

EXHIBIT A



Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862



B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF
WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 11/27/2013

PERMIT NO. B1310607

Expiration Date: 11/27/2014

Address of Project: 2121 M ST NW		Zone:	Ward: 2	Square: 0070	Suffix:	Lot: 0880
Description Of Work: NEW CONSTRUCTION OF A 9-STORY, 168 GUESTROOM HOTEL ADDITION TO THE EXISTING WASHINGTON MARRIOTT HOTEL. THE ADDITION INCLUDES BELOW GRADE PARKING, A SWIMMING POOL, FITNESS AREA AND WILL HAVE A COMPLETE FIRE PROTECTION SYSTEM.						
Permission is Hereby Granted To: Ilan Scharfstein Renaissance Centro		Owner Address: 7501 WISCONSIN AVE #1103E 20814		PERMIT FEE: \$68,010.03		
Permit Type: Addition Alteration Repair	Existing Use: Hotel - R-1		Proposed Use: Hotel - R-1		Plans: Yes	
Agent Name: Jopatric Love - Americode	Agent Address: 8505 Euclid Ave #3 20111	Existing Dwell Units: 0	Proposed Dwell Units: 0	No. of Stories: 9	Floor(s) Involved: All	
Conditions/ Restrictions: This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year. All Construction Done According To The Current Building Codes And Zoning Regulations; As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund Lead Paint Abatement Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to http://ddoe.dc.gov, Lead and Healthy Housing.						
Director: Nicholas A. Majett		Permit Clerk Keith Hawkins				
TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639 FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557 TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557.						

EXHIBIT B

Existing Marriott Hotel
Sq. 70, L. 881, 883, 884

Proposed Hyatt Hotel
Sq. 70. L. 880

Appellant's Property
Sq. 70, L. 195

EXHIBIT C

THIS DRAWING SET IS FOR THE PROPOSED BUILDING TO BE AN ADDITION TO THE MARRIOTT HOTEL AND EXISTING RETAIL LOCATED ON THE SITE. ALL EXISTING INFORMATION LISTED IS REFERENCING THE MARRIOTT HOTEL AND RETAIL SPACES. ADDITION INFORMATION LISTED IS FOR THE PROPOSED BUILDING SHOWN IN THIS DRAWING SET. TOTAL PROPOSED INFORMATION IS THE EXISTING BUILDING ON SITE (MARRIOTT) AND THE PROPOSED NEW ADDITION (HYATT PLACE HOTEL).

[illegible][illegible]

ZONING DISTRICT & SPECIAL DEVELOPMENT RESTRICTIONS					
DISTRICT: CR					
OVERLAY: DC					
ZONING DATA					
DATA	EXISTING	ADDITION	TOTAL PROPOSED	REQUIRED/ALLOWABLE	NOTES
# OF DWELLING UNITS	421	168	589	N/A	
# OF PARKING SPACES	108	34	140	48	NO PARKING SPACES REQ'D FOR EXIST. BLDGS.
SIDE (L) YARD SETBACK	N/A	N/A	N/A	N/A	
SIDE (R) YARD SETBACK	N/A	N/A	N/A	N/A	
REAR YARD SETBACK	N/A	N/A	N/A	N/A	
CLOSED COURT MIN. WIDTH	N/A	N/A	35'-0 3/4"	15'-1 1/4"	2 1/2" PER 1'-0" HT; HT = 76'-4"
CLOSED COURT MIN. AREA	N/A	N/A	4695 sq.ft.	236 sq.ft.	AREA MIN. 2X SQUARE OF REQ. WIDTH
OPEN COURT MIN. DIMS-ALLEY	N/A	N/A	22'-3 3/4"	18'-7 3/8"	2 1/2" PER 1'-0" HT; HT = 84'-6"
OPEN COURT MIN. DIMS-2nd FL	N/A	N/A	16'-3 3/8"	15'-1 1/8"	2 1/2" PER 1'-0" HT; HT = 76'-4"
ACTUAL BUILDING HEIGHT		88.894'	88.894'	40'	PROPOSED FIRST FLOOR ELEVATION = 57.15' + 0.55'-41 ST. REF. TC 51.2' FROM 1941 ZONING COMP. SHEET
ZONING BUILDING HEIGHT	110'	243.84'	243.84'	40'	
LOT AREA	64,445.98 sq.ft.	0 sq.ft.	64,445.98 sq.ft.	64,445.98 sq.ft.	
GROSS FLOOR AREA	241,841.87 sq.ft.	104,542 sq.ft.	346,383.87 sq.ft.	362,481.78 sq.ft.	
NON RESIDENTIAL USE		7,041 sq.ft.		6,454 sq.ft.	REF. DCRA LETTER DATED FEB. 13, 2004
FLOOR/AREA RATIO	3.75 6F/ALOT	1.71 6F/ALOT	5.46 6F/ALOT	6.0 6F/ALOT	REF. DEVELOPMENT RIGHTS AGREEMENT OCT. 5, 2006
BUILDING AREA (FOOTPRINT)	4,507 sq.ft.	16,674 sq.ft.	58,186 sq.ft.		REF. DCRA LETTER DATED FEB. 13, 2004
LOT OCCUPANCY	64.4%	25.9%	90.3%	100%	

[illegible][illegible][illegible]

Form No. 100-1 (Rev. 1-25-60) Inkjet Copy of GSA Form 100-1 (Rev. 1-25-60)

DEPARTMENT OF COMMERCE AND INDUSTRIAL AFFAIRS
PROPERTY OPERATIONS CENTER

THIS IS TO CERTIFY THAT THE FOLLOWING IS A TRUE AND CORRECT COPY OF THE ORIGINAL:

