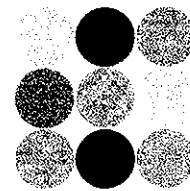


EXHIBIT B



HYATT
PLACE™

Hyatt Place Hotel

2121 M Street, NW
Washington, D.C. 20036

August 28, 2013

VOLUME 1

OWNER:

Renaissance Centro M Street, LLC
7501 WISCONSIN AVENUE SUITE 1103-E
BETHESDA, MARYLAND 20814

CIVIL ENGINEER:

BOWMAN CONSULTING GROUP, LTD
2121 EISENHOWER AVENUE SUITE 302
ALEXANDRIA, VA 22310

UTILITY CONSULTANT:

RICHTER & ASSOCIATES
15865 CRABBS BRANCH WAY
DERWOOD, MD 20855

ARCHITECT:

JONATHAN NEHMER + ASSOCIATES, INC.
7361 CALHOUN DRIVE, Suite 310
ROCKVILLE, MD 20855

MEP/FP ENGINEER:

JOSEPH R. LORING AND ASSOCIATES, INC.
1130 CONNECTICUT AVE NW SUITE 750
WASHINGTON, DC 20036

WATERPROOFING CONSULTANT

WILLIAMSON & ASSOCIATES
6100 LAKE FORREST DRIVE SUITE 375
ATLANTA, GA 30328

INTERIOR DESIGN

HVS INTERIOR DESIGN

7361 CALHOUN DRIVE, Suite 310
ROCKVILLE, MD 20855

STRUCTURAL ENGINEER:

KCE STRUCTURAL ENGINEERS, P.C.
1818 JEFFERSON PLACE, NW
WASHINGTON, DC 20036

FOOD SERVICE CONSULTANT

TRIMARK GILL GROUP
530 SOUTH MAIN STREET
WINTER GARDEN, FL 34787

LANDSCAPE ARCHITECT

PARKER RODRIGUEZ, INC.

101 N. Union Street, Suite 320
Alexandria, VA 22314-3231

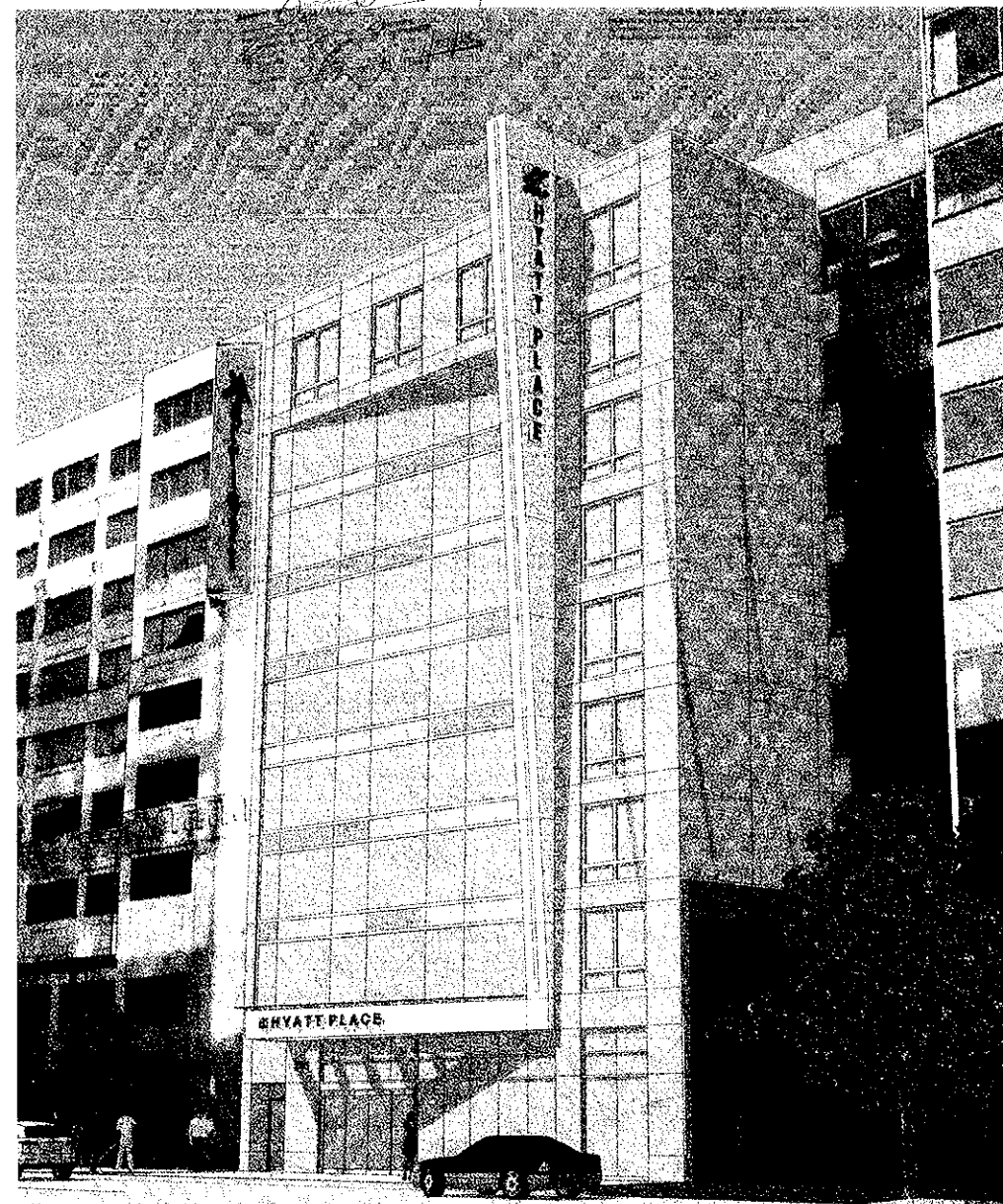
LIGHTING DESIGNER

MCLA, INC.

1000 Potomac Street NW, Suite 121
Washington, DC 20007

LOW VOLTAGE/AV ENGINEER

NETWORK TECHNOLOGIES, INC.
470 North Clayton Street, Suite 205
Lawrenceville, GA 30045



JNA

JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT

7361 CALHOUN PLACE SUITE 310
ROCKVILLE, MARYLAND 20855
301-470-1635 FAX 301-470-1634
www.jnaarchitect.com

CONSULTANTS

ATTENTION
2121 M ST NW

2121 M ST NW

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Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



FINAL TPR APPROVED	08/28/2013
ADDENDUM #6	08/08/2013
ADDENDUM #4	08/05/2013
ADDENDUM #3	08/02/2013
ADDENDUM #1	07/26/2013
ISSUED FOR R.O.	07/17/2013
ISSUED FOR REVIEW	06/14/2013
SUBCONSTRUCTION DOCUMENTS	04/25/2013
100% DESIGN DEVELOPMENT	03/28/2013
50% DESIGN DEVELOPMENT	02/28/2013
100% SCHEMATIC DESIGN	01/04/2013
DESIGNER	DATE

PROJECT NO. 12003
CONTRACT NO. 1211 JONATHAN NEHMER + ASSOCIATES, INC.

SHEET TITLE
COVER SHEET
VOLUME 1

G001



JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT

7341 CALHOUN PLACE, SUITE 300
WASHINGTON, D.C. 20036
202.670.1035 FAX: 202.670.6643
www.jna.com

CONTRACT NO.

DATE

PROJECT

CLIENT

LOCATION

DATE

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SITE TABULATIONS

ZONING TABULATIONS

CR (COMMERCIAL RESIDENTIAL)
CC (DUPONT CIRCLE)
WARD 2
90.00' FEET

89.384'
6.0
3.0
UNLIMITED
TOTAL BUILDING AREA = 120,597 SF

PARKING TABULATIONS

1 PER 4 ROOMS USABLE FOR SLEEPING
 PLUS 1/30G¹ OF FLOOR AREA IN
 LARGEST FUNCTION ROOM OR LARGEST
 EXHIBIT SPACE, WHICHEVER IS GREATER
 16 ROOMS/4 + 1710 SF/300 = 48 SPACES
 NOTE: 36 SPACE ARE AVAILABLE IN THE 11P
 48 SPACE'S
 34 SPACES IN PROPOSED GARAGE
 (*14 SPACES LOCATED IN WAREHOUS GARAGE)
 2% = 1 SPACE
 2 SPACES (1 CAR AND 1 VAN)
 5% OF PARKING SPACES = 2.1 > .5
 5
 1 SPACE
 1 SPACE LOCATED IN ALLEY

APPLICABLE BUILDING CODES

PRIMARY USE GROUP: RESIDENTIAL R-1/RESIDENT (BROWNSTON)
ACCESSORY USE GROUP: B/A-2/A-3 NON SEPARATED USER'S
CONSTRUCTION TYPE: FIVE B, FULLY SPRINKLERED
APPLICABLE CODES:
2006 INTERNATIONAL BUILDING CODE (IRC-BUILDING ICC/ANSA A17-1-2003)
2006 INTERNATIONAL PLUMBING CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FUEL GAS CODE
2006 INTERNATIONAL ENERGY CONSERVATION CODE
2006 INTERNATIONAL FIRE PREVENTION CODE
2005 NATIONAL ELECTRICAL CODE
DC LAW 8-36 DISTRICT OF COLUMBIA ENVIRONMENTAL POLICY ACT OF 1989
DCM 12 BUILDING CODE REGULATIONS (2009)
DCM 11-1 - ZONING REGULATIONS
60511 BUILDING ACT OF 2006
NFPA 72-2013 FIRE ALARM CODE
NFPA 11-2013 SPRINKLER CODE
1910 ADA STANDARDS FOR ACCESSIBLE DESIGN

OWNER

RENAISSANCE CENTRO
7501 WISCONSIN AVENUE, SUITE 1103-E
BETHESDA, MARYLAND 20814
301-215-7997
CONTACT: ILAN SCHARESTEIN

MEP

JOSEPH R. LORING AND ASSOCIATES
1130 CONNECTICUT AVENUE, NW, SUITE 750
WASHINGTON, DC 20035
202-296-6553
CONTACT: MICHAEL GALWAY

CIVIL ENGINEER

BOWMAN CONSULTING GROUP, LTD.
2121 EISENHOWER AVENUE, SUITE 302
ALEXANDRIA, VIRGINIA 22314
703-548-2188
CONTACT: MICHAEL SZYNAL, P.E.

ARCHITECT OF RECORD

JONATHAN NEHYER + ASSOCIATES
7361 CALHOUN DRIVE, SUITE 310
ROCKVILLE, MD 20855
301-670-1635
CONTACT: RUSSEL CLEM

SITE SURVEYOR

BOWMAN CONSULTING GROUP, LTD.
2121 EISENHOWER AVENUE, SUITE 302
ALEXANDRIA, VIRGINIA 22314
703-548-2188
CONTACT: MICHAEL SZYNAL, P.E.

DRY UTILITIES

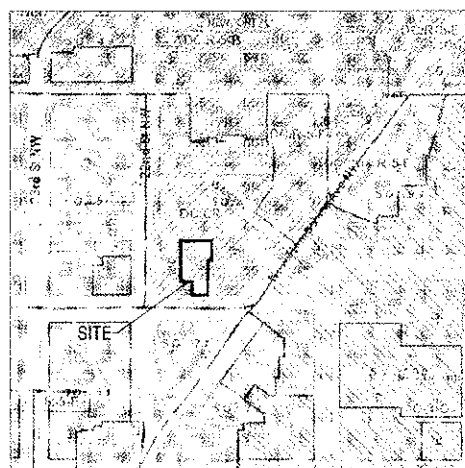
RICHTER AND ASSOCIATES
15225 CRABBS BRANCH WAY
ROCKVILLE, MD 20855
301-548-7477
CONTACT: STEVE RICHTER

LANDSCAPE ARCHITECT

PARKER RODRIGUEZ, INC.
101 N UNION STREET, SUITE 320
ALEXANDRIA, VIRGINIA 22314
703-648-5010
CONTACT: TRIN RODRIGUEZ, RIA

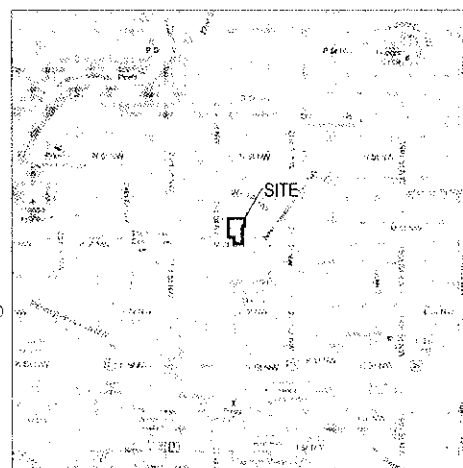
LANDSCAPE ARCHITECT CONSULTANT

BOWMAN CONSULTING GROUP, LTD.
14020 THUNDERBOLT PLACE, SUITE 300
CHANTILLY, VIRGINIA 20151
703-464-1000
CONTACT: JACK STORY, L.A.



ZONING MAP
CITY OF CHICAGO, DEPARTMENT OF PLANNING AND DEVELOPMENT
 SCALE: 1"=250'

THIS ZONING MAP HAS BEEN
 CREATED USING THE UC ZONING
 MAP FROM THE DC OFFICE OF
 ZONING WEIGHT



VICINITY MAP
THIS VICINITY MAP HAS BEEN CREATED USING AERIAL IMAGERY FROM GOOGLE MAPS. ALL MAP IMAGERY IS COPYRIGHTED BY GOOGLE.

