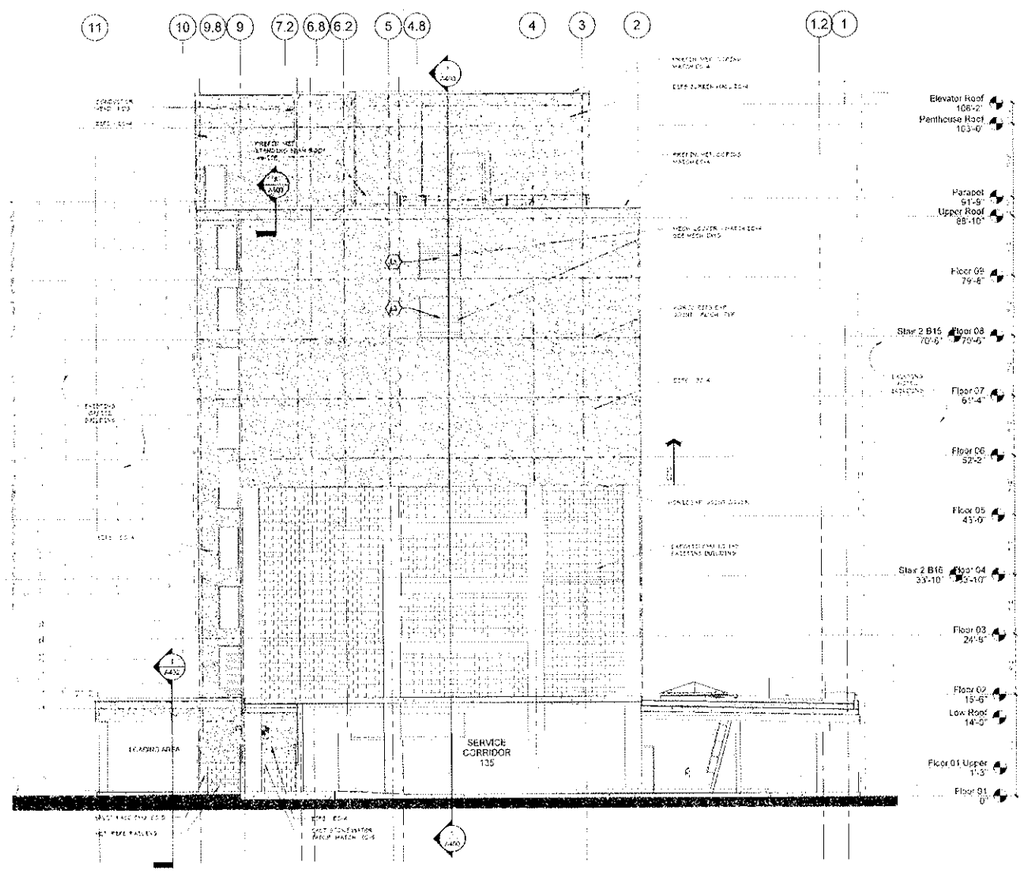
EXTERIOR FINISH MATERIAL LEGEND

TAG #	MATERIAL	COLOR	POCHE KEY
EC-1	PRE-CAST ARCHI-CONCRETE	SMOOTH PRECAST - 10M 95 SEA-H NATURAL GRAY COLOR, #112 AFORS LOVATEL	
EC-2	PRE-CAST ARCHI-CONCRETE	SMOOTH PRECAST - 10M 95 SEA-H DARK GREYWHITE COLOR, #581 HONEYBEE BROWN	
EC-3	METAL PANEL SYSTEM	ARTCLIC COLOR: ALPINE SILVER VARIEL	
EC-4	EIFS	DRYVIT COLOR: #113 ALASKAN WHITE FINISH: SANDPEBBLE FINE	
EC-5	SPLIT FACE CMU	TERRAWORTHY WINDOW COLOR: CARBON HORIZONTAL	