PROPERTY OPERATIONS CENTER	APPLICANT (OFFICE)
1. Title of Document: 1. <u>State of Commerce</u> 2. <u>Department of Commerce</u> 3. <u>Department of Commerce</u> 4. <u>State of Commerce</u> 5. <u>State of Commerce</u> 6. <u>State of Commerce</u> 7. <u>State of Commerce</u> 8. <u>State of Commerce</u> 9. <u>State of Commerce</u> 10. <u>State of Commerce</u> 11. <u>State of Commerce</u> 12. <u>State of Commerce</u> 13. <u>State of Commerce</u> 14. <u>State of Commerce</u> 15. <u>State of Commerce</u> 16. <u>State of Commerce</u> 17. <u>State of Commerce</u> 18. <u>State of Commerce</u> 19. <u>State of Commerce</u> 20. <u>State of Commerce</u> 21. <u>State of Commerce</u> 22. <u>State of Commerce</u> 23. <u>State of Commerce</u> 24. <u>State of Commerce</u> 25. <u>State of Commerce</u> 26. <u>State of Commerce</u> 27. <u>State of Commerce</u> 28. <u>State of Commerce</u> 29. <u>State of Commerce</u> 30. <u>State of Commerce</u> 31. <u>State of Commerce</u> 32. <u>State of Commerce</u> 33. <u>State of Commerce</u> 34. <u>State of Commerce</u> 35. <u>State of Commerce</u> 36. <u>State of Commerce</u> 37. <u>State of Commerce</u> 38. <u>State of Commerce</u> 39. <u>State of Commerce</u> 40. <u>State of Commerce</u> 41. <u>State of Commerce</u> 42. <u>State of Commerce</u> 43. <u>State of Commerce</u> 44. <u>State of Commerce</u> 45. <u>State of Commerce</u> 46. <u>State of Commerce</u> 47. <u>State of Commerce</u> 48. <u>State of Commerce</u> 49. <u>State of Commerce</u> 50. <u>State of Commerce</u> 51. <u>State of Commerce</u> 52. <u>State of Commerce</u> 53. <u>State of Commerce</u> 54. <u>State of Commerce</u> 55. <u>State of Commerce</u> 56. <u>State of Commerce</u> 57. <u>State of Commerce</u> 58. <u>State of Commerce</u> 59. <u>State of Commerce</u> 60. <u>State of Commerce</u> 61. <u>State of Commerce</u> 62. <u>State of Commerce</u> 63. <u>State of Commerce</u> 64. <u>State of Commerce</u> 65. <u>State of Commerce</u> 66. <u>State of Commerce</u> 67. <u>State of Commerce</u> 68. <u>State of Commerce</u> 69. <u>State of Commerce</u> 70. <u>State of Commerce</u> 71. <u>State of Commerce</u> 72. <u>State of Commerce</u> 73. <u>State of Commerce</u> 74. <u>State of Commerce</u> 75. <u>State of Commerce</u> 76. <u>State of Commerce</u> 77. <u>State of Commerce</u> 78. <u>State of Commerce</u> 79. <u>State of Commerce</u> 80. <u>State of Commerce</u> 81. <u>State of Commerce</u> 82. <u>State of Commerce</u> 83. <u>State of Commerce</u> 84. <u>State of Commerce</u> 85. <u>State of Commerce</u> 86. <u>State of Commerce</u> 87. <u>State of Commerce</u> 88. <u>State of Commerce</u> 89. <u>State of Commerce</u> 90. <u>State of Commerce</u> 91. <u>State of Commerce</u> 92. <u>State of Commerce</u> 93. <u>State of Commerce</u> 94. <u>State of Commerce</u> 95. <u>State of Commerce</u> 96. <u>State of Commerce</u> 97. <u>State of Commerce</u> 98. <u>State of Commerce</u> 99. <u>State of Commerce</u> 100. <u>State of Commerce</u>	2. Name of Applicant: <u>State of Commerce</u> 3. Address: <u>State of Commerce</u> 4. City: <u>State of Commerce</u> 5. State: <u>State of Commerce</u> 6. Zip: <u>State of Commerce</u> 7. Date: <u>State of Commerce</u> 8. Signature: <u>State of Commerce</u> 9. Title: <u>State of Commerce</u> 10. Name: <u>State of Commerce</u> 11. Address: <u>State of Commerce</u> 12. City: <u>State of Commerce</u> 13. State: <u>State of Commerce</u> 14. Zip: <u>State of Commerce</u> 15. Date: <u>State of Commerce</u> 16. Signature: <u>State of Commerce</u> 17. Title: <u>State of Commerce</u> 18. Name: <u>State of Commerce</u> 19. Address: <u>State of Commerce</u> 20. City: <u>State of Commerce</u> 21. State: <u>State of Commerce</u> 22. Zip: <u>State of Commerce</u> 23. Date: <u>State of Commerce</u> 24. Signature: <u>State of Commerce</u> 25. Title: <u>State of Commerce</u> 26. Name: <u>State of Commerce</u> 27. Address: <u>State of Commerce</u> 28. City: <u>State of Commerce</u> 29. 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SECRETARY OF COMMERCE - U.S. DEPARTMENT OF COMMERCE

STATEMENT OF CONDITIONS OF BUILDING AND WAIVER

STATE OF MISSISSIPPI COUNTY OF ST. LOUIS CITY OF MEMPHIS TRACT NO. 10

Project Location: 2015 Highway 100, Memphis, TN 38117

Lot No. 10 Square Feet 100 Date of Initial Application: 08/01/2015

APPLICANT

The following information is furnished by me and the person for which it applies, as a true and accurate description of the property and the proposed use of the same, and is submitted in support of the application for a building permit.

Signature: Paul S. Sargent

1. NAME OF APPLICANT OR OWNER: _____

2. ADDRESS OF PROPERTY: _____

3. NAME OF ARCHITECT OR ENGINEER: _____

4. NAME OF CONTRACTOR: _____

5. NAME OF INSURANCE AGENT: _____

6. NAME OF FINANCIAL INSTITUTION: _____

7. NAME OF ATTORNEY: _____

8. NAME OF REALTOR: _____

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# 1. Import the necessary libraries
import pandas as pd
import numpy as np
import matplotlib.pyplot as plt
import seaborn as sns
import warnings
warnings.filterwarnings('ignore')

# 2. Load the dataset
url = "https://raw.githubusercontent.com/jbrownlee/tutorials/master/data/heart.csv"
df = pd.read_csv(url)

# 3. Explore the data
df.head()
df.info()
df.describe()

# 4. Data Cleaning
df.isnull().sum()
df.dropna(inplace=True)

# 5. Data Preprocessing
df['sex'] = df['sex'].map({'M': 1, 'F': 0})
df['smoke'] = df['smoke'].map({'Yes': 1, 'No': 0})
df['alcohol'] = df['alcohol'].map({'Yes': 1, 'No': 0})
df['exercise'] = df['exercise'].map({'Yes': 1, 'No': 0})

# 6. Feature Engineering
df['age_sq'] = df['age']**2
df['bmi'] = df['weight']/df['height']**2

# 7. Model Training
from sklearn.model_selection import train_test_split
X = df[['age', 'sex', 'smoke', 'alcohol', 'exercise', 'bmi', 'age_sq']]
y = df['heart_disease']
X_train, X_test, y_train, y_test = train_test_split(X, y, test_size=0.2, random_state=42)

# 8. Model Evaluation
from sklearn.metrics import accuracy_score, confusion_matrix, classification_report
from sklearn.linear_model import LogisticRegression
model = LogisticRegression()
model.fit(X_train, y_train)
y_pred = model.predict(X_test)
accuracy = accuracy_score(y_test, y_pred)
cm = confusion_matrix(y_test, y_pred)
report = classification_report(y_test, y_pred)