SHEET INDEX

- C1.00 COVER SHEET
- C2.00 NOTES, ABBREVIATIONS AND LEGEND
- C3.00 EXISTING CONDITIONS PLAN
- C4.00 DEMOLITION AND TEST PIT LOCATION PLAN
- C5.00 DETAIL'D SITE PLAN
- C5.10 GEOMETRIC TRAVELWAY PLAN AND LANDSCAPE DETAILS
- C5.20 UTILITY PLAN
- C6.00 EROSION & SEDIMENT CONTROL PLAN -- PHASE I
- C6.10 EROSION & SEDIMENT CONTROL PLAN -- PHASE II
- C6.20 EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
- C6.30 TRAFFIC CONTROL PLAN PHASES I AND II, NOTES AND DETAILS
- C6.40 TRAFFIC CONTROL PLAN PHASE 3, NOTES AND DETAILS
- C7.00 PROPOSED DRAINAGE DEVICES MAP
- C7.10 SHOW AND SANITARY SEWER PROFILES AND COMPUTATIONS
- C7.20 STORMWATER MANAGEMENT PLAN & COMPUTATIONS
- C8.00 WALKING PROFILES
- C8.10 FIRE PROTECTION PLAN
- C8.20 DC WATER DETAILS
- C8.30 DC WATER WORKSHEET & FORMS
- C9.00 DC WATER MISCELLANEOUS CORRESPONDANCE
- C9.10 SITE DETAILS

(TOTAL SHIFTS=21)

PROJECT NARRATIVE

THIS PROJECT IS FOR THE CONSTRUCTION OF A 9 STORY HOTEL ADDITION WITH 2 LEVELS OF UNDERGROUND PARKING, A NEW 4" DOMESTIC WATER, A 6" FIRE SERVICE, APPROXIMATELY 203' OF 8" WATER MAIN, A 12" STORM DRAIN CONNECTION AND AN 8" SANITARY SEWER CONNECTION WILL ALSO BE CONSTRUCTED AS PART OF THIS DEVELOPMENT.

NOTE

ALL SITE PLANS AND LANDSCAPE PLANS ARE SUBJECT TO REVISION. THE DEVELOPER RESERVES THE RIGHT TO MAKE CHANGES WITHOUT NOTICE, IN ELEVATIONS, DIMENSIONS, CONTOURS, ETC., INCLUDING THE SIZING, LOCATION, CREATION, OR ELIMINATION OF ANY PATIO, DECK, RETAINING WALL, OR OTHER LOT FEATURES. WHEN REQUIRED, APPROVAL OF ANY REVISION TO SITE AND LANDSCAPE PLANS WILL BE OBTAINED FROM THE APPROPRIATE LOCAL JURISDICTION.

Bowman

Bowser Consulting Group, LLC
 12121 Eisenhower Avenue
 Suite 302
 Ashburn, Virginia 22014
 Phone: (703) 548-2188
 Fax: (703) 685-5767

COVER SHEET
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW

DISTRICT OF COLUMBIA

WASHINGTON

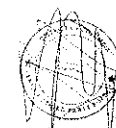


PLAN STATUS	
07/29/2019	50K CD SET
02/24/2019	1ST SUBMITTAL
01/30/2019	100K CD SET
03/15/2019	2ND SUBMITTAL
04/22/2019	50K CD SET
05/10/2019	DOCKING/GOOD SET
06/24/2019	ISSUED FOR REVIEW
06/11/2019	2ND SUBMITTAL
07/17/2019	100K CD SET
08/28/2019	FINAL EIR APPROVED
DATE	DESCRIPTION
JBW	JBW
DRAWN	M
SCALE	H: AS SHOWN V:
JOB NO. 6963-01	
DATE: JANUARY H	
JOB NO. 6963-0-C	
SHEET C100	

4	FINAL TYPED APPROVED	02/28/
	ISSUED FOR REVIEW	05/04/
5	NEW CONSTRUCTION DOCUMENT	04/22/
	NEW DESIGN DEVELOPMENT	05/08/
	NEW DESIGN DEVELOPMENT	07/03/
6	NEW SCHEMATIC DESIGN	01/04/

PROJECT NO 12059
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SHEET TITLE

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036



COVER SHEET

C1.00

EXISTING ADJACENT FOUNDATION CONDITIONS NOTES:

- NOTES:

NOTES

BENCHMARKS

- #1: NAIL SET IN SIDEWALK
ELEVATION = 56.56
- #2: CROSSCUT
ELEVATION = 58.85
- #3: NAIL SET
ELEVATION = 54.80
- #4: CROSSCUT IN SIDEWALK

TO THE KNOWLEDGE OF THE ENGINEER THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, ESTUARINE STREAMS, FLOODPLAIN, CORRELATED TIDAL WETLANDS, ASSOCIATED WETLANDS, DEEPER TROPICAL/PRISMATIC SOILS OR BUTLER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, AT THIS TIME THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GEOPHYSICAL CONTAMINATION ON THE SITE.

NOTE

NEW HAMPSHIRE AVENUE, WHICH CURRENTLY UNDERGOES RECONSTRUCTION AND MODIFICATION PER PLANS FILED, "RECONSTRUCTION AND MODIFICATION OF HIGHWAY 101A, NEW HAMPSHIRE AVENUE, FROM VIRGINIA AVENUE TO EXETER STREET" AND PROJECT BY STUDENT ASSOCIATES IN CONSTRUCTION COMPANY, INC. LOCATED AT 1000 CHASE CIRCLE, CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, W STREET, IS PROPOSED TO HAVE THE ADDITION OF A SIDE LANE ALONG PROJECT FRONTAGE. BUREAU OF CONSTRUCTION PHASING STUDIES IS UNKNOWN AT THIS DATE BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION.

Southern Consulting Group, Inc.
2125 E. Highway Avenue
Suite 550
Arlington, Virginia 22204
Phone: (703) 545-2188
Fax: (703) 545-0765

EXISTING CONDITIONS PLAN
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
WASHINGTON, DC 20036

DISTRICT OF COLUMBIA

WASHINGTON

[illegible]

DATE

WS
KD

-001
2013

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Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

EXISTING CONDITIONS
PLAN

C3.00

C5.00

DISTRICT OF COLUMBIA

WASHINGTON:



PLAN STATUS	
07/01/2013	50% OF SET
07/04/2013	1ST SUBMISSION TO
07/08/2013	DATE OF SET
03/15/2013	2ND SUBMISSION TO
11/22/2013	50% OF SET
06/25/2013	COMMENTS: SEE S-5
06/04/2013	ISSUED FOR PERM
06/11/2013	2ND SUBMISSION TO
07/17/2013	100% OF SET
08/26/2013	FINAL FOR APPROVE
DATE	DESCRIPTION
JBW	JBW
DESIGN	DRAWN
SCALE	FILE: T=25 V.
JOB No. 6963-Q1-C	
DATE - JANUARY 14,	
FILE No. 6963-D-CP-	
SHEET C5 10	

	ANAL. FOR APPROVED	08/76
	CONTRACT FOR RAIN	06/04
SON CONSTRUCTION COMPANY		04/24
NICK TRUCK DEVELOPMENT		01/08
SON DESIGN DEVELOPMENT		02/01
SON SOLENAME DESIGN		03/04
	DESCRIPTION	

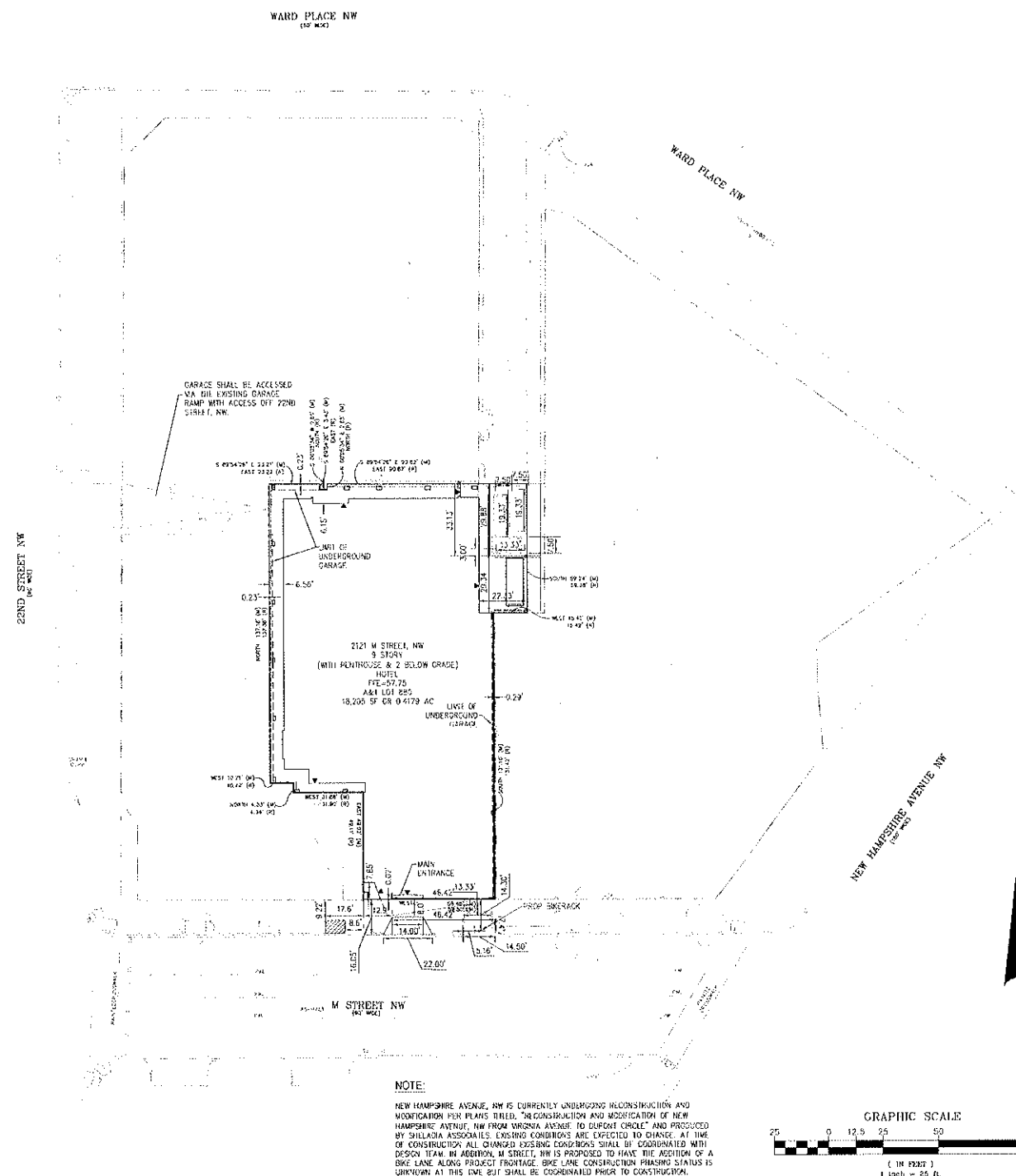
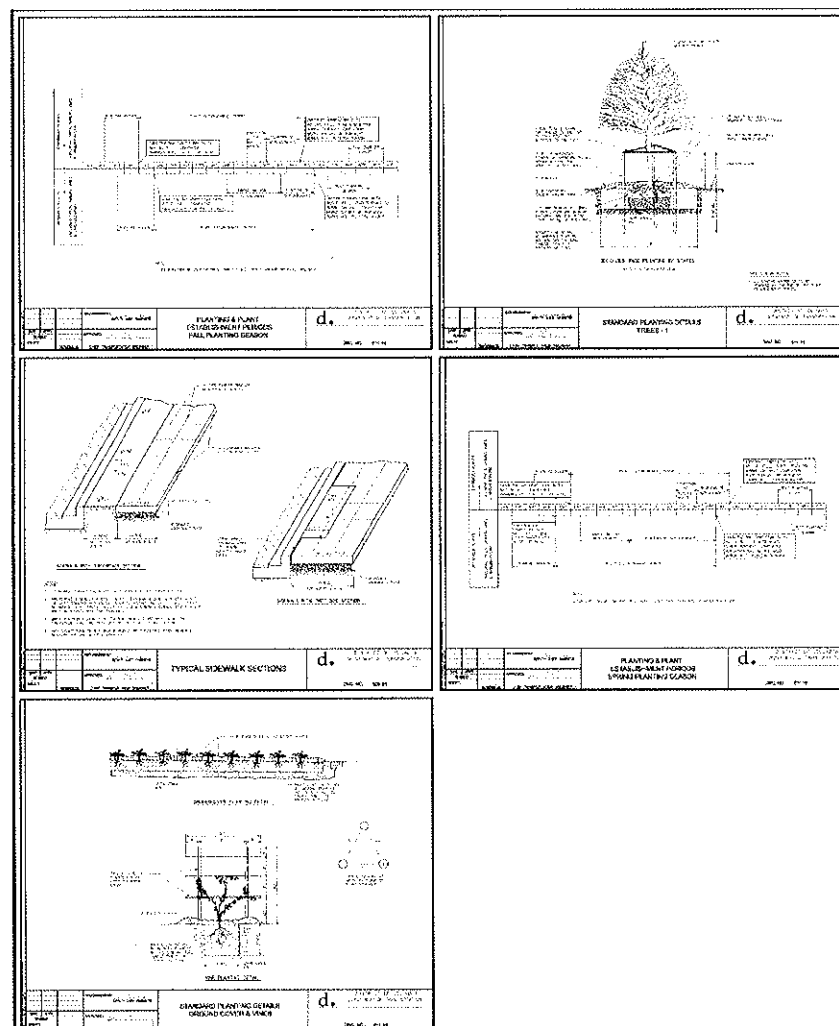
PROJECT NO. 12069