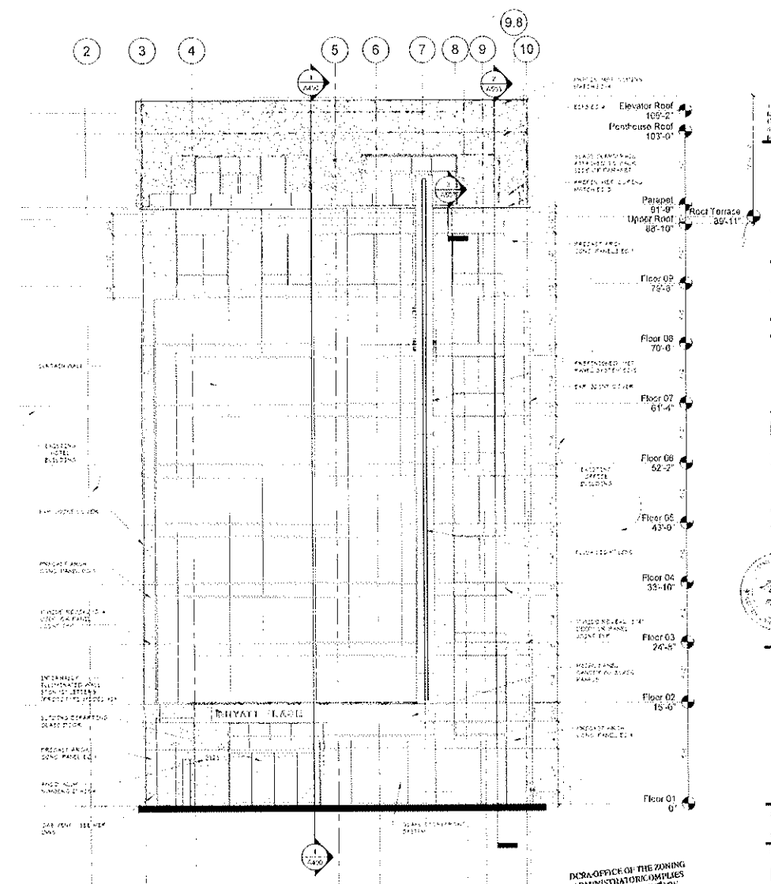
JONATHAN NEHMER + ASSOCIATES, INC.

NEHMER GROUP
DEVELOPMENT MANAGEMENT
CONSTRUCTION CONSULTING

7361 CALHOUN PLACE - SUITE 550
ROCKVILLE, MARYLAND 20855
301.871.1435 FAX 301.670.9043
www.nehmergroup.com



2 NORTH ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

DCRA-OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)
4/26/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL DEVELOPMENT PLAN	06.28.2013
	SUBMISSION PLAN	07.17.2013
	ISSUED FOR PERMIT	04.04.2013
	NON-CONSTRUCTION DOCUMENTS	04.22.2013
	100% DESIGN DEVELOPMENT	02.08.2013
	50% DESIGN DEVELOPMENT	02.08.2013
	100% SCHEMATIC DESIGN	01.04.2013

Project Number: 12069

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SHEET TITLE
NORTH & SOUTH ELEVATIONS