# 9. Visualization
sns.heatmap(cm, annot=True, cmap='Blues')
plt.title('Confusion Matrix')
plt.show()

# 10. Conclusion
print(f"Model Accuracy: {accuracy}")

```



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



FINAL TPR APPROVED	08/28/2013
ADDENDUM #6	08/08/2013
FOUNDATION-TO-GRADE DWGS	07/29/2013
ADDENDUM #1	07/26/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50%CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013
DESCRIPTION	DATE

CODE & ZONING ANALYSIS

A002



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Center, LLC. No contractual obligation is assumed by the architect for the benefit of any other person involved in the project.

Hyatt Place Hotel 2121 M Street, NW Washington, D.C. 20036



FINAL TPR APPROVED	08/28/2013
ADDENDUM #8	08/08/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	03/01/2013
100% SCHEMATIC DESIGN	01/04/2013

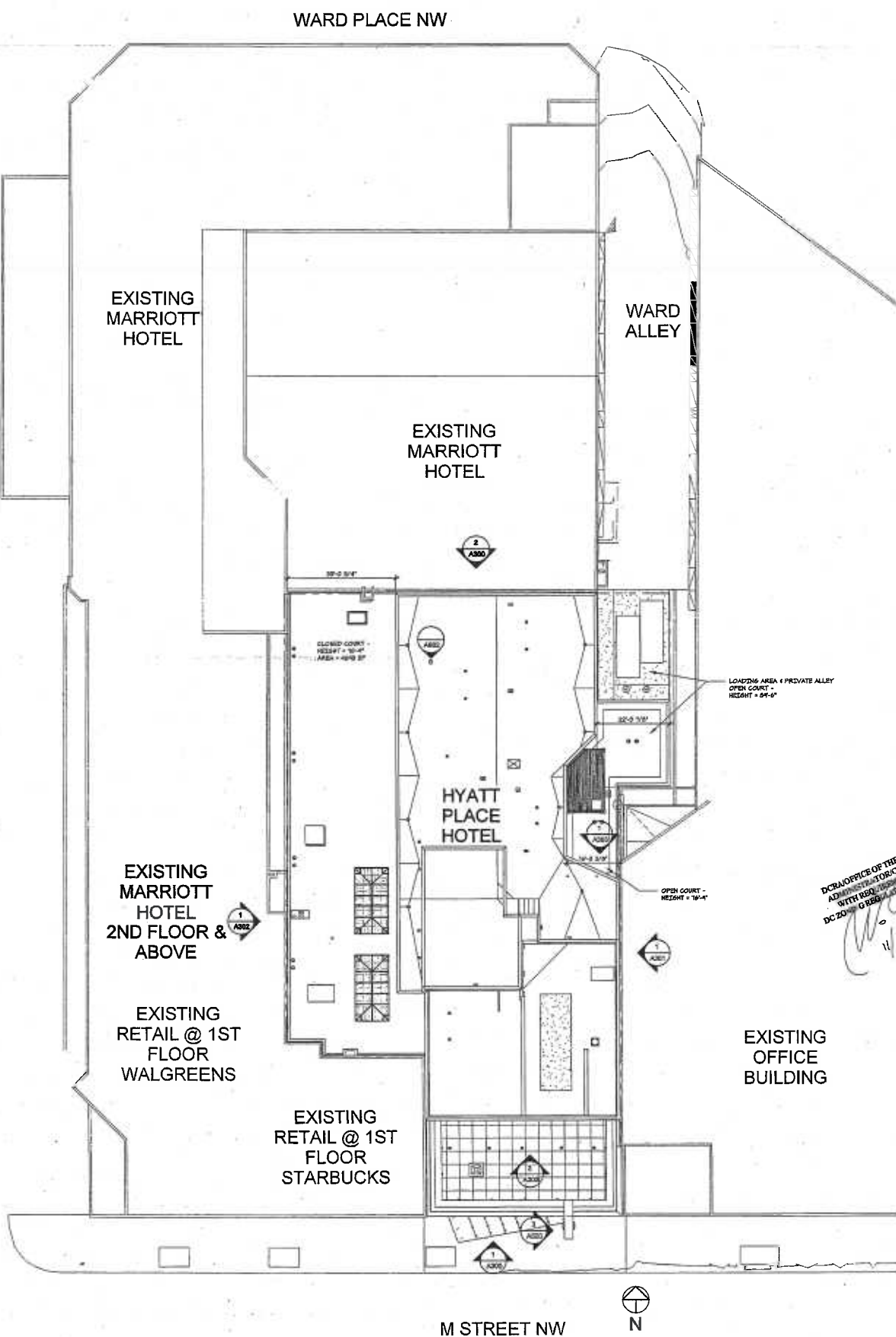
No.	Description	Date
Project Number:	12089	

Copyright: © 2013 Jonathan Nehmer + Associates, Inc.

SHEET TITLE

ARCHITECTURAL
SITE PLAN

A090



SITE PLAN
1/16" = 1'-0"

CONSULTANTS:



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Control, LLC. No contractual obligation is assumed by the architect for the benefit of any other person involved in the project.

Hyatt Place Hotel
 2121 M Street, NW
 Washington, D.C. 20036

DCRA OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (UDCMR)