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SHEET TITLE

GEOMETRIC LAYOUT PLAN
AND LANDSCAPE DETAILS

C5.10



Electronic Consulting Group, Inc.
2111 E. Highway Avenue
Suite 202
Martinez, Virginia 22054
Phone: (703) 544-2164
Fax: (703) 544-2734
Web: www.ecgroup.com

UTILITY PLAN
FINAL SITE PLAN
HYATT PLACE HOTEL
2121 M STREET, NW
A&T LOT 880

A&T LOT 880

Hyatt Place Hotel
Georgetown
2121 M Street, NW
Washington, D.C. 20036

UTILITY PLAN

C5.20

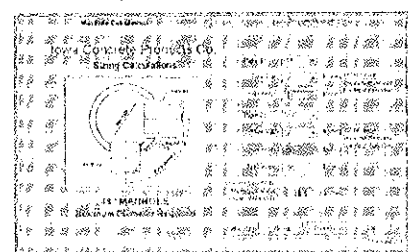
MANHOLE SIZING WORKSHEET

- (A) PROPOSED 8" WATER SUPPLY VALVE WITH CASING PER DC WATER STANDARD W-2305
- (B) PROPOSED 8" WATER SUPPLY VALVE WITH CASING PER DC WATER STANDARD W-2301
- (C) PROPOSED 8" WCT FIT WITH INCAST IRONDS PER DC WATER STANDARD W-4007
- (D) PROPOSED 8-IN. RUBBER BLOCK PER DC WATER STANDARD W-4002
- (E) PROPOSED 45° END WITH 1/2" HUBS PER DC WATER STANDARD W-4006
- (F) PROPOSED 45° END WITH RESIN/ALU. JOINTS
- (G) PROPOSED 45° PRECAST CONCRETE MANHOLE PER DC WATER STANDARD S-2302
- (H) PROPOSED 45° PRECAST CONCRETE MANHOLE PER DC WATER STANDARD S-2307
- (I) PROPOSED SAND/ST. GRAVEL FILL PER DC WATER STANDARD S-3016

GENERAL UTILITY NOTES

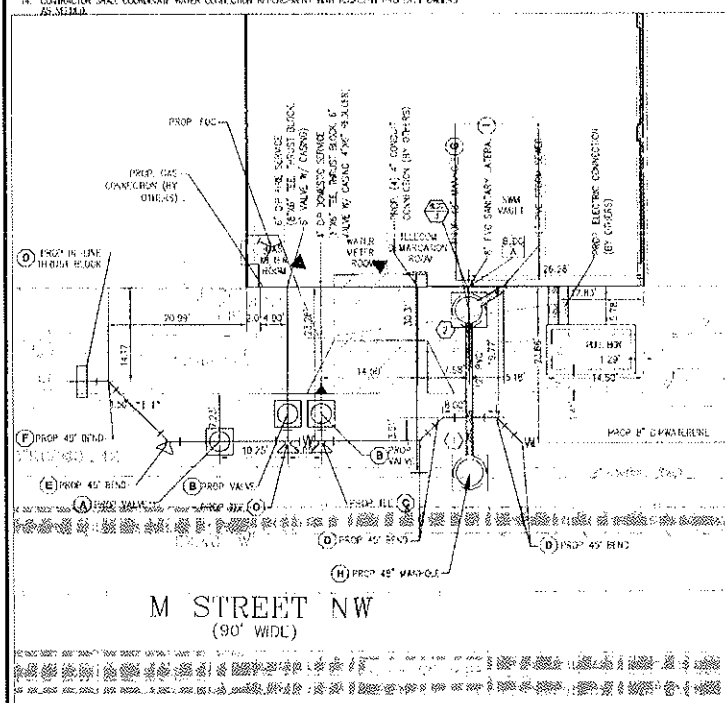
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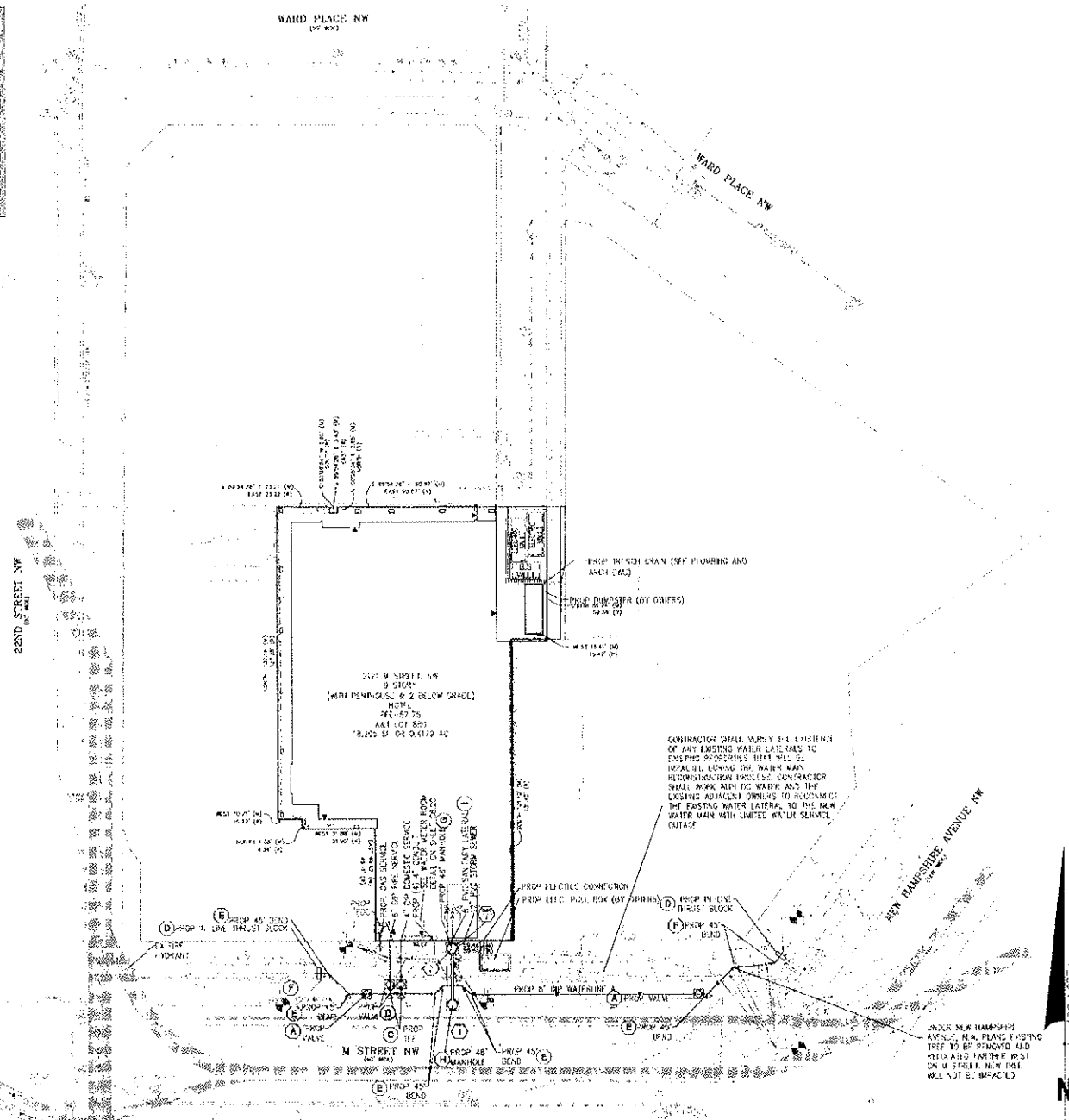


LEGEND

QUEST ARRIVAL AREA TO BE KEPT CLEAR OF SURFACE OBSTRUCTIONS SUCH AS MANHOLE COVERS, CULVERTS, VAULT LIDS, ETC.



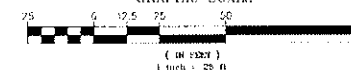
M STREET, NW FRONTAGE DETAIL



NOTE

NEW HAMPSHIRE AVENUE, NEW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NEW FROM VIRGINIA AVENUE TO DUGHT CIRCLE" AND PREPARED BY SCLADA ASSOCIATES, LISTING CONDITIONS AND APPLICABLE TO CHANGE, AT TIME OF CONSTRUCTION, AS CHANGES LISTING CONDITIONS, BE COORDINATED WITH THE DISTRICT OF COLUMBIA, IN STREET, NEW IS PROPOSED TO HAVE, THE ADDITION OF SIX LANE ALONG PROJECT FRONTAGE, BUT LANE CONSTRUCTION PHASING STATUS UNKNOWN AT THIS TIME, BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION

GRAPHIC SCALE

[illegible]

DEMOLITION NOTES:

1. ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
3. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE EXISTING RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO DEMOLITION. IF ANY UTILITIES ARE FOUND TO BE IN THE DEMOLITION AREA, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE DISTRICT OF COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO DEMOLITION.
4. ITEMS TO BE DEMOLISHED SHALL BE IDENTIFIED, REMOVED AND STORED BY THE CONTRACTOR. ITEMS TO BE DEMOLISHED SHALL BE IDENTIFIED, REMOVED AND STORED BY THE CONTRACTOR. ITEMS TO BE DEMOLISHED SHALL BE IDENTIFIED, REMOVED AND STORED BY THE CONTRACTOR.
5. ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BEGINNING AS A RECORD OF THE CONTRACTOR.
6. CONTRACTOR SHALL SECURE A DE CONSTRUCTION PERMIT FROM THE DISTRICT OF COLUMBIA PRIOR TO BEGINNING DEMOLITION.
7. RECORD INFORMATION TAKEN FROM THE RECORDS FOR WATER AND SEWER AS WELL AS SOME OTHER RECORDS SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN RECORDS FOR DEMOLITION AND REMOVAL OF ANY REMAINING UTILITIES ON SITE. THE CONTRACTOR SHALL MAINTAIN RECORDS FOR DEMOLITION AND REMOVAL OF ANY REMAINING UTILITIES ON SITE.
8. THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED. FOLLOWING TEST PIT WORK, OUT PROBLEMS OR ALL THE TEST PIT LOCATIONS, THE CONTRACTOR SHALL MAINTAIN RECORDS FOR DEMOLITION AND REMOVAL OF ANY REMAINING UTILITIES ON SITE.
9. PLEASE NOTE THAT THE CONTRACTOR WILL BE REQUIRED TO REPAIR AND REPLACE ANY EXISTING CURBS AND SIDEWALKS THAT ARE DAMAGED OR REMOVED DURING DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPLACE ANY EXISTING CURBS AND SIDEWALKS THAT ARE DAMAGED OR REMOVED DURING DEMOLITION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF ALL EXISTING UTILITIES AND STRUCTURES.
11. DURING DEMOLITION ALL EXISTING WATER SERVICE CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE. ALL EXISTING WATER SERVICE CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE.
12. DURING DEMOLITION ALL EXISTING SANITARY CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE. ALL EXISTING SANITARY CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE.
13. DURING DEMOLITION ALL EXISTING STORM SEWER CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE. ALL EXISTING STORM SEWER CONNECTIONS SHALL BE REMOVED AT THE PROPERTY LINE.
14. CONTRACTOR IS RESPONSIBLE FOR CLEARING AND GRADING ALL EXISTING STORM AND SANITARY SEWER CONNECTIONS. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING AND GRADING ALL EXISTING STORM AND SANITARY SEWER CONNECTIONS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF ALL EXISTING UTILITIES AND STRUCTURES.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF ALL EXISTING UTILITIES AND STRUCTURES.
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SEQUENCE OF CONSTRUCTION:

1. INSTALL PERIMETER CONTROLS: SAFETY FENCE, INLET PROTECTION, AND CONSTRUCTION ENTRANCE (WITH WASH RACK). ACCESS TO PUBLIC ALLEY TO BE MAINTAINED AT ALL TIMES. SEE EROSION AND SEDIMENT CONTROL PLAN.
2. DUST CONTROL MEASURES SHALL BE IMPLEMENTED WHILE CONSTRUCTION IS OCCURRING.
3. EXISTING UTILITIES TO BE ABANDONED AND REMOVED FROM THE PUBLIC CONSTRUCTION AREA. CONTRACTOR MAY USE EXISTING ASPHALT AREA FOR STAGING.
4. DEMO INTERNAL BUILDING AND ASPHALT/CONCRETE WITHIN PROPOSED RECONSTRUCTION AREA. CONTRACTOR MAY USE EXISTING ASPHALT AREA FOR STAGING.
5. CONSTRUCT INTERNAL BUILDING CONSTRUCTION PROPOSED SANITARY, WATER, AND STORM SEWER CONNECTIONS FROM THE PROPOSED BUILDING.
6. AFTER COMPLETION OF BUILDING AND UTILITY CONSTRUCTION, CONTRACTOR SHALL COMENCE CONSTRUCTION OF THE STREETScape ELEMENTS.
7. INSTALL STREETScape ELEMENTS INCLUDING, BUT NOT LIMITED TO NEW SIDEWALK MATERIALS AND TREES.
8. AFTER ALL CONSTRUCTION OPERATIONS CEASE, VEGETATION HAS BEEN ESTABLISHED AS SHOWN ON THE PLANS, AND THE INSPECTOR HAS APPROVED, ALL MECHANICAL SEDIMENT CONTROLS SHALL BE REMOVED.