A300

EXTERIOR FINISH MATERIAL LEGEND

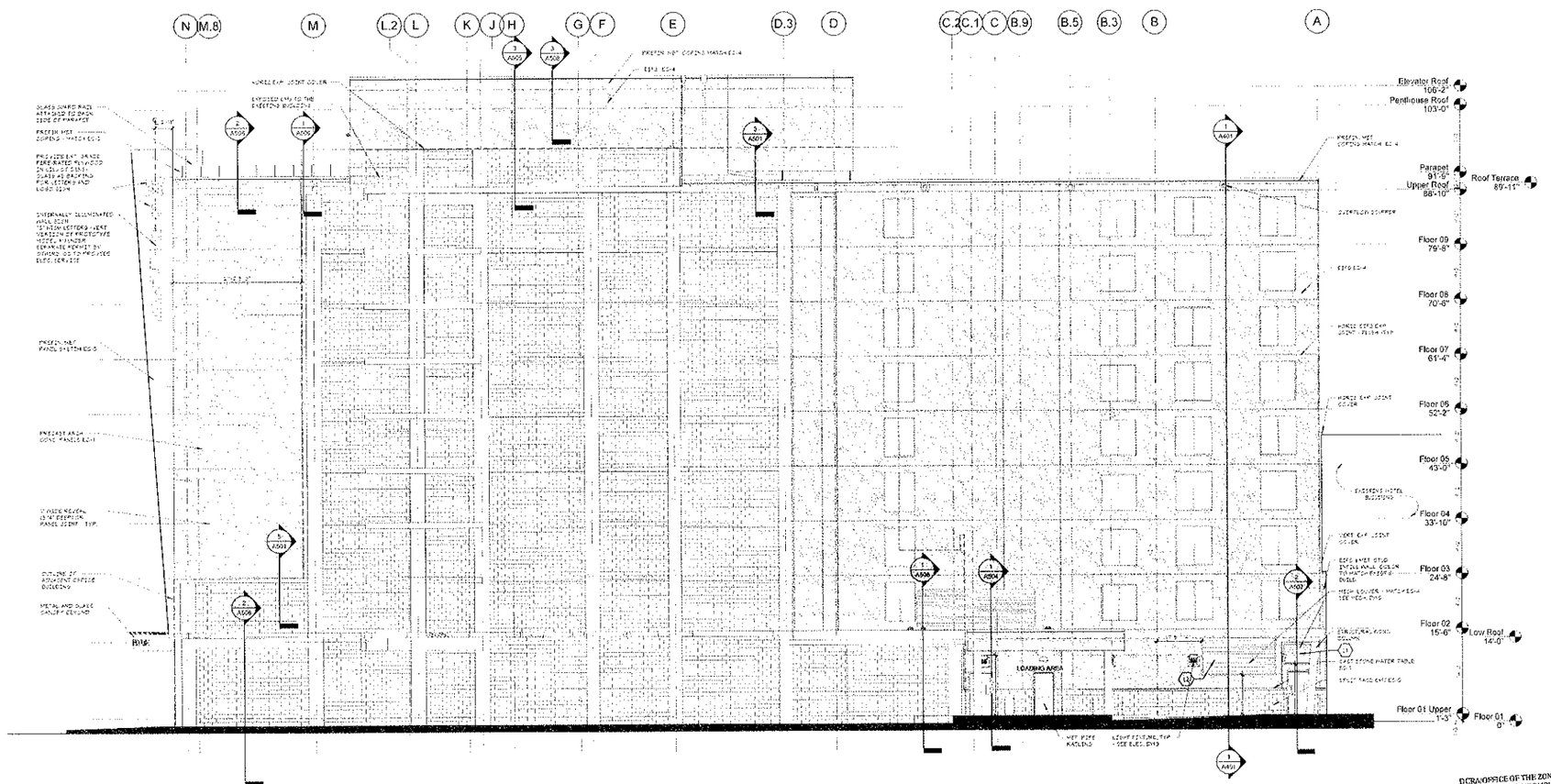
TAG #	MATERIAL	COLOR	POCHE KEY
EC-1	PRECAST ARCH. CONCRETE	SHOCKEY PRECAST - 5334 SN 624 or MATCH DRYVIT COLOR #113 AMARILLO WHITE	
EC-2	PRECAST ARCH. CONCRETE	SHOCKEY PRECAST - 5339 SN 428 or MATCH DRYVIT COLOR #381 BUNSHER BROWN	
EC-3	METAL PANEL SYSTEM	ALPOLIC COLOR: ABMT-35 DIRT WHITE	
EC-4	EIFS	DRYVIT COLOR #113 AMARILLO WHITE FINISH - SANDFDEBLE FINE	
EC-5	SPLIT FACE CMU	BRIGANTINE MESASTONE COLOR: CARSON BROWN	

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CODE INFO

7261 CARROLLTON PLACE, SUITE 310
ROCKVILLE, MARYLAND 20855
301.570.1635 FAX 301.670.5643
www.nbinc.com

CONSULTANTS



1 EAST ELEVATION
A301 1/8" = 1'-0"

DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)
4/26/13

The professional services of the architect are rendered for and are performed in the interest of Renaissance Covina, LLC. No contractual obligations are assumed by the architect for the benefit of any other person involved in the project.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	HPRB - TIPA APPROVED	06/26/2013
	ADDENDUM #3 ISSUED FOR BID	06/05/2013
	ISSUED FOR REVIEW	05/24/2013
	50% CONSTRUCTION DOCUMENTS	04/12/2013
	100% DESIGN DEVELOPMENT	03/08/2013
	50% DESIGN DEVELOPMENT	02/04/2013
	100% SCHEMATIC DESIGN	01/04/2013