 11/26/13



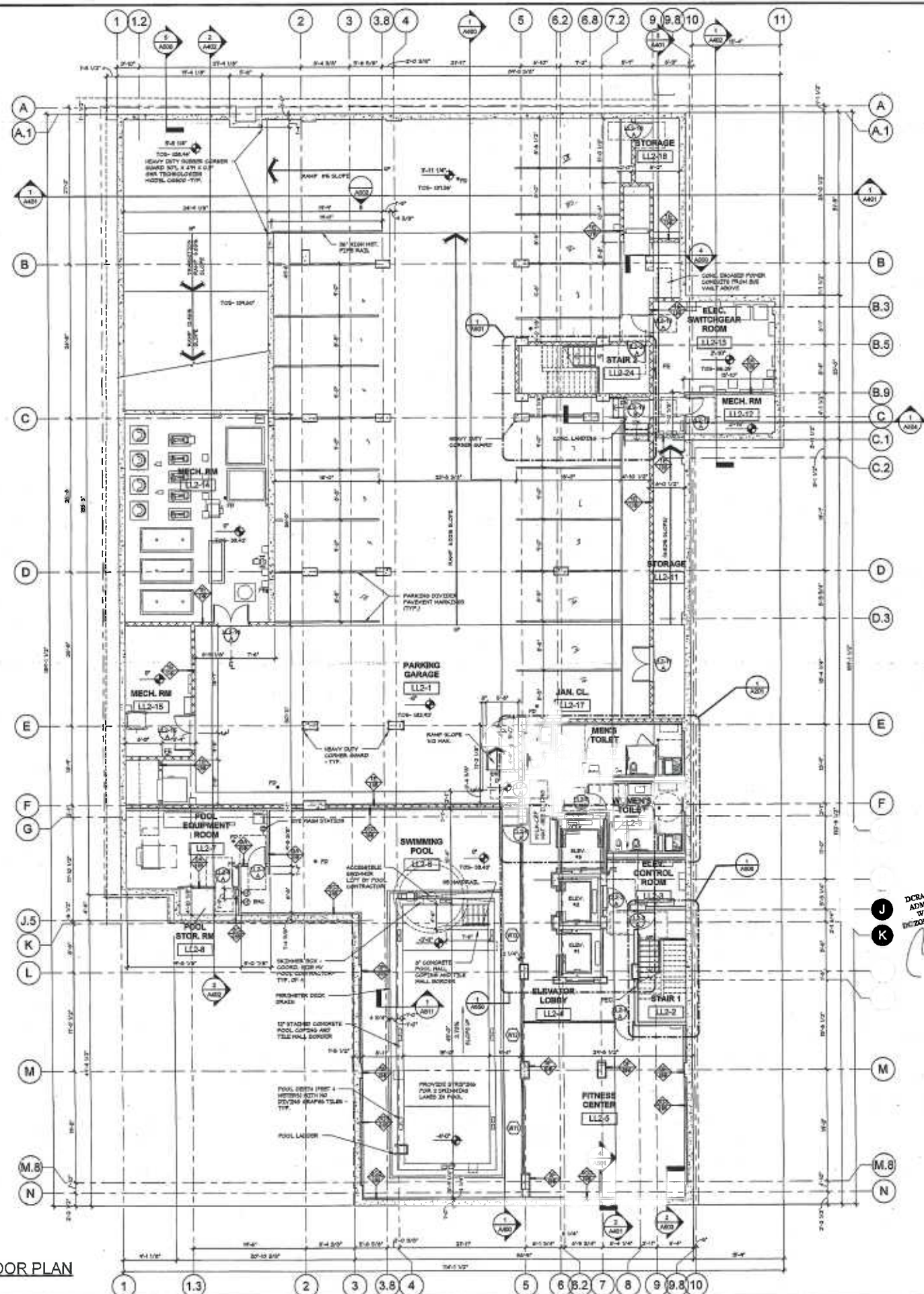
No.	Description	Date
1	FINAL TFR APPROVED	02/02/2013
2	ISSUED FOR BID	07/17/2013
3	ISSUED FOR REVIEW	09/04/2013
4	50% CONSTRUCTION DOCUMENTS	04/22/2013
5	100% DESIGN DEVELOPMENT	03/08/2013
6	50% DESIGN DEVELOPMENT	02/01/2013
7	100% SCHEMATIC DESIGN	01/04/2013

Project Number: 12069
 Copyright: © 2013 Jonathan Nehmer + Associates, Inc.
 SHEET TITLE:

**LOWER LEVEL 2
 FLOOR PLAN**

A100

LOWER LEVEL 2 FLOOR PLAN
 1/8" = 1'-0"





ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7361 CALHOUN PLACE, SUITE
ROCKVILLE, MARYLAND 20850
301.670.1635 FAX 301.670.9
www.neimer.com

CONSULTANTS:



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Centro, LLC. No contractual obligation is assumed by the architect for the benefit of any other person involved in the project.

$$S = \frac{1}{T}$$

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



FINAL TPR APPROVED	08/28/2011
ISSUED FOR BID	07/17/2011
ISSUED FOR REVIEW	06/04/2011
50% CONSTRUCTION DOCUMENTS	04/22/2011
100% DESIGN DEVELOPMENT	03/08/2011
50% DESIGN DEVELOPMENT	02/01/2011
100% SCHEMATIC DESIGN	01/04/2011

No.	Description	Date
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Project Number: 12069

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ENACTED 1999

LOWER LEVEL 1
FLOOR PLAN

A101



CONSULTANTS:

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF HANDBASE CENTERS, LLC. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