NOTE:

NEW HAMPSHIRE AVENUE, NW IS CURRENTLY UNDERGOING RECONSTRUCTION AND MODIFICATION PER PLANS TITLED, "RECONSTRUCTION AND MODIFICATION OF NEW HAMPSHIRE AVENUE, NW FROM VIRGINIA AVENUE TO CAPITOL STREET" AND PRODUCED BY SUELLARD ASSOCIATES. EXISTING CONDITIONS ARE EXPECTED TO CHANGE AT THE TIME OF CONSTRUCTION. ALL CHANGED EXISTING CONDITIONS SHALL BE COORDINATED WITH DESIGN TEAM. IN ADDITION, NEW HAMPSHIRE AVENUE PROJECT FRONTAGE, ONE LANE ALONG PROJECT FRONTAGE, ONE LANE CONSTRUCTION PHASING STATUS IS UNKNOWN AT THIS TIME BUT SHALL BE COORDINATED PRIOR TO CONSTRUCTION.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. CONTRACTOR SHALL SCHEDULE AND HIRE A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, 2003 EDITION.
3. FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREIN REFER TO THE HANDBOOK OF THE DCM/PCD.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREIN THAT ARE DEEMED NECESSARY BY THE APPROVING AUTHORITY AND/OR SITE INSPECTOR.
6. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES DAILY. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CLOSE OF EACH WORKING DAY.
7. THIS PLAN ILLUSTRATES HORIZONTAL LOCATION OF EXISTING UTILITIES BASED ON BEST AVAILABLE INFORMATION. THE INFORMATION SHOWN CONCERNING UNDERGROUND UTILITIES AND FEATURES IS NOT GUARANTEED, ALL INCLUSIVE, OR CORRECT. THE CONTRACTOR SHALL VERIFY FEATURES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE AT ALL TIMES UNLESS OTHERWISE NOTED. ALL STRUCTURES ABOVE AND/OR BELOW GROUND THAT ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROPERLY SUPPORTED AND MAINTAINED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE UTILITY OWNERS FOR THE PROTECTION OR RELOCATION OF SUCH STRUCTURES. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL MAKE REPAIRS OR PAY FOR REPAIRS TO THE STRUCTURE TO THE OWNER'S SATISFACTION.
8. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND EXISTING UTILITIES.
9. CONTRACTOR TO STUDY GEOLOGICAL INFORMATION AVAILABLE AND CLEARLY REPORT CONSTRUCTION METHODOLOGY TO THE OWNER PRIOR TO BEGINNING.
10. CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY D.C.H.A.
11. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-251-7777 AT LEAST TWO (2) DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
13. ANY EXISTING CURB, OUTLET OR ROADWAY SURFACE THAT IS DAMAGED OR REMOVED FOR RAZE OF UNDERGROUND FEATURES MUST BE REPLACED WITH THE SAME MATERIAL. CRANKIE CURBS MUST BE REPLACED WITH CRANKIE CURBS, OR CURBS IN CONCRETE MUST HAVE CONCRETE INSTALLED.
14. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM SITE AND TOWARDS THE EXISTING DRAIN BASINS UNLESS SHOWN OTHERWISE.
15. CONTRACTOR SHALL PREVENT DUST FROM ESCAPING THE WORK SITE.
16. AT THE END OF EACH WORK DAY, THE CONTRACTOR SHALL INSPECT ALL UTILITY TRENCHES FOR STANDING WATER. IF WATER EXISTS THE TRENCH SHALL BE REPAIRED WITH AN APPROVED FILTERING DEVICE BEFORE DISCHARGE. THE RUNOFF FROM DEMOLITION ACTIVITIES SHALL NOT BE DISCHARGED DIRECTLY INTO THE STREET.

SITE INFORMATION:

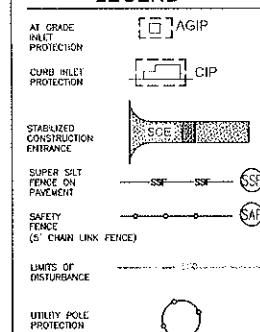
TOTAL AREA OF SITE = 0.42 ACRES
 AREA DISTURBED (INCLUDES ROW) = 0.42 ACRES
 BUILDING AREA = 0.41 ACRES
 TOTAL LOT = 13,176 SQ. FT.
 TOTAL LOT = 0.41 ACRES
 OFFICE, WAREHOUSE AREA LOCATION = TO BE SUBMITTED BY CONTRACTOR FOR APPROVAL

*THOSE NUMBERS ARE FOR PERMITTING ONLY AND NOT FOR RECORD

GENERAL NOTES:

1. THIS PROPOSED PLAN INDICATES THAT THE EXISTING 27" DIAMETER TREE ALONG M STREET NW SHALL BE REMOVED AND NOT REPLACED. THIS IS SUBJECT TO REVIEW OF THE CITY ARBORIST.
2. PERMISSION MAY/SHALL BE REQUIRED FROM ADJACENT OWNERS FOR CONSTRUCTION. DEPENDING ON THE TYPE AND EXTENT OF ENCROACHMENT (EXCAVATION, FOOTING, DRAIN, EXCAVATION, OTHER ENCROACHMENTS, ETC.), THE OWNER/DEVELOPER MAY CONSIDER PERFORMING INTERIOR AND EXTERIOR SURVEYS AND ASSESSMENTS TO INSURE THAT NO DAMAGE OCCURS DURING CONSTRUCTION.

LEGEND



WARD PLACE NW

(SHEET 1 OF 2)

NOTES:

1. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE ALLEY AT ALL TIMES OR OTHERWISE CLOSED BY ADJACENT USERS. REFERENCE THE PRIVATE ALLEY AGREEMENT RECORDED ON JULY 30, 1980.
2. OFF-SITE EMERGENCY EGRESS DOORS ADJACENT TO THE PROJECT SITE TO BE MAINTAINED FOR SHORT DURATIONS OF CONSTRUCTION ACCESS TO GARAGE RAMP OR ALLEY SHALL BE PROVIDED WHEN POSSIBLE.

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CAUTION!!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SUCH EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

DETAIL 20 - PORTABLE EROSION CONTROL MEASURES

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C6.10

- THESE DOCUMENTS HAVE BEEN PREPARED TO ADHERE TO THE FOLLOWING CODES:
- 2006 International Building Code (Including ICC/ANSI A117.1: 2003)
- 2006 International Plumbing Code
- 2006 International Mechanical Code
- 2006 International Fire Code
- 2006 International Fuel Gas Code
- 2006 International Energy Conservation Code
- 2006 NFPA National Electrical Code
- DC LAM 8-36 District of Columbia Environmental Policy Act of 1984
- DCMR 12 Building Code Regulations (2006)
- DCMR Title 1- zoning Regulations
- Green Building Act Of 2006
- NFPA-12 Fire Alarm Code
- NFPA-13 Sprinkler Code
- 2010 Americans with Disabilities Act - Standards for Accessible Design

2. THESE DRAWINGS ARE DIAGRAMMATIC ONLY, ESTABLISHING RELATIONSHIP AND DIMENSIONAL INTENTS, DO NOT SCALE DRAWINGS. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS BEFORE BEGINNING THEIR WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO ANY DISCREPANCIES OF ADJUSTMENTS TO THE DESIGN THAT MAY BE REQUIRED DUE TO CONDITIONS IN THE FIELD. ANY DISCREPANCIES NOTED IN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS, OR ANY AMBIGUITIES OR INCONSISTENCIES CONTAINED THEREIN, SHALL BE REPORTED TO THE ARCHITECT AT THE EARLIEST PRACTICABLE DATE AND IN SUFFICIENT DETAIL TO PERMIT THE ARCHITECT TO THE SUBMITTAL OF BIDS AND THE BEGINNINGS OF THE AFFECTED WORK. ANY WORK WHICH IS COMPLETED IN VIOLATION OF THESE PRINCIPLES IS AT THE CONTRACTOR'S OWN RISK, AND NO ADJUSTMENTS TO THE CONTRACT FOR CORRECTION OF SUCH DEFECTS OR CONTRACT WORK QUALITY OF WORK, ETC., SHALL BE ALLOWED TO UNCOVER AND/OR CORRECT THE AFFECTED WORK. IT IS THE ARCHITECT'S SATISFACTION.

5. THE CONTRACTOR IS SPECIFICALLY RESPONSIBLE FOR VERIFYING LOCATIONS OF EXISTING UTILITIES ABOVE AND BELOW GRADE. LOCATIONS ARE TO BE ASCERTAINED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

7. DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER AS TO CREATE CONCENTRATED LOADS ON THE FLOOR.

9 FLOOR ELEVATIONS AND LEVELS ARE TO TOP OF FINISH HARD SURFACES (CONCRETE FLOOR SLAB) EXCLUDING APPLIED FINISHES (CARPET, VGT OTHER THINSET FINISH MATERIALS), UNLESS OTHERWISE SPECIFIED.

11. ALL PENETRATIONS THROUGH FIRE RATED WALLS ARE TO BE SEALED WITH FIRE STOP SEALANT. ALL HIDDEN CONDITIONS & PENETRATIONS THROUGH FLOOR AND CEILING INCLUDING PENETRATIONS AND OPENINGS DUE TO, BUT NOT LIMITED TO, THE REMOVAL OF EQUIPMENT, CONDUITS, PIPES, ETC. SHALL BE PRESAFED, AS APPROVED BY UL OR BUILDING OFFICIALS.

12. ALL DRYWALL WORK SHALL ADHERE TO ACCEPTED INDUSTRY STANDARDS, INCLUDING THE US GYPSUM ASSOCIATION'S "GYPSUM CONSTRUCTION HANDBOOK" (LATEST EDITION) AND ALL APPLICABLE CODES.

13. THE CONTRACTOR SHALL CAULK ALL JOINTS BETWEEN DISSIMILAR FINISH MATERIALS, INTERIOR & EXTERIOR.

14. THE CONTRACTOR SHALL PROVIDE LIGHT GAUGE METAL SHOP DRAWINGS, STAMPED AND SIGNED, BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROJECTS' JURISDICTION.

15. SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR DESIGNER OF RECORD, WHO SHALL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE BUILDING DESIGN. REVIEWED DEFERRED ITEMS MUST BE FORWARDED TO THE LOCAL BUILDING OFFICIAL AS REQUIRED BY THE GENERAL CONTRACTOR. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED ITEMS SHALL NOT INCREASE THE CONTRACT FOR CONSTRUCTION (SCHEDULE, CONTRACT SUM, QUALITY OF WORK, ETC.).

DEFERRED SUBMITTED ITEMS ARE THE FOLLOWING (BUT NOT LIMITED TO):

1. FIRE PROTECTION AND SPRINKLERS SYSTEMS
2. FIRE ALARM SYSTEMS
3. SIGNAGE (EXTERIOR & INTERIOR INCLUDING OCCUPANCY LOADS & GUEST ROOM DIRECTIONAL INFORMATION SIGNAGE)
4. SWIMMING POOLS AND SPAS

16. CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10, NFPA 80 AND AS DIRECTED BY THE FIRE MARSHAL.

SECTION REFERENCE
SECTION DETAIL
SHEET NUMBER WHERE DRAWN

SECTION REFERENCE
BUILDING SECTION
SHEET NUMBER WHERE DRAWN

DETAIL
SHEET NUMBER WHERE DRAWN

EXTENSION ELEVATION
SHEET NUMBER WHERE DRAWN

VIEW OR ELEVATION REFERENCE
INTERIOR ELEVATION
SHEET NUMBER WHERE DRAWN

DOOR NUMBER

WINDOW NUMBER

PARTITION TYPE
HOURLY RATING

OPEN
FRESH NOTE

TOLLY ACCESSORY
DESIGNATOR

DRAWING NOTE
DESIGNATOR

ROOMS EQUIPPED WITH HEARING
IMPAIRED DEVICES

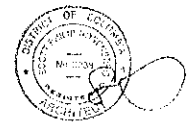
PROJECT LOCATION
2314 STREET, NW
WASHINGTON, DC 20008

[illegible][illegible]

JONATHAN NEHMER + ASSOCIATES, INC.

72614, 61147, 21149, 21150, 21151
 21152, 21153, 21154, 21155, 21156
 21157, 21158, 21159, 21160, 21161
 21162, 21163, 21164, 21165, 21166

CONSULTANTS



1. 在 $\mathbb{R}^n$ 中, 设 $\mathbf{a}_1, \mathbf{a}_2, \dots, \mathbf{a}_m$ 是 n 维向量, $\mathbf{b}_1, \mathbf{b}_2, \dots, \mathbf{b}_m$ 是 n 维向量, 且 $\mathbf{a}_1, \mathbf{a}_2, \dots, \mathbf{a}_m$ 线性无关, 证明: $\mathbf{b}_1, \mathbf{b}_2, \dots, \mathbf{b}_m$ 线性无关.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



FINAL IPR APPROVED	09/28/2013
FOUNDATION-TO-GRADE OWCS	07/23/2013
ISSUED FOR I&O	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	07/01/2013
WORK SCHEMATIC DESIGN	01/09/2013
	DISCLOSED
	DATE
PROJECT NO	121204
OWNER/CLIENT	USDA Forest Service, Northern Nevada District

PROJECT INFORMATION

A001

1 SITE PLAN 1/16" = 1'-0"

22nd STREET NW

EXISTING
MARRIOTT
HOTEL

EXISTING
MARRIOTT
HOTEL
2ND FLOOR &
ABOVE
EXISTING
RETAIL @ 1ST
FLOOR
WALGREENS

EXISTING
RETAIL @ 1ST
FLOOR
STARBUCKS

EXISTING
MARRIOTT
HOTEL

WARD
ALLEY

WARD PLACE NW

M STREET NW



EXISTING
OFFICE
BUILDING

DATA OFFICE OF THE ZONING
ADMINISTRATOR COMPLIES
WITH REQUIREMENTS OF
ZONING REGULATIONS (UDCMR)

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

A090

ARCHITECTURAL
SITE PLAN[illegible]

CONSTRUCTION ASSOCIATES, INC.