Project Number: 12089

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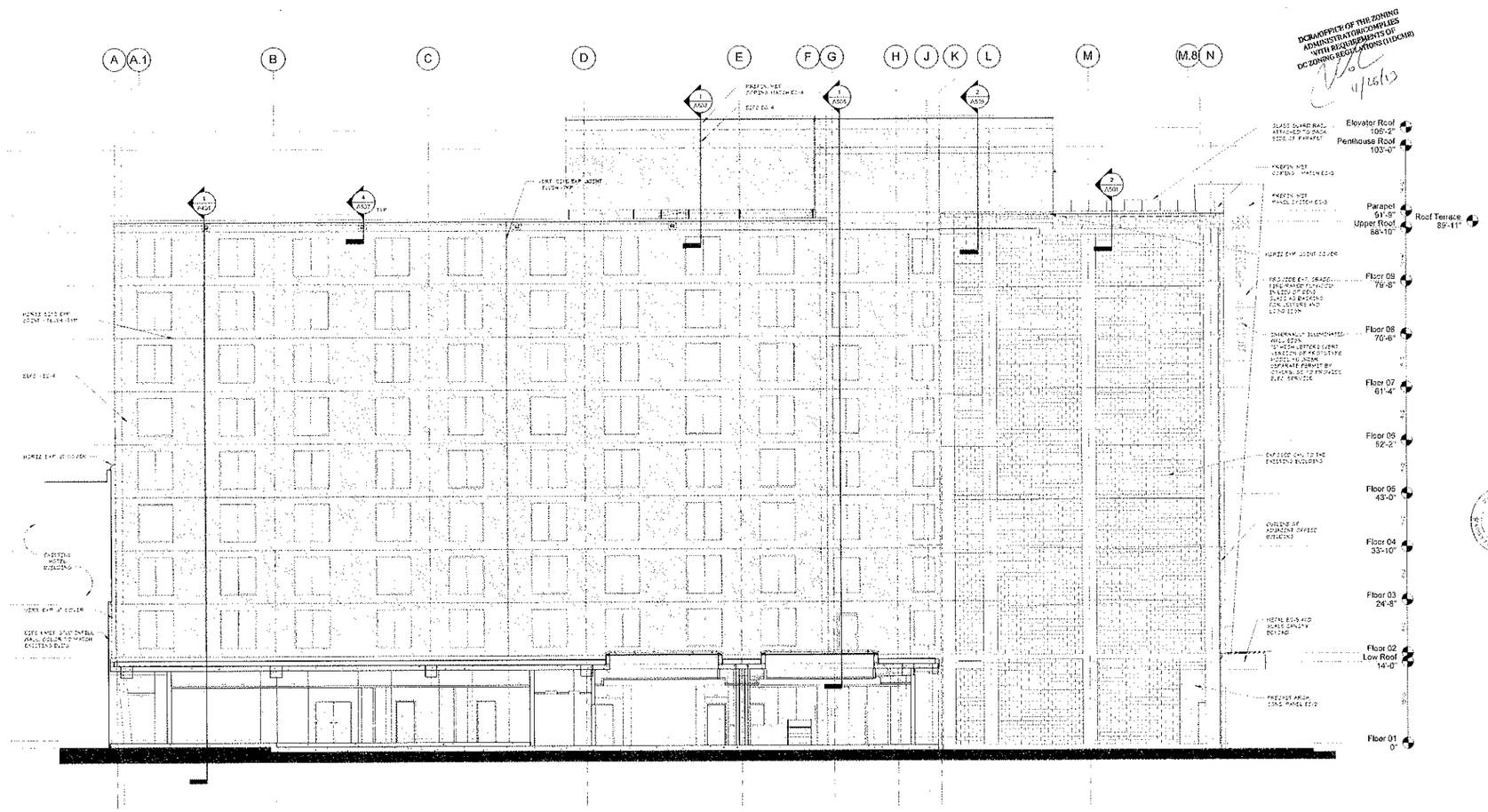
SHEET TITLE:
EAST ELEVATION