Hyatt Place Hotel
 2121 M Street, NW
 Washington, D.C. 20036

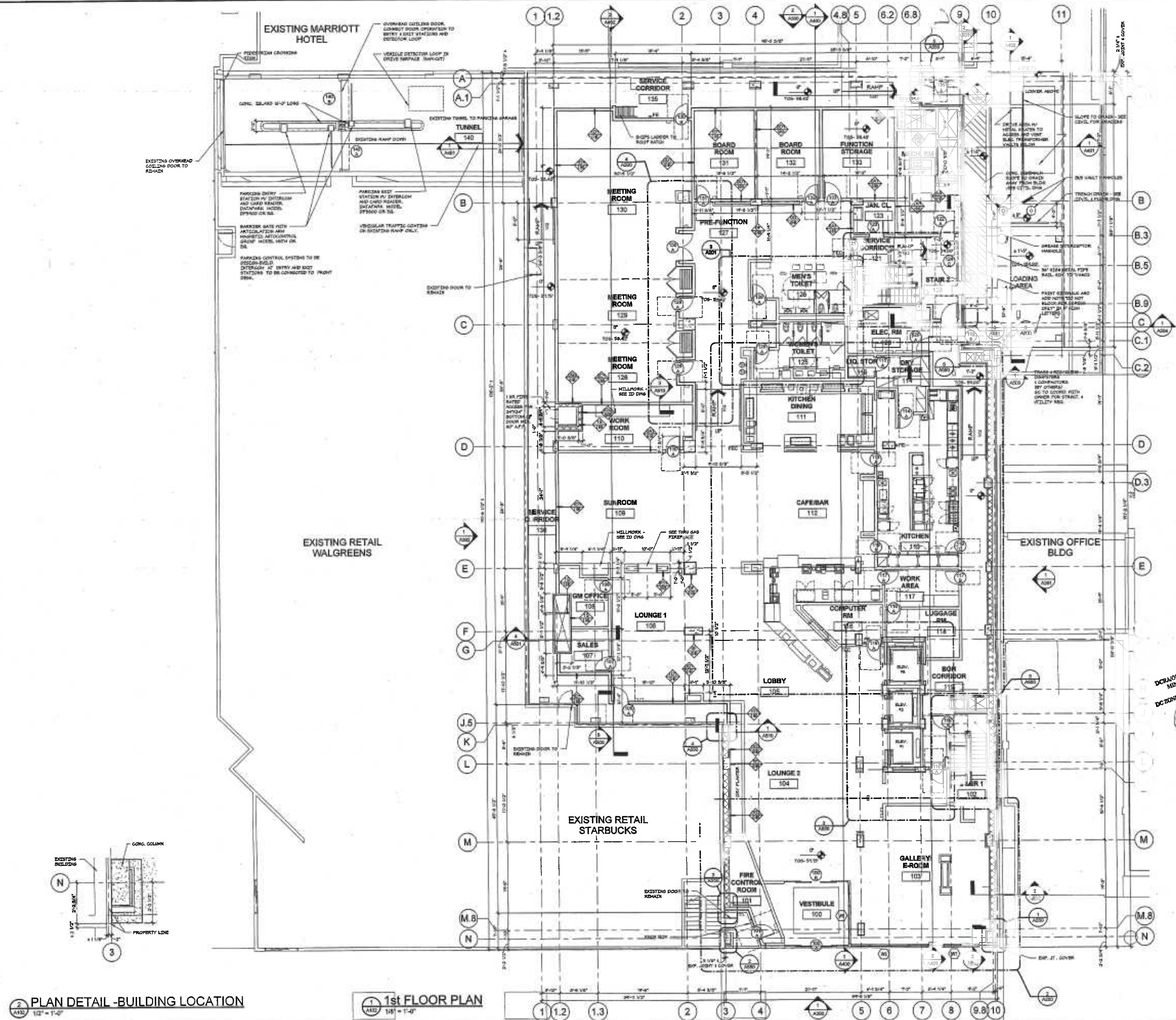


FINAL TPR APPROVED	05/28/2013
ADDENDUM #1	06/06/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	08/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/03/2013
50% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013

No.	Description	Date
Project Number:	12059	
Copyright:	© 2013 Jonathan Nehmer + Associates, Inc.	
SHEET TITLE		

1st FLOOR PLAN

A102



PLAN DETAIL - BUILDING LOCATION

1st FLOOR PLAN

05/28/2013 11:55:58 AM: Rev 1: Issue 1: 12059-Hyatt Place DC A102, Release: Client



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Capital, LLC. No contractual obligation is assumed by the architect for the benefit of any other person involved in the project.

Hyatt Place Hotel
 2121 M Street, NW
 Washington, D.C. 20036



DCRA/OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (UDC200)

No.	Description	Date
1	TPR APPROVED	08/28/2013
2	ADDENDUM #1	08/28/2013
3	ISSUED FOR BID	07/17/2013
4	ISSUED FOR REVIEW	06/04/2013
5	50% CONSTRUCTION DOCUMENTS	04/22/2013
6	100% DESIGN DEVELOPMENT	03/09/2013
7	30% DESIGN DEVELOPMENT	02/01/2013
8	100% SCHEMATIC DESIGN	01/04/2013

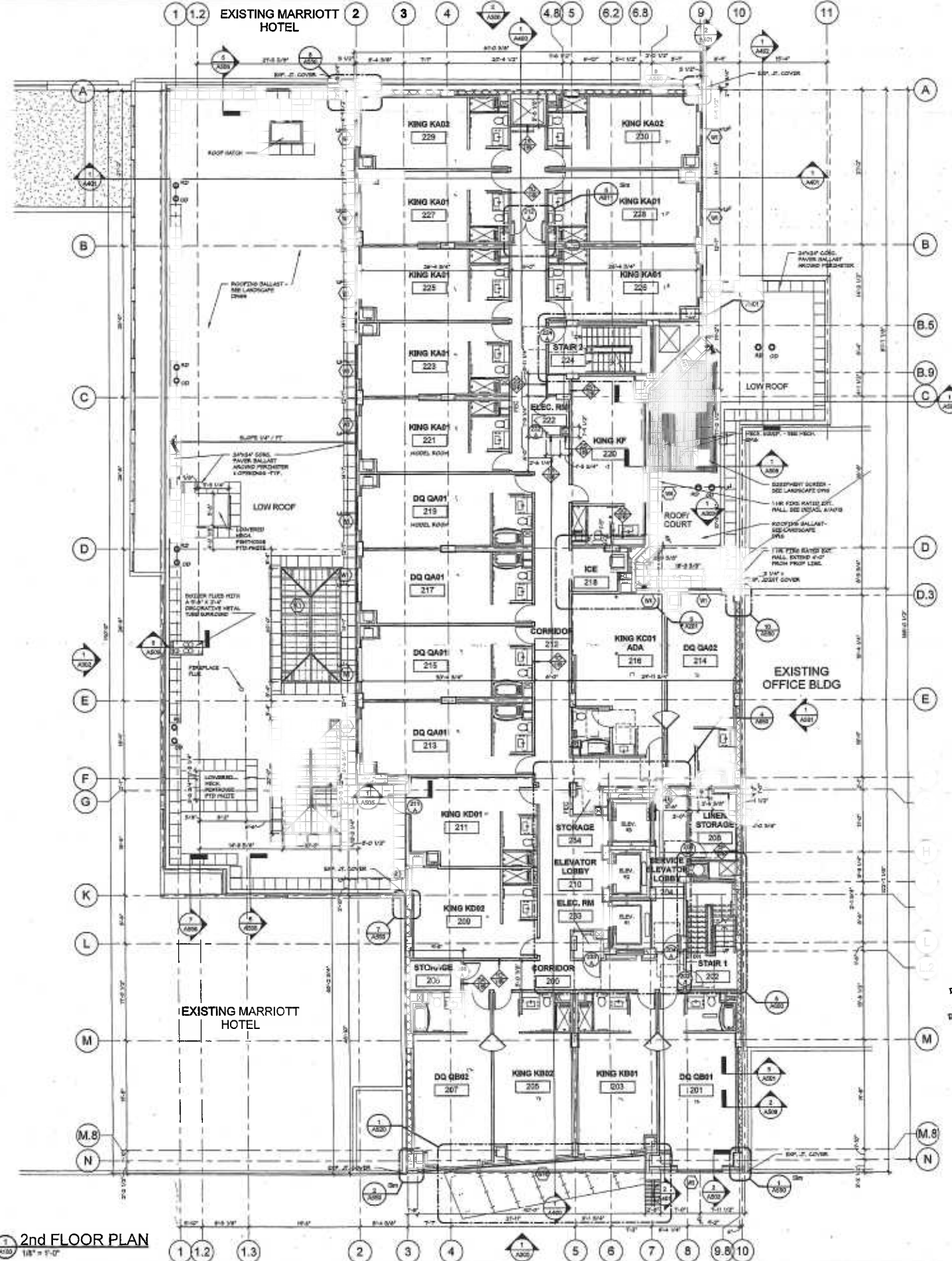
Project Number: 12069

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SHEET TITLE

2nd FLOOR PLAN

A103



2nd FLOOR PLAN