The authors gratefully acknowledge the support of the National Science Foundation (NSF) Grant No. DMR-9734680.





1



1

1

1

1



1





EXISTING MARIOTT
ROOF BELOW



01/22/11

01/22/11

6th FLOOR PLAN

No.	Description	Date
1	FINAL PPR APPROVED	05/24/2012
2	FINAL ADOPTION	05/29/2012
3	ISSUED FOR BID	06/27/2012
4	ISSUED FOR REVIEW	06/27/2012
5	50% CONSTRUCTION DOCUMENTS	06/27/2012
6	100% DESIGN DEVELOPMENT	01/04/2013
7	100% DESIGN DEVELOPMENT	02/01/2013
8	100% SCHEDULE DESIGN	04/04/2013



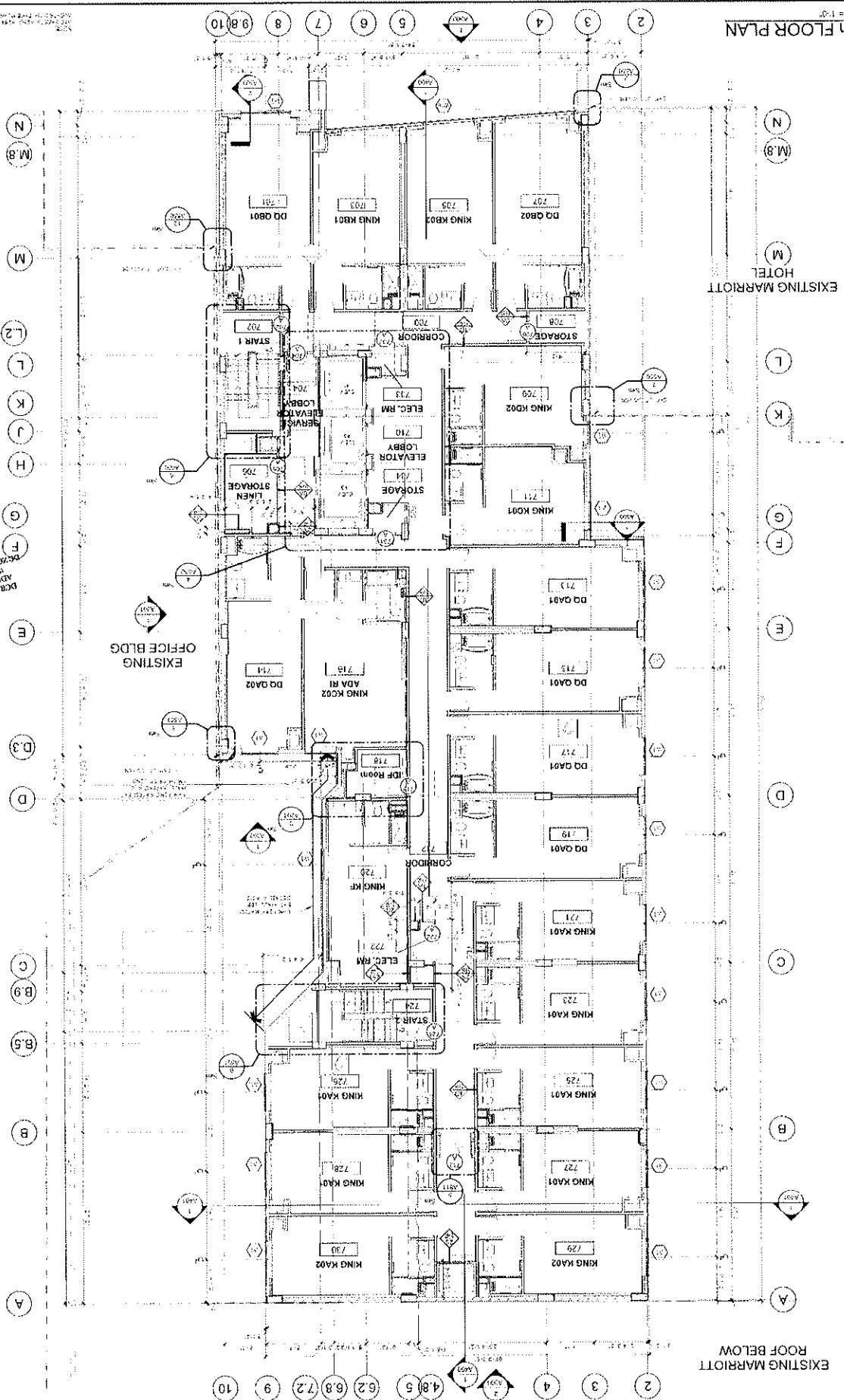
...the fact that the level of any other provision is not in the

7581 CALICOUM RD AC, SUITE 210
ROCKFORD, ILL 61101-2085
708/562-1635 FAX 708/562-1602
www.megawest.com

ONATHAN NEHMER + ASSOCIATES, INC.
ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING



7th FLOOR PLAN



7th FLOOR PLAN

No.	Description	Date
1000	1000	10/01/2010
1001	1001	10/01/2010
1002	1002	10/01/2010
1003	1003	10/01/2010
1004	1004	10/01/2010
1005	1005	10/01/2010
1006	1006	10/01/2010
1007	1007	10/01/2010
1008	1008	10/01/2010
1009	1009	10/01/2010
1010	1010	10/01/2010



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

DECLASSIFICATION OF THE ZONING
ADMINISTRATIVE COMPLIES
WITH REQUIREMENTS OF
FEDERAL RECORDS MANAGEMENT ACT

It is not only the fact that the Government has been able to maintain a high level of employment, but also the fact that it has been able to maintain a high level of productivity. This is a testament to the skill and determination of the American people, and to the leadership of the Government.



SHIRLEY WATSON

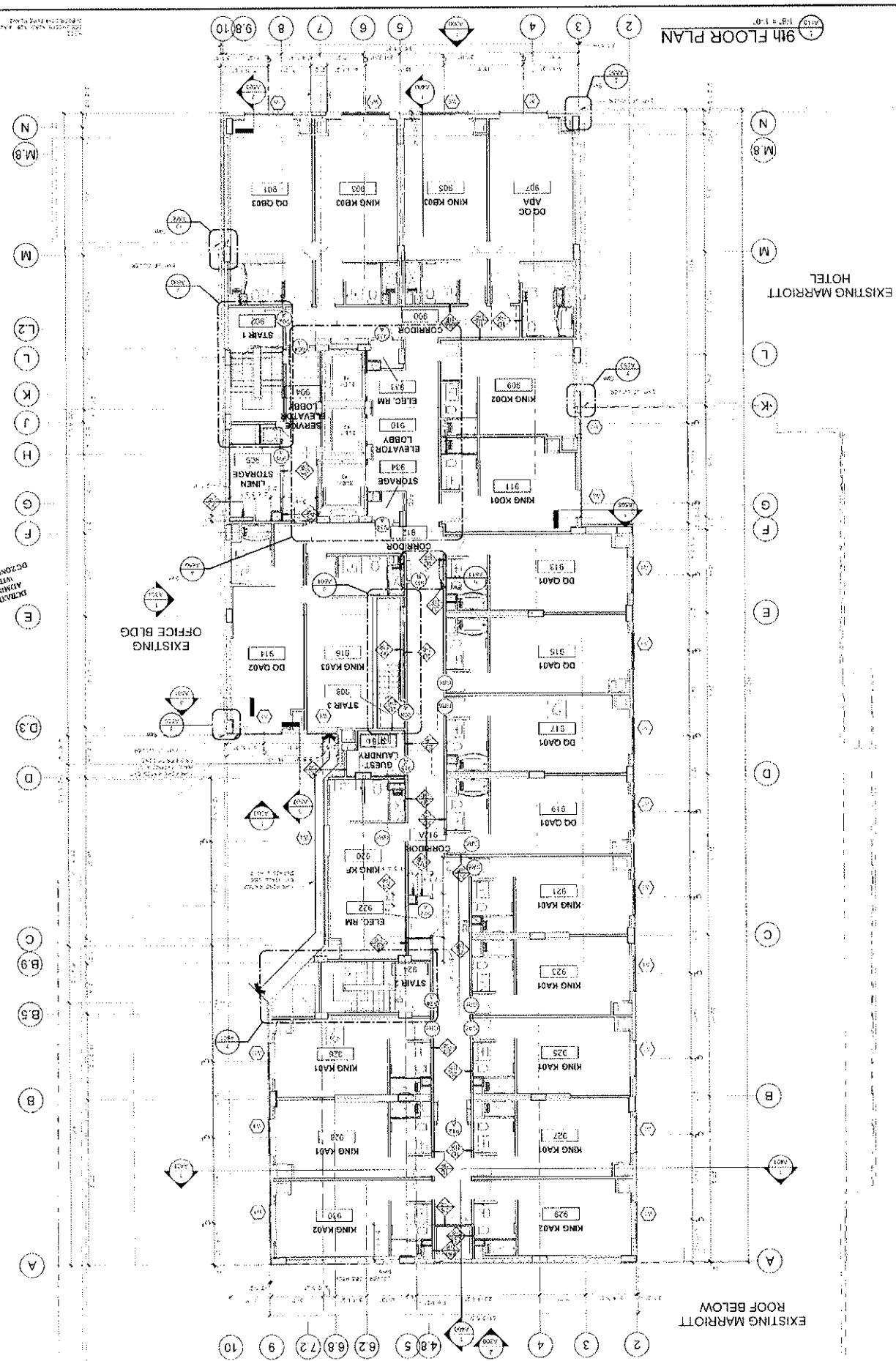
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SECRET

JONATHAN NEHMER & ASSOCIATES, INC.



9th FLOOR PLAN

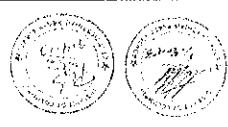


EXISTING MARRIOTT
ROOF BELOW

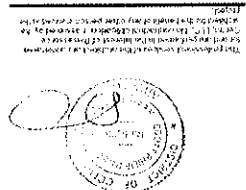
9th FLOOR PLAN

No	Description	Date
1	Initial Cash Balance	05/26/2013
2	Depreciation Expense	05/26/2013
3	Accumulated Depreciation	05/26/2013
4	Cost of Sales	05/26/2013
5	Inventory	05/26/2013
6	Accounts Payable	05/26/2013
7	Accounts Receivable	05/26/2013
8	Prepaid Expenses	05/26/2013
9	Fixed Assets	05/26/2013
10	Equity	05/26/2013
11	Liabilities	05/26/2013
12	Income Statement	05/26/2013
13	Balance Sheet	05/26/2013
14	Statement of Cash Flows	05/26/2013
15	Statement of Financial Position	05/26/2013
16	Statement of Income	05/26/2013
17	Statement of Retained Earnings	05/26/2013
18	Statement of Comprehensive Income	05/26/2013
19	Statement of Financial Position	05/26/2013
20	Statement of Income	05/26/2013
21	Statement of Retained Earnings	05/26/2013
22	Statement of Comprehensive Income	05/26/2013
23	Statement of Financial Position	05/26/2013
24	Statement of Income	05/26/2013
25	Statement of Retained Earnings	05/26/2013
26	Statement of Comprehensive Income	05/26/2013
27	Statement of Financial Position	05/26/2013
28	Statement of Income	05/26/2013
29	Statement of Retained Earnings	05/26/2013
30	Statement of Comprehensive Income	05/26/2013
31	Statement of Financial Position	05/26/2013
32	Statement of Income	05/26/2013
33	Statement of Retained Earnings	05/26/2013
34	Statement of Comprehensive Income	05/26/2013
35	Statement of Financial Position	05/26/2013
36	Statement of Income	05/26/2013
37	Statement of Retained Earnings	05/26/2013
38	Statement of Comprehensive Income	05/26/2013
39	Statement of Financial Position	05/26/2013
40	Statement of Income	05/26/2013
41	Statement of Retained Earnings	05/26/2013
42	Statement of Comprehensive Income	05/26/2013
43	Statement of Financial Position	05/26/2013
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47	Statement of Financial Position	05/26/2013
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49	Statement of Retained Earnings	05/26/2013
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51	Statement of Financial Position	05/26/2013
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59	Statement of Financial Position	05/26/2013
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62	Statement of Comprehensive Income	05/26/2013
63	Statement of Financial Position	05/26/2013
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65	Statement of Retained Earnings	05/26/2013
66	Statement of Comprehensive Income	05/26/2013
67	Statement of Financial Position	05/26/2013
68	Statement of Income	05/26/2013
69	Statement of Retained Earnings	05/26/2013
70	Statement of Comprehensive Income	05/26/2013
71	Statement of Financial Position	05/26/2013
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73	Statement of Retained Earnings	05/26/2013
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75	Statement of Financial Position	05/26/2013
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77	Statement of Retained Earnings	05/26/2013
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86	Statement of Comprehensive Income	05/26/2013
87	Statement of Financial Position	05/26/2013
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90	Statement of Comprehensive Income	05/26/2013
91	Statement of Financial Position	05/26/2013
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93	Statement of Retained Earnings	05/26/2013
94	Statement of Comprehensive Income	05/26/2013
95	Statement of Financial Position	05/26/2013
96	Statement of Income	05/26/2013
97	Statement of Retained Earnings	05/26/2013
98	Statement of Comprehensive Income	05/26/2013
99	Statement of Financial Position	05/26/2013