A301

EXTERIOR FINISH MATERIAL LEGEND

TAG #	MATERIAL	COLOR	POCHE KEY
EC-1	PRECAST ARCH. CONCRETE	SHOCKEY PRECAST : 5334 3% 80A or MATCH BRONZE COLOR : #113 AMARILLO WHITE	
EC-2	PRECAST ARCH. CONCRETE	SHOCKEY PRECAST : 2035 3% 40B or MATCH BRONZE COLOR : #351 MONASTERY BROWN	
EC-3	METAL PANEL SYSTEM	ALPOLIC COLOR : 4BN13-5 MW WHITE	
EC-4	EIFS	BRONZE COLOR : #113 AMARILLO WHITE FINISH : SANDPEBBLE FINE	
EC-5	SPLIT FACE CMU	TRENWYTH HERITAGE STONE COLOR : CARSON BROWN	



1 A302 WEST ELEVATION
1/8" = 1'-0"

DCRA/OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)
11/26/13

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7361 CALHOUN PLACE, SUITE 310
ROCKVILLE, MARYLAND 20855
301.670.1616 FAX 301.670.9443
www.nehmer.com

CONSULTANTS

The professional services of the architect are undertaken for and are performed in the interest of Pennsylvania Centre, LLC. No contractual obligation is assumed by the architect for the benefit of any other persons involved in the project.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

FINAL TPR APPROVED : 06/28/2013
ISSUED FOR BID : 06/17/2013
ISSUED FOR REVIEW : 06/04/2013
50% CONSTRUCTION DOCUMENTS : 04/22/2013
100% DESIGN DEVELOPMENT : 02/04/2013
50% DESIGN DEVELOPMENT : 02/01/2013
100% SCHEMATIC DESIGN : 01/04/2013

No.	Description	Date

Project Number: 12069

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SHEET TITLE
WEST ELEVATION

A302

EXTERIOR FINISH MATERIAL LEGEND

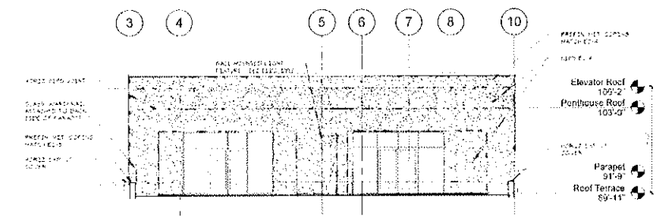
TAG #	MATERIAL	COLOR	POCHE KEY
EC-1	PRECAST ARCHITECTURAL CONCRETE	SEC COLOR: PRECAST - [illegible] MATCH EXISTING COLOR: 4113 MARBLE LIGHT	
EC-2	PRECAST ARCHITECTURAL CONCRETE	SEC COLOR: PRECAST - [illegible] MATCH EXISTING COLOR: 1004 MONASTERY BROWN	
EC-3	[illegible] SYSTEM	REPLACEMENT COLOR: [illegible]	
EC-4	FRP	DRYVIT COLOR: [illegible] FINISH: [illegible]	
EC-5	[illegible]	[illegible] COLOR: CARBON [illegible]	

JONATHAN NEHMER + ASSOCIATES, INC

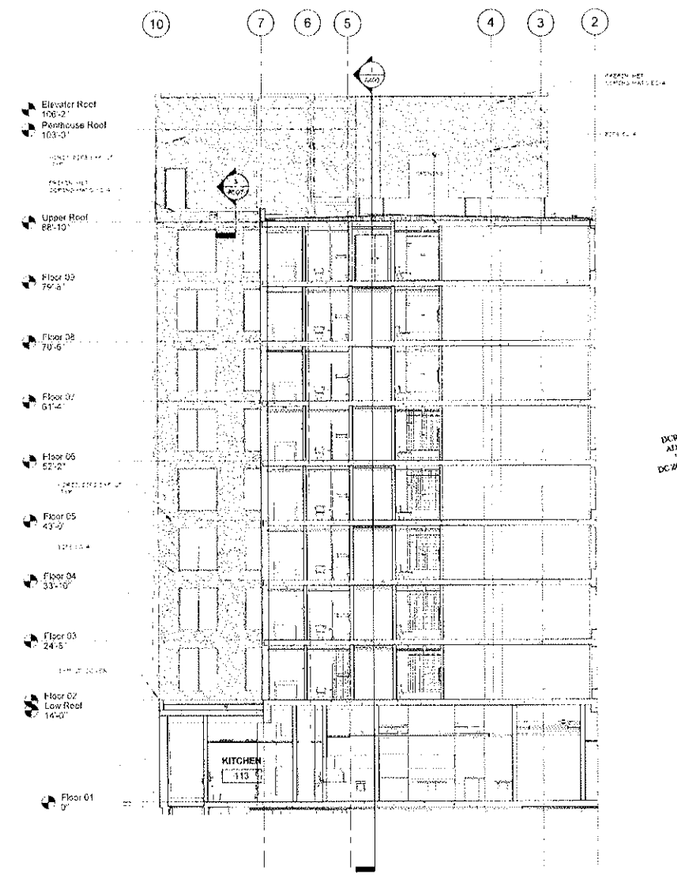
ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION ADMINISTRATION