 1/8" = 1'-0"



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Centro, LLC. No contractual obligation is assumed by architect for the benefit of any other person involved in the project.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



DCRA/OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH REQUIREMENTS OF
DC ZONING REGULATIONS (100)

11/26/13	FINAL TPR APPROVED	08/28/12
	ADDENDUM #6	08/08/12
	ISSUED FOR BID	07/17/12
	ISSUED FOR REVIEW	06/04/12
50% CONSTRUCTION DOCUMENTS		04/22/12
100% DESIGN DEVELOPMENT		03/08/12
50% DESIGN DEVELOPMENT		02/01/12
100% SCHEMATIC DESIGN		01/04/12

100% SCHEMATIC DESIGN		01/04/2
No.	Description	Qty

Project Number: 12069

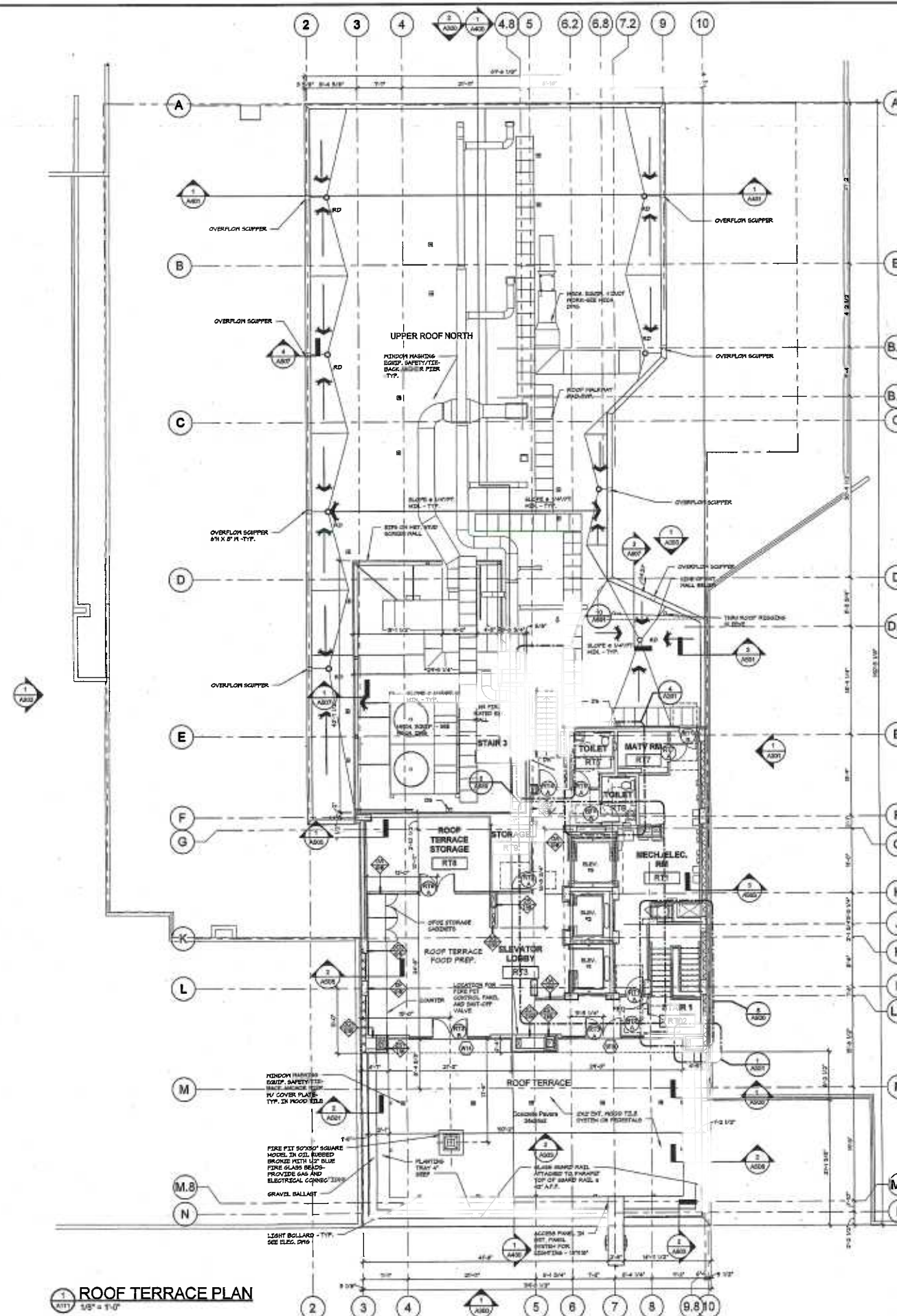
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GRAND TOTAL

ROOF TERRACE

ROOF TERRACE PLAN

A111



1 ROOF TERRACE PLAN



ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7351 CALHOUN PLACE, SUITE
ROCKVILLE, MARYLAND 20854
301.870.1635 FAX 301.870.1636
WWW.CALHOUN.COM

CONSULTANT



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Centro, LLC. No contractual obligation is assumed by architect for the benefit of any other person involved in the project.

Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



DCBA/OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH REQUIREMENTS OF
DC ZONING REGULATIONS (JLDCM)

FINAL TPR APPROVED	08/28/2011
ISSUED FOR BID	07/17/2011