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



DATE OF THE ZONING
ADMINISTRATIVE COMPLETION
WITH REGULATIONS (1/1/00)
01/26/12



『山川記』卷第27

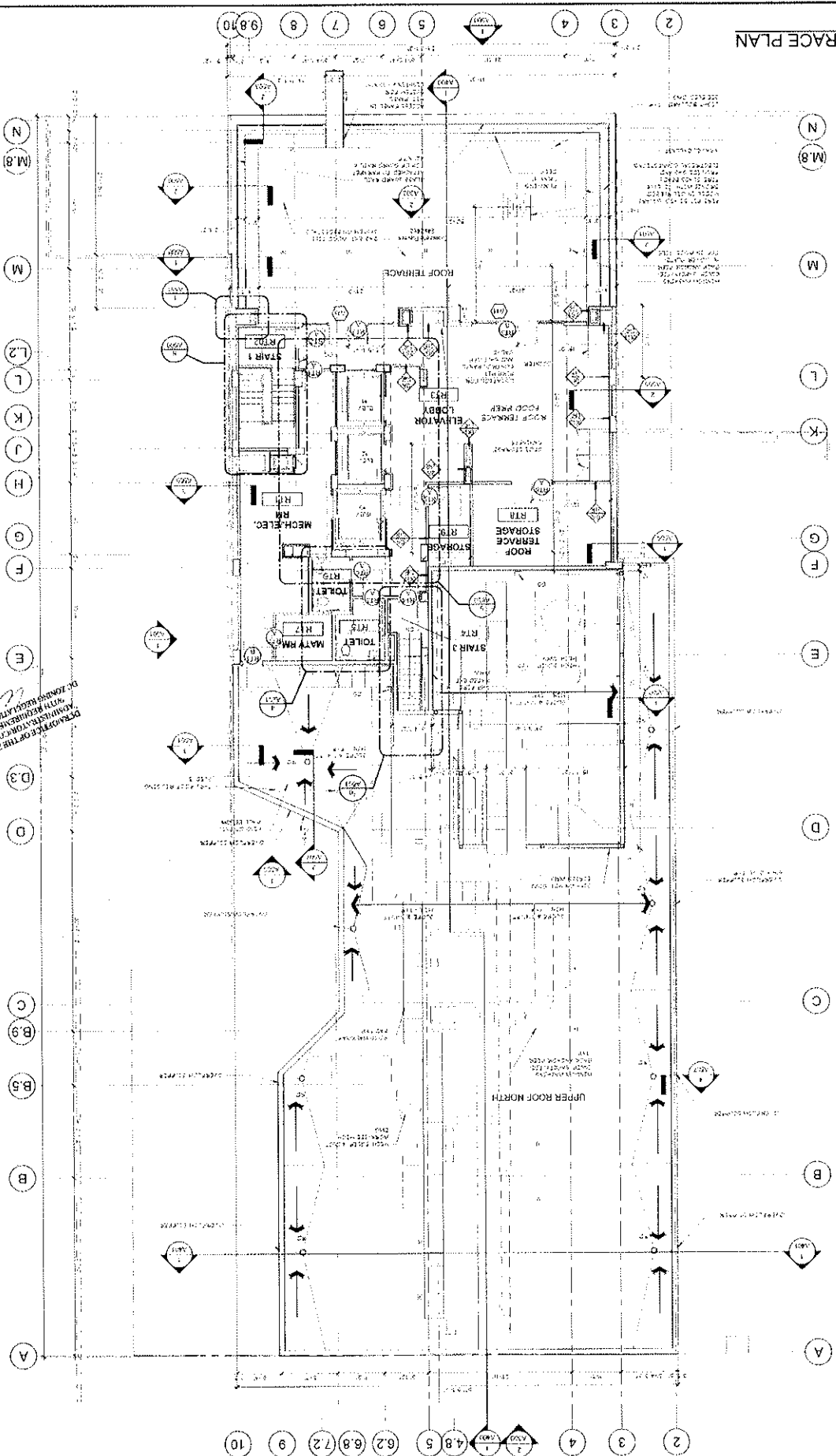
627 23 11 2015
 628 23 11 2015
 629 23 11 2015

CONFIDENTIAL

ADDITIONAL INFORMATION



1 ROOF TERRACE PLAN



A111

ROOF TERRACE PLAN

NO.	DESCRIPTION	DATE
1	REVISION	10/25/2013
2	REVISION	10/25/2013
3	REVISION	10/25/2013
4	REVISION	10/25/2013
5	REVISION	10/25/2013
6	REVISION	10/25/2013
7	REVISION	10/25/2013
8	REVISION	10/25/2013
9	REVISION	10/25/2013
10	REVISION	10/25/2013



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

10/25/2013
10/25/2013
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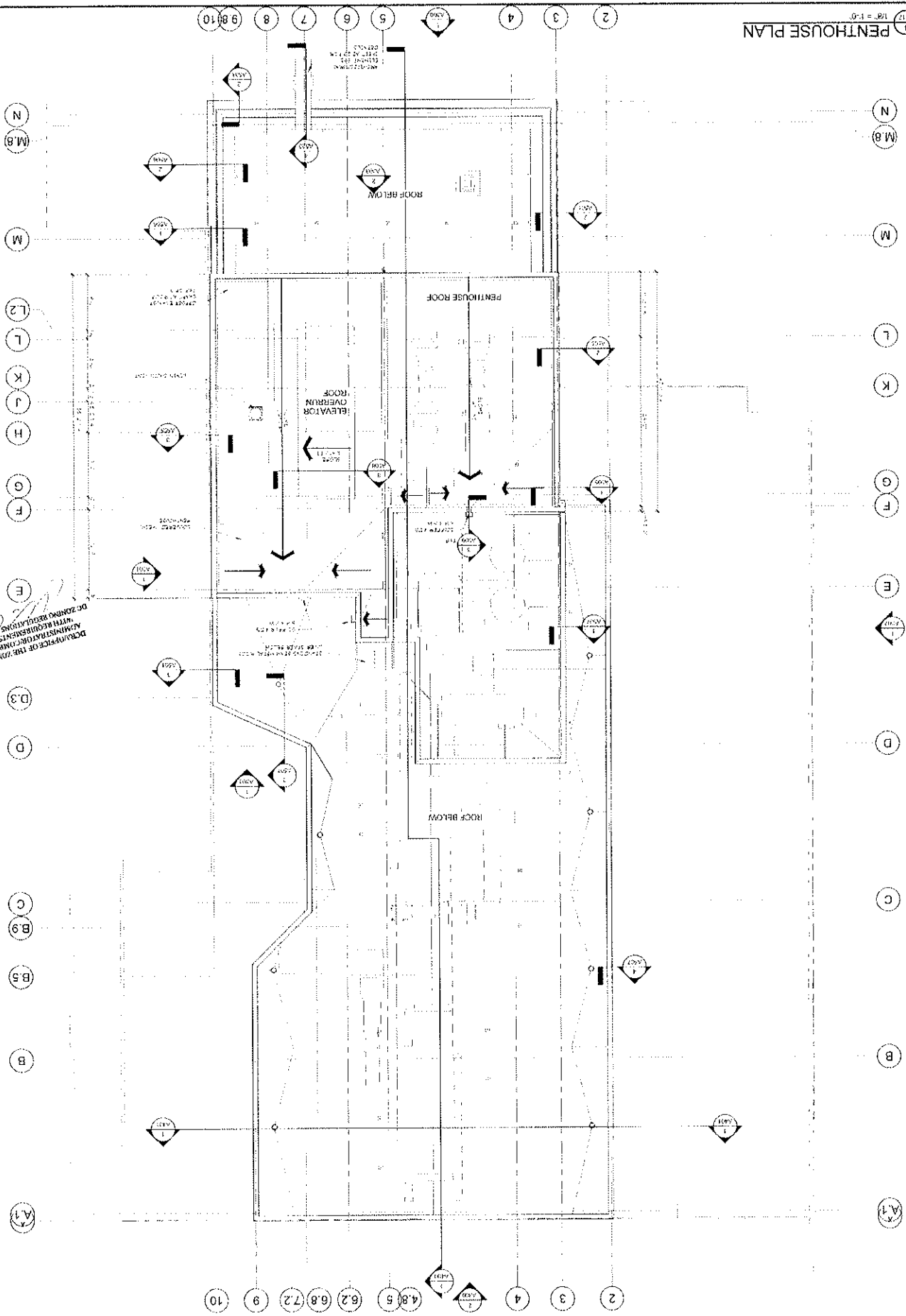


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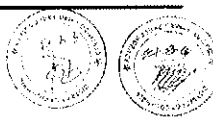
1 PENTHOUSE PLAN
1/8" = 1'-0"



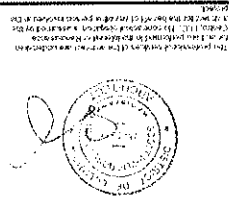
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PENTHOUSE PLAN

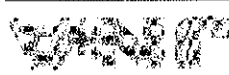
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3	100% DESIGN (100%)	01/14/2013
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5	100% DESIGN (100%)	01/14/2013
6	100% DESIGN (100%)	01/14/2013
7	100% DESIGN (100%)	01/14/2013
8	100% DESIGN (100%)	01/14/2013
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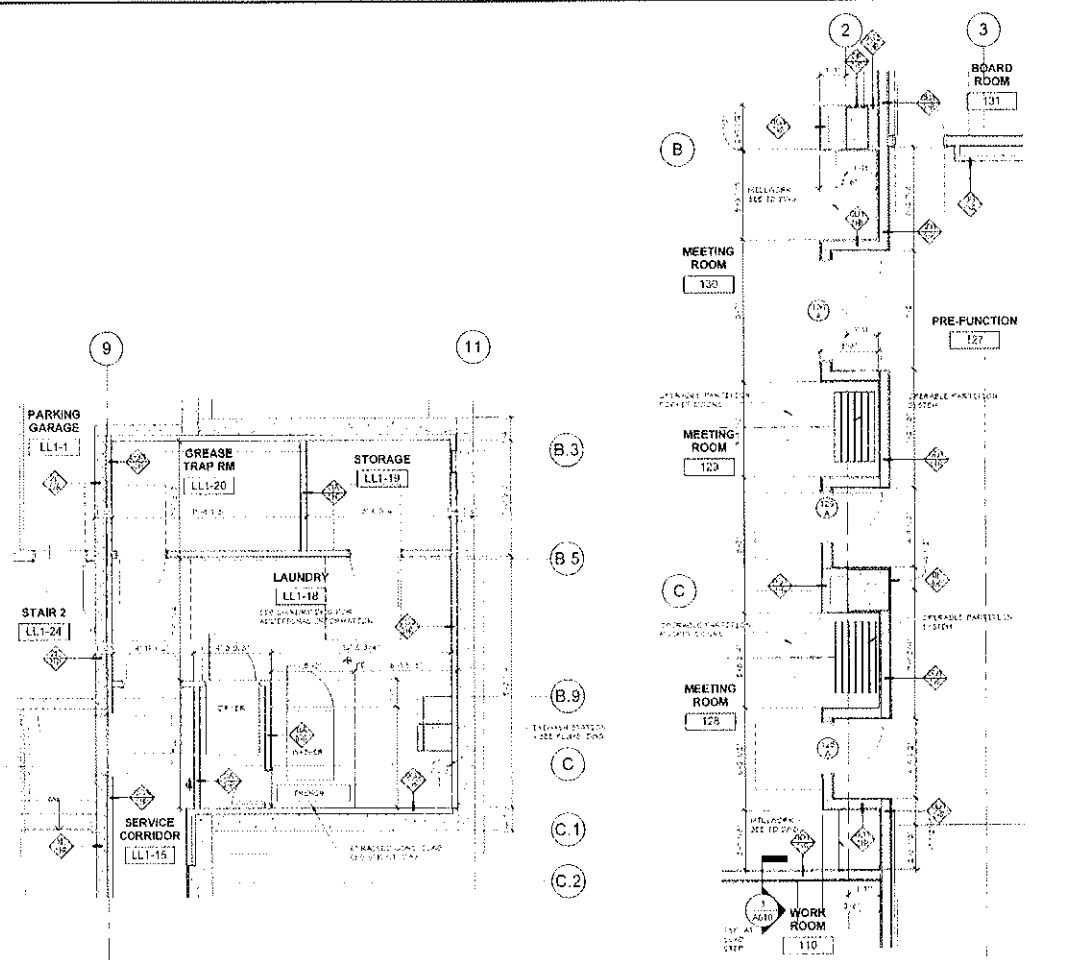


Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

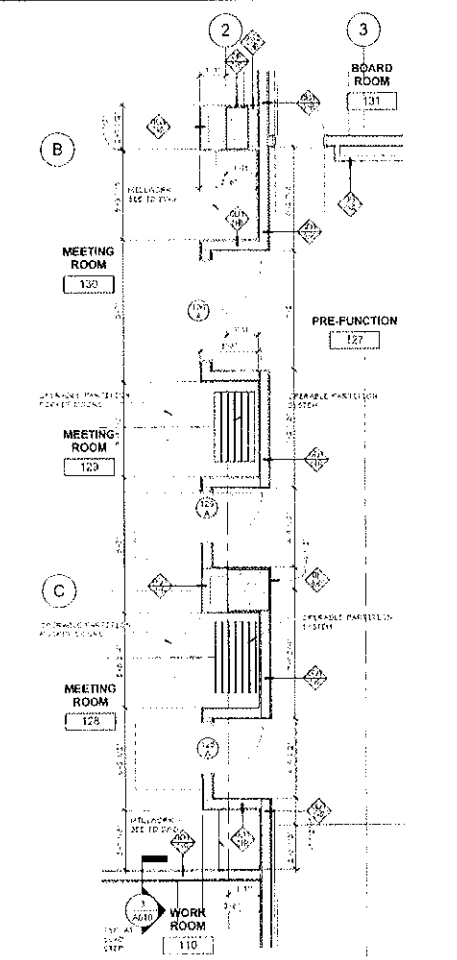


CONSULTANTS
JONATHAN NEMER + ASSOCIATES, INC.
ARCHITECT
JONATHAN NEMER + ASSOCIATES, INC.
ARCHITECT

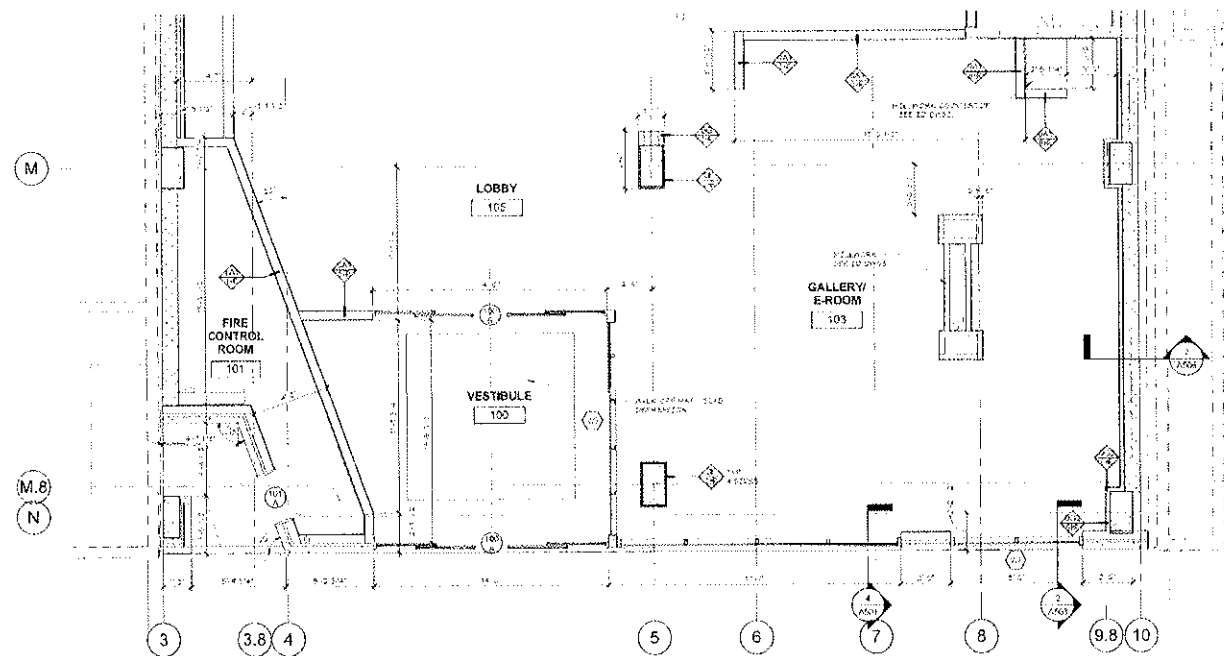




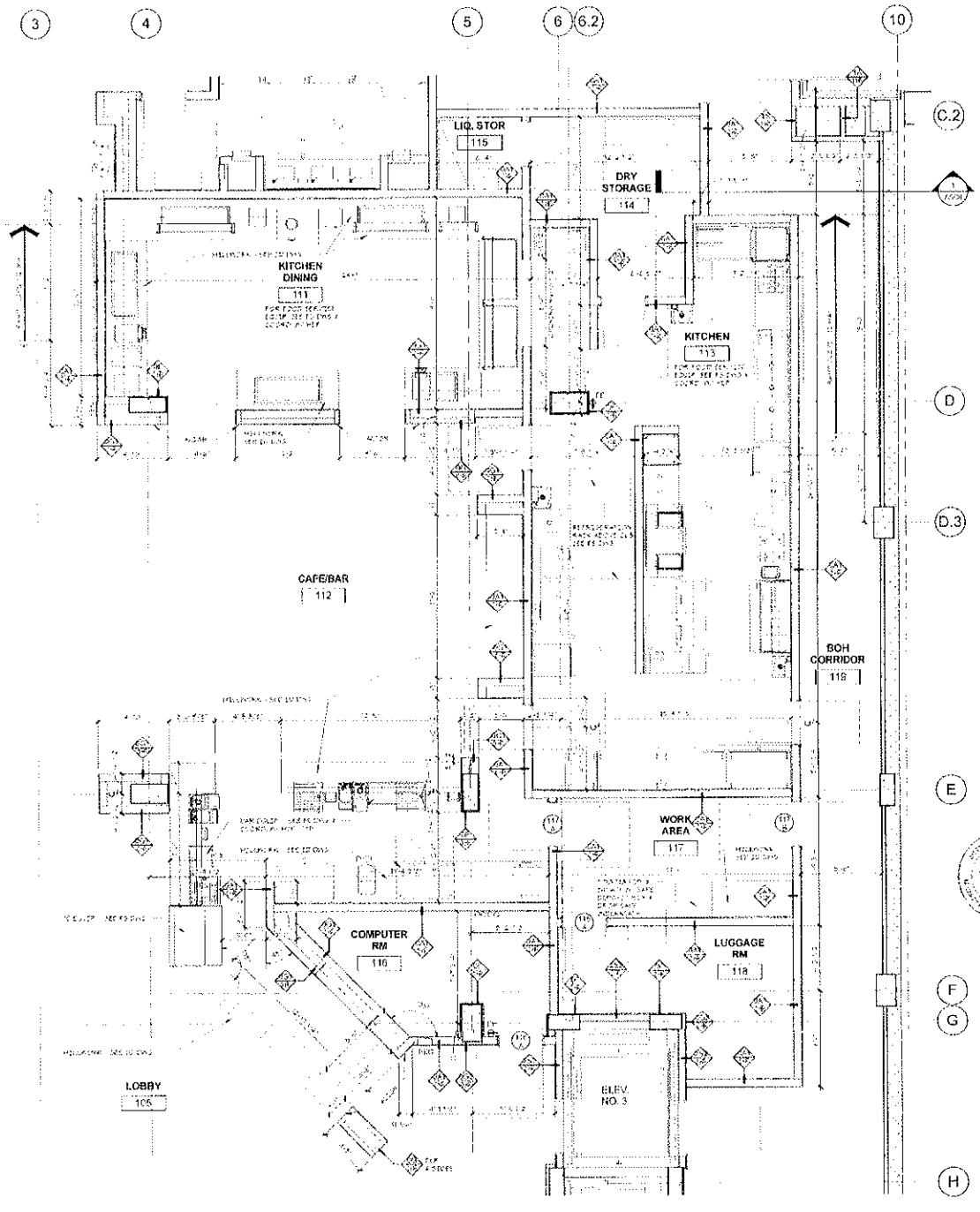
ENLARGED PLAN - LAUNDRY
 1/4" = 1'-0"



ENLARGED PLAN - MEETING ROOM
 1/4" = 1'-0"



ENLARGED PLAN - 1st FLOOR SOUTH
 1/4" = 1'-0"



ENLARGED PLAN - 1st FLOOR CAFE/BAR
 1/4" = 1'-0"



This plan and section of the building are prepared for the use of the architect and are not to be used for any other purpose without the written consent of the architect.

Hyatt Place Hotel
 2121 M Street, NW
 Washington, D.C. 20036



NO. 12069
 DATE 01/14/2013
 PROJECT 12069
 SHEET 12069-1

ENLARGED FLOOR PLANS

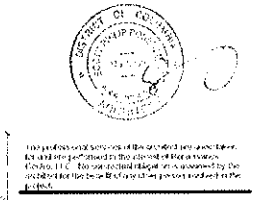
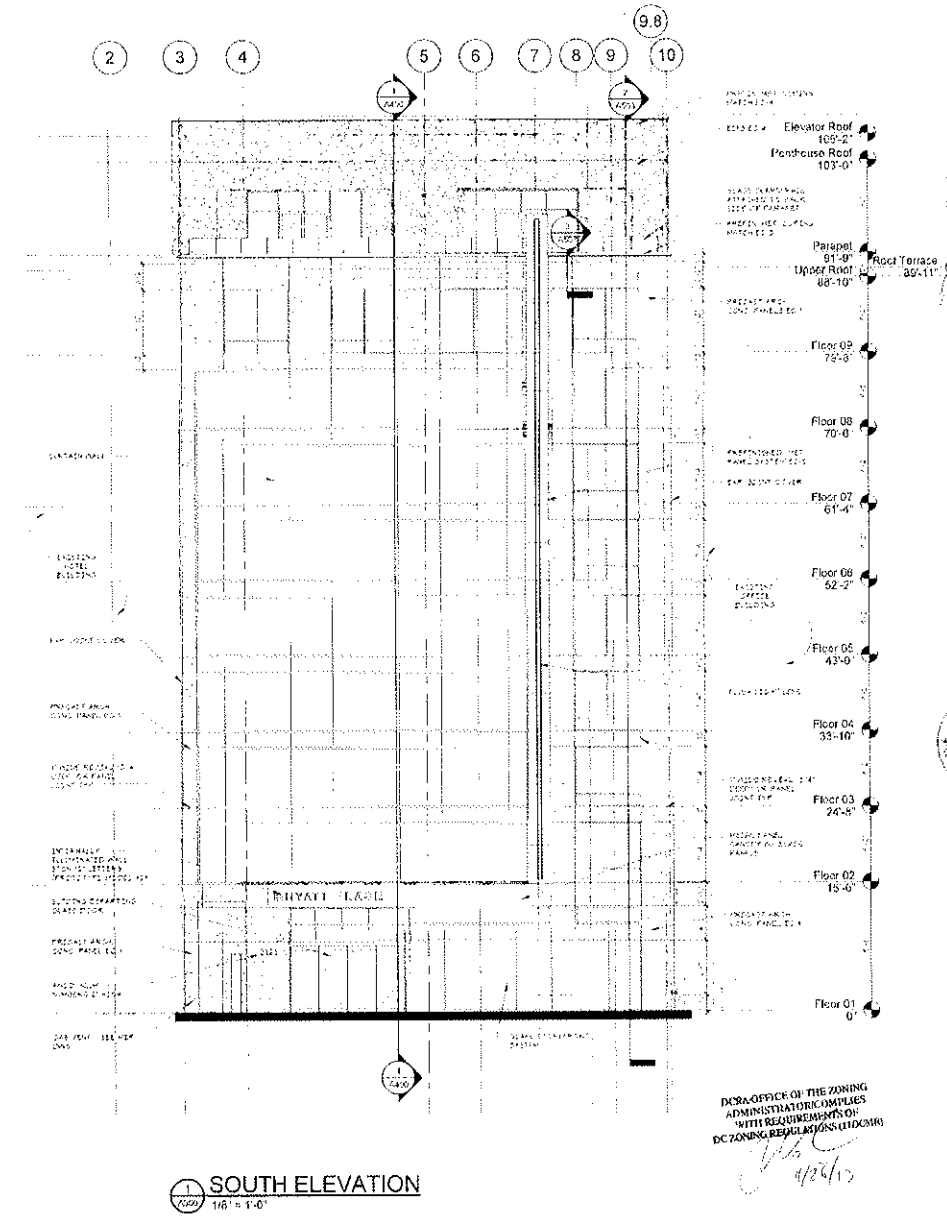
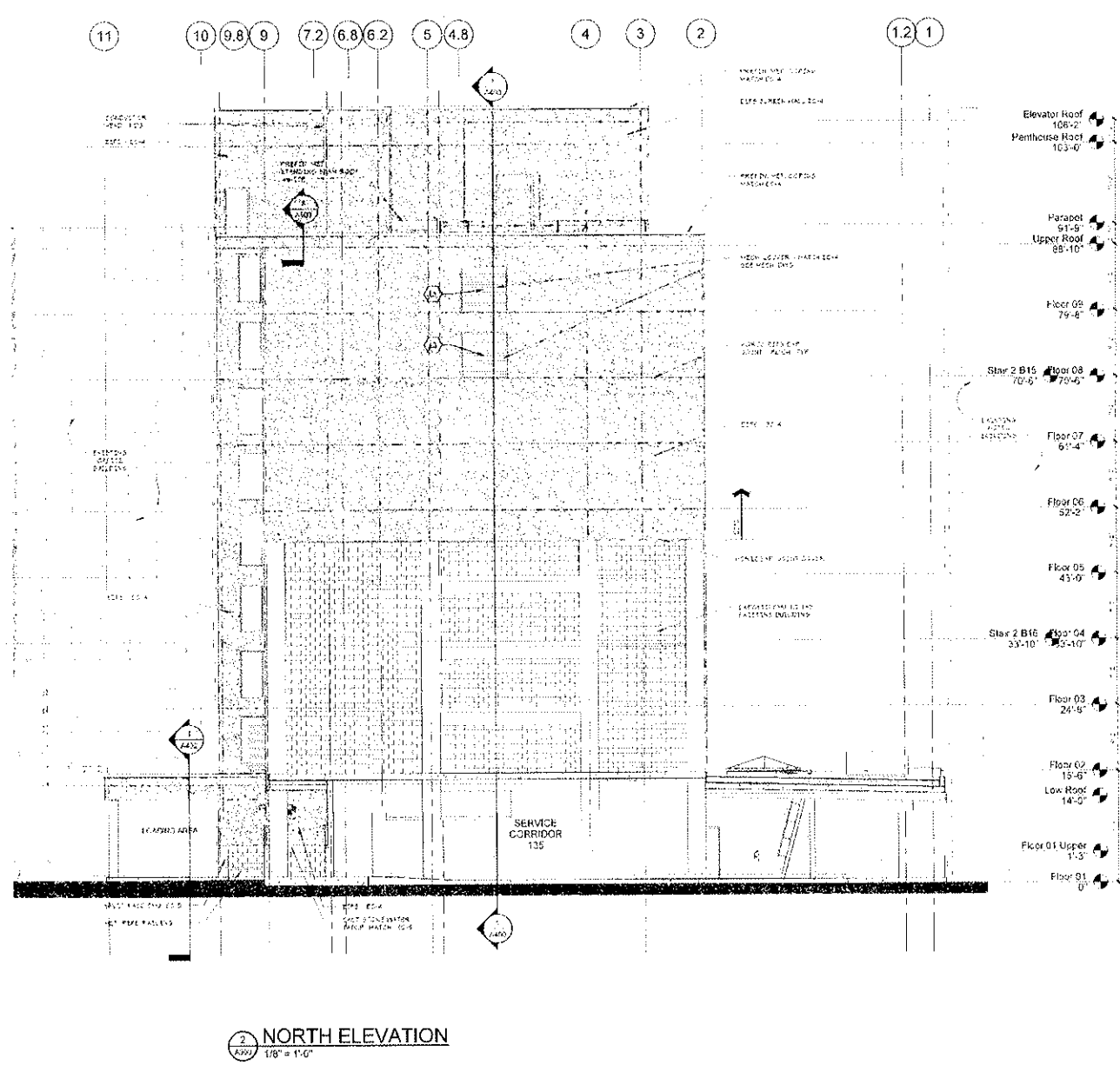
A200