[illegible] PLACE, SUITE 310
[illegible] MARYLAND 20815
301.652.1033 FAX 301.652.1043
www.nehmer.com

CONSULTANTS:



SOUTH ROOF TERRACE ELEVATION
1/8" = 1'-0"



NORTH ELEVATION - COURT
1/8" = 1'-0"

DC/BZA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)
4/16/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date
	FINAL TPR APPROVAL	08/26/2013
1	ADDENDUM #6	06/04/2013
	ISSUED FOR BZA	03/17/2013
	ISSUED FOR PERMIT	05/04/2012
	50% CONSTRUCTION DOCUMENTS	04/22/2013
	100% DESIGN DEVELOPMENT	03/08/2013
	50% DESIGN DEVELOPMENT	02/01/2013
	100% SCHEMATIC DESIGN	01/04/2013

Project Number: 12069

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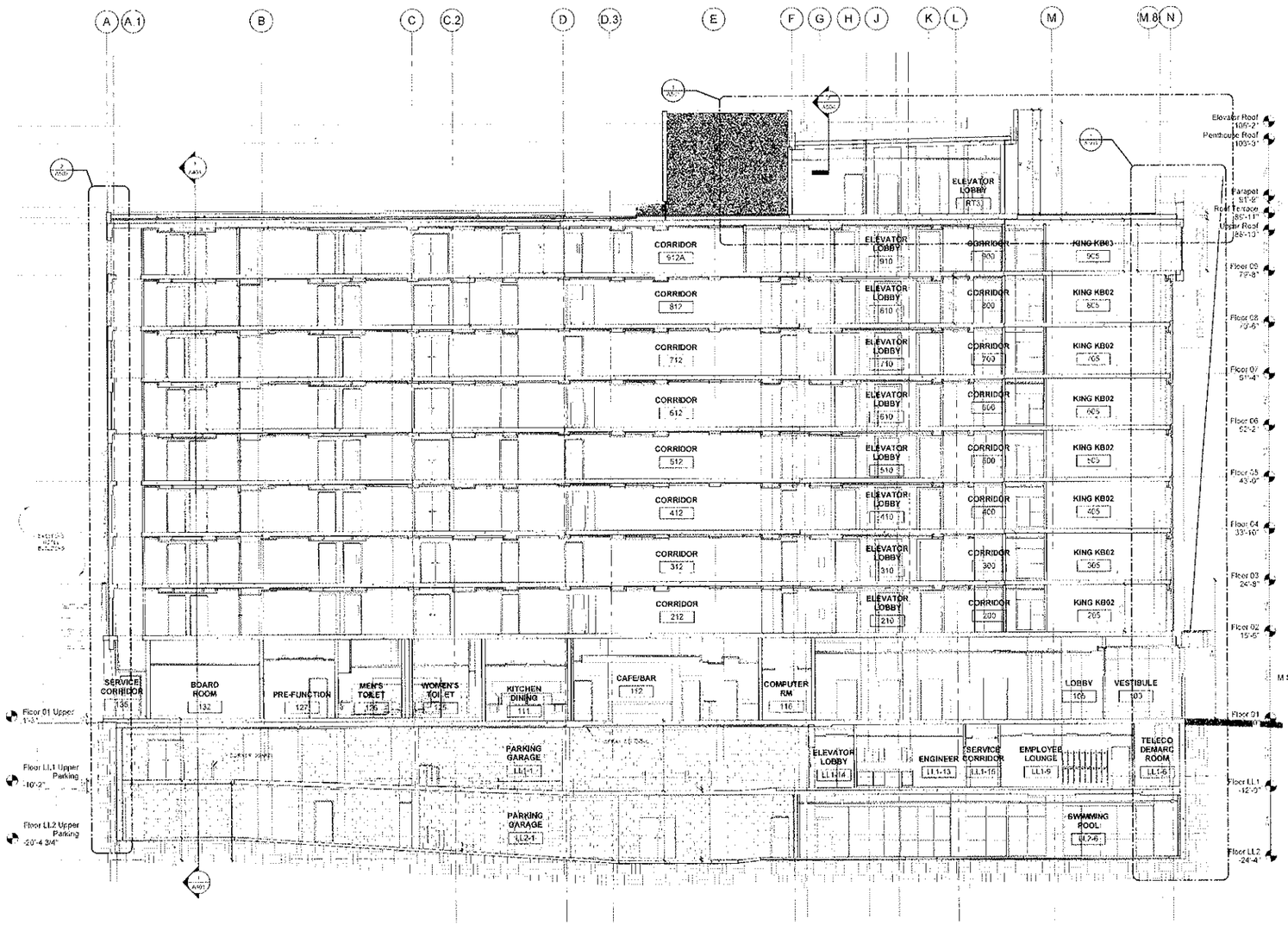
SHEET TITLE:

EXTERIOR ELEVATIONS

A303



1 A400 Building Section
1/8" = 1'-0"

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

CONSULTANTS

DCRA OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (11DCMR)

4/26/13

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date

Project Number: 12069

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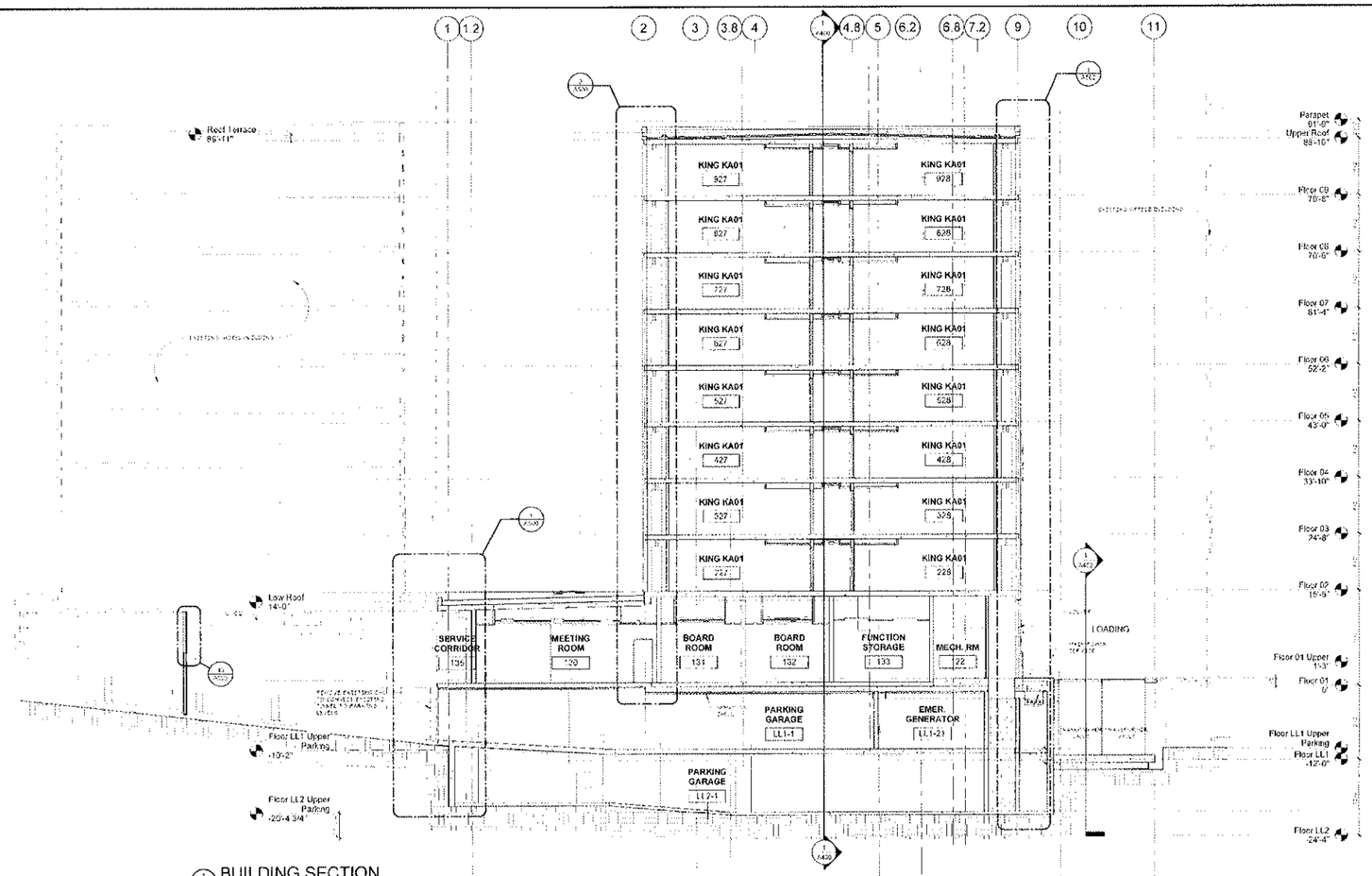
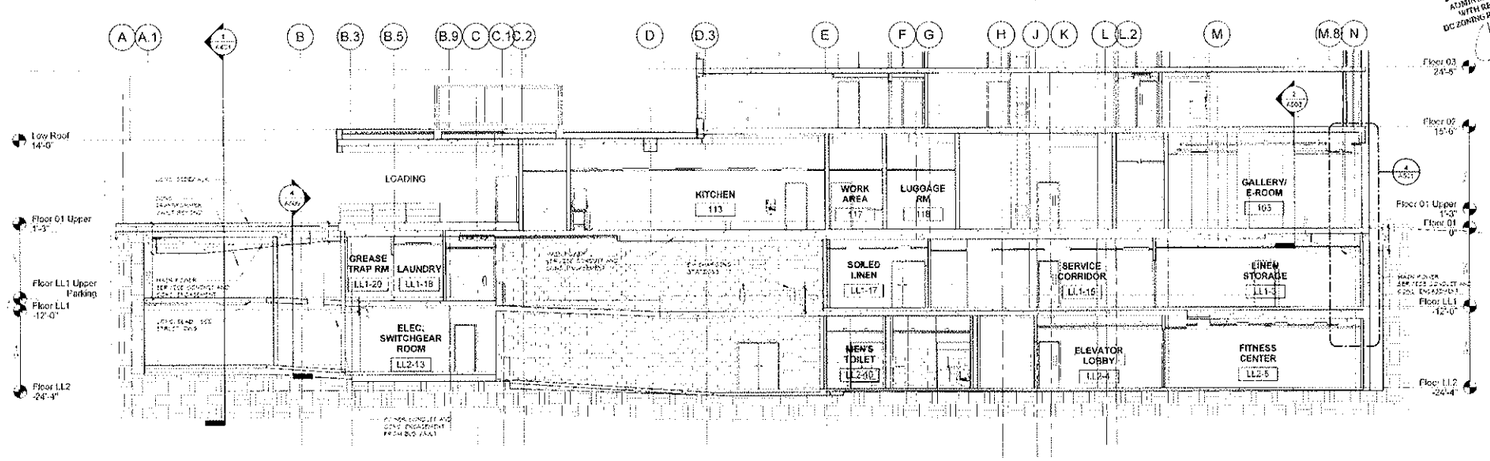
BUILDING SECTIONS

A400



1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION - POWER SERVICE
1/8" = 1'-0"

DC ZONING OFFICE OF THE ZONING ADMINISTRATOR DOES NOT CONCUR WITH SECTION 1 OF DC ZONING REGULATIONS 11-DCMR

JONATHAN NEIDIGER + ASSOCIATES INC.

ARCHITECTURE
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

CONSULTANTS

Hyatt Place Hotel

2121 M Street, NW
Washington, D.C. 20036

No.	Description	Date

Project Number 12059

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SHEET TITLE

BUILDING SECTIONS

A401