ISSUED FOR REVIEW	06/04/2011
50% CONSTRUCTION DOCUMENTS	04/22/2011
100% DESIGN DEVELOPMENT	03/08/2011
50% DESIGN DEVELOPMENT	02/01/2011
100% SCHEMATIC DESIGN	01/04/2011

100% SCHEMATIC DESIGN		01/04/20
No.	Description	Date

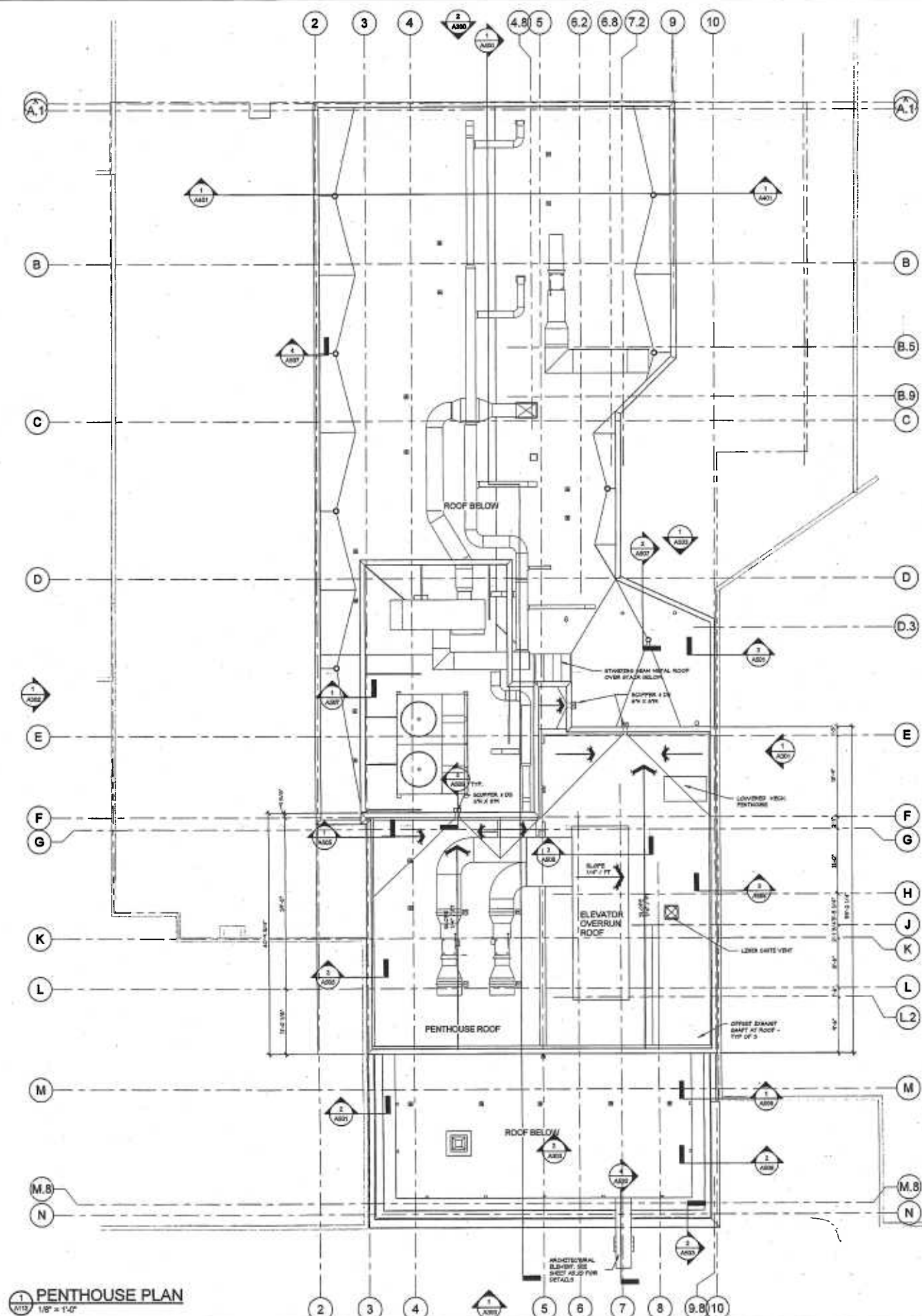
Project Number: 12069

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PENTHOUSE PLAN

A112



1 PENTHOUSE PLAN
1/8" = 1'-0"

JNA

JONATHAN NEHMER + ASSOCIATES, INC.

**ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING**

7381 CALHOUN PLACE, SUITE 310
ROCKVILLE, MARYLAND 20855
301.670.1635 FAX 301.670.0843
www.jnehrmer.com



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036

NORTH & SOUTH ELEVATIONS

A300

5/28/2013 10:10:42 A/C Revit Local File:12059-Hyatt P size DC A13 Russian Content

EXTERIOR FINISH MATERIAL LEGEND		
TAG #	MATERIAL	COLOR
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EC-2	PRECAST ARCH. CONCRETE	SHOCKEY PRECAST: 5234 3% 62A or MATCH DRYVIT COLOR: #113 AMARILLO WHITE
EC-3	METAL PANEL SYSTEM	ALPOLCO COLOR: 48N13.5 BNT WHITE
EC-4	EIFS	DRYVIT COLOR: #113 AMARILLO WHITE FINISH: SANDPEBBLE FINE
EC-5	SPLIT FACE CMU	TRENNWYTH MESA STONE COLOR: CARSON BROWN-S

JN+A
JONATHAN NEHMER + ASSOCIATES, INC.

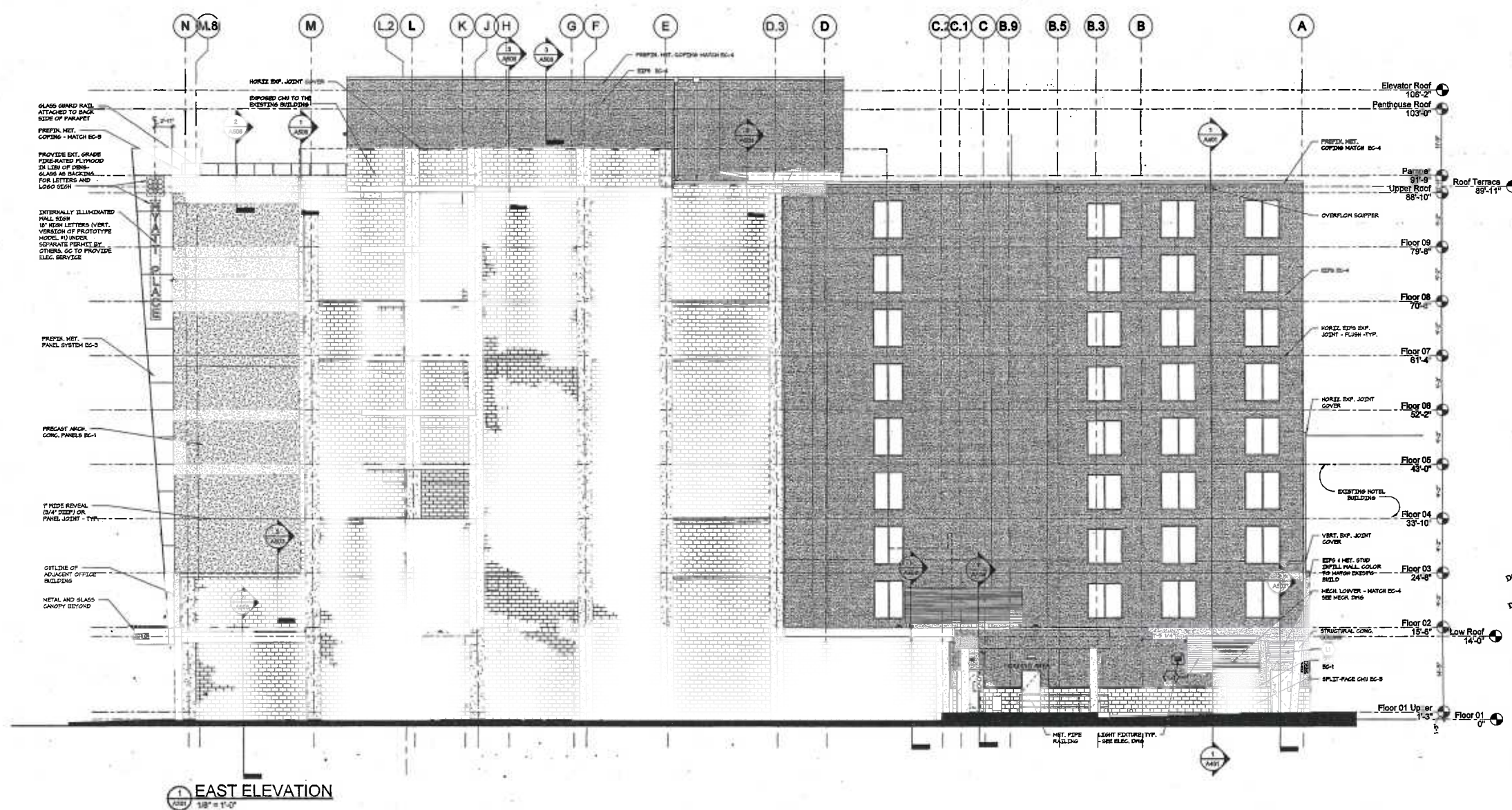
ARCHITECTURE
PROJECT MANAGEMENT
CONSTRUCTION CONSULTING

7361 CALHOUN PLACE, SUITE 310
ROCKVILLE, MARYLAND 20855
301.870.1635 FAX 301.870.2943
www.jnemer.com

CONSULTANTS:



The professional services of the architect are undertaken for and are performed in the interest of Renaissance Centre, LLC. No contractual obligation is assumed by the architect for the benefit of any other person involved in the project.



Hyatt Place Hotel
2121 M Street, NW
Washington, D.C. 20036



DEPARTMENT OF THE PLANNING
ADMINISTRATIVE RECORD
WITH REQUIREMENTS OF
DC ZONING REGULATIONS (UDCMR)

FINAL TPR APPROVED	08/28/2013
ADDENDUM #1	09/03/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	05/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/06/2013
80% DESIGN DEVELOPMENT	02/01/2013
100% SCHEMATIC DESIGN	01/04/2013

No.	Description	Date
1	Project Number: 12069	

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SHEET TITLE

A301

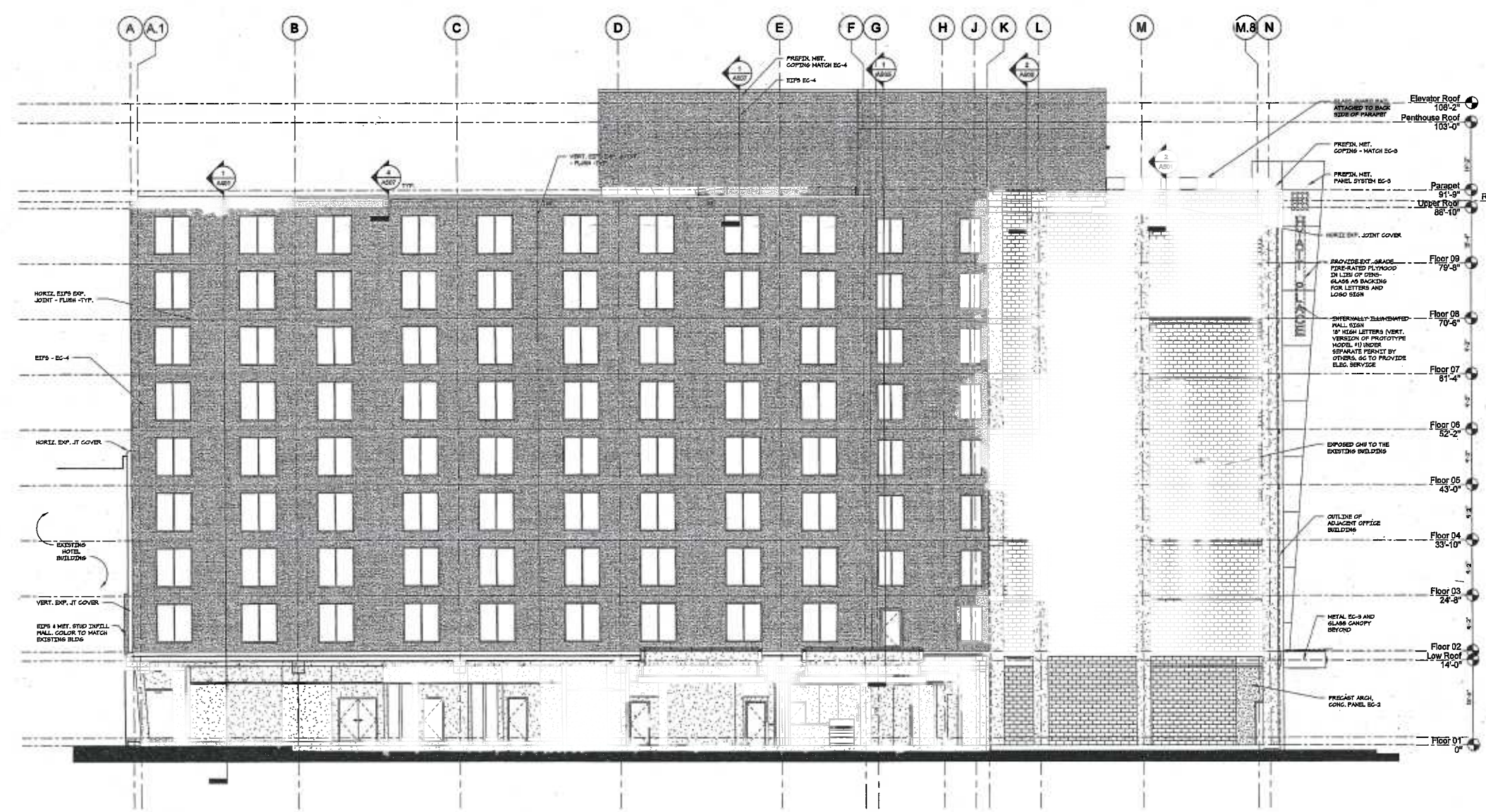
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EXTERIOR FINISH MATERIAL LEGEND			
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EC-2	PRECAST ARCH. CONCRETE	SHOCKEY PRECAST : 5335 3% 42B or MATCH DRYVT COLOR: #381 MONASTERY BROWN	
EC-3	METAL PANEL SYSTEM	ALPOLIO COLOR: 4BNT3.5 BNT WHITE	
EC-4	SPF	DRYVT COLOR: #113 AMARILLO WHITE FINISH : SANDBLE PINE	
EC-5	SPLIT FACE CMU	TRENWYTH MESA STONE COLOR: CARBON BROWNS	

JN+A
 JONATHAN NEHRMER + ASSOCIATES, INC.
 ARCHITECTURE
 PROJECT MANAGEMENT
 CONSTRUCTION CONSULTING
 7381 CALHOUN PLACE, SUITE 310
 ROCKVILLE, MARYLAND 20855
 301.676.1635 FAX 301.670.9543
 www.jn