EXTERIOR FINISH MATERIAL LEGEND			
TAG #	MATERIAL	COLOR	POORIE KEY
E-1	PRECAST ARCHITECTURAL CONCRETE	SPECIALTY PRECAST, 100% WHITE, 100% MATCH EXISTING CONCRETE	
E-2	PRECAST ARCHITECTURAL CONCRETE	SPECIALTY PRECAST, 100% WHITE, 100% MATCH EXISTING CONCRETE	
E-3	PRECAST ARCHITECTURAL CONCRETE	SPECIALTY PRECAST, 100% WHITE, 100% MATCH EXISTING CONCRETE	
E-4	EIFS	EIFS, 100% WHITE, 100% MATCH EXISTING CONCRETE	
E-5	EIFS	EIFS, 100% WHITE, 100% MATCH EXISTING CONCRETE	

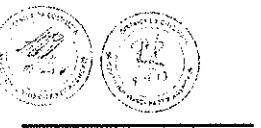
JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECT
1000 15TH STREET, NW
WASHINGTON, D.C. 20005
202.462.1000 FAX 202.462.1001

DATE: 04/24/13
PROJECT: 12069
SHEET: 100



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

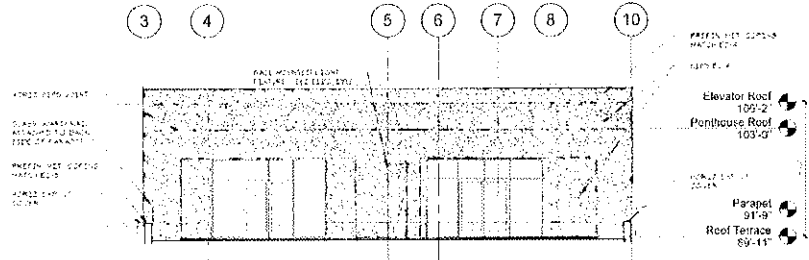
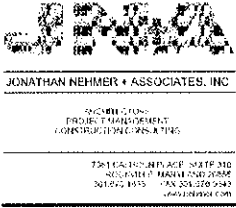


No.	Description	Date
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2	ISSUED FOR PERMIT	04/24/13
3	ISSUED FOR PERMIT	04/24/13
4	ISSUED FOR PERMIT	04/24/13
5	ISSUED FOR PERMIT	04/24/13
6	ISSUED FOR PERMIT	04/24/13
7	ISSUED FOR PERMIT	04/24/13
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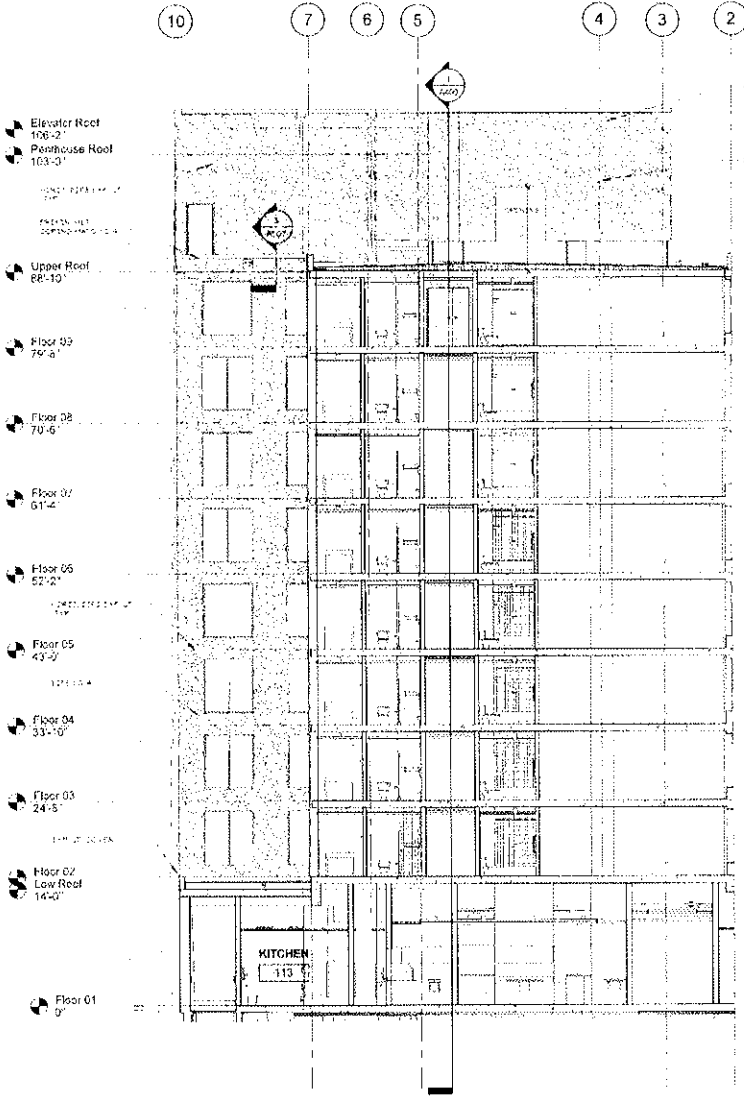
Copyright © 2013 Jonathan Nehmer + Associates, Inc.
PROJECT: 12069
SHEET: 100

A300

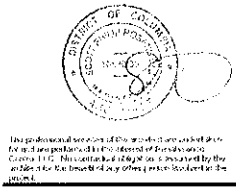
EXTERIOR FINISH MATERIAL LEGEND			
TAG #	MATERIAL	COLOR	POCHE KEY
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EC-2	PRECAST ARCH CONCRETE	STRUCTURAL PRECAST, 5454 31/32" GRAY ARCHITECTURAL COLOR: 4115 AMARILLO WHITE	
EC-3	ALUM. PANEL SYSTEM	ALUMINUM, 400, 4000 31/32" GRAY	
EC-4	EIFS	UNPAINTED GRAY EIFS, 4000 31/32" GRAY THROUGH DARK FINISH, 1111	
EC-5	SMALL TILE	TECHNOLOGY STONE, 4000 31/32" GRAY GRANITE	



2 SOUTH ROOF TERRACE ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION - COURT
1/8" = 1'-0"



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



No.	Description	Date
1	Project Number: 12089	
2	Project Name: 2121 M Street, NW, Washington, D.C. 20036	
3	Project Title: EXTERIOR ELEVATIONS	

EXTERIOR ELEVATIONS

A303

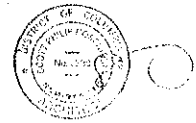


JONATHAN NEHMER + ASSOCIATES, INC.

ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION MANAGEMENT

1201 CALLE CORRAL, SUITE 210
BOSTON, MASSACHUSETTS 02108
TEL: 617.552.1000 FAX: 617.552.1001
WWW.JONATHANNEHMER.COM

CUSTOMER NAME:



The professional seal of the architect or engineer is required for all drawings submitted for review and approval by the Department of Building. The seal must be placed on the drawing in the location indicated by the Department of Building.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

DEPARTMENT OF THE ZONING
ADMINISTRATOR COMPLIES
WITH REQUIREMENTS OF
ZONING REGULATIONS (UDC-2000)

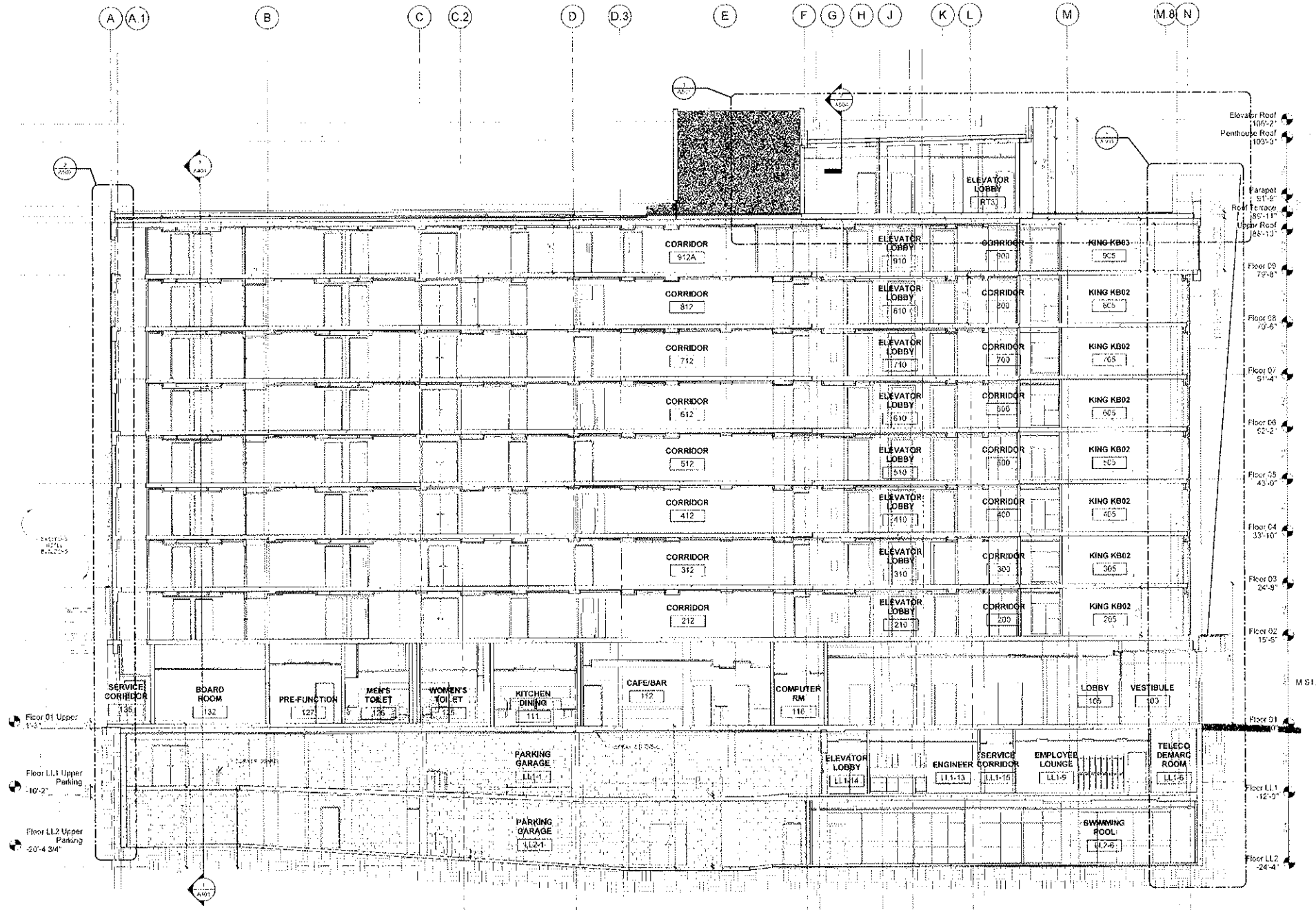


FROM: DRAFT PREPARED BY: 06/26/2013
ISSUED FOR: 07/15/2013
REVISION: 08/04/2013
DATE: 08/04/2013
DRAWN BY: J. NEHMER
CHECKED BY: J. NEHMER
DATE: 08/04/2013
DATE: 08/04/2013

No.	Description	Date
12068	Project Number	
08/04/2013	Copyright © 2013 Jonathan Nehmer + Associates, Inc.	

BUILDING
SECTIONS

A400



1 Building Section
A400
1/8" = 1'-0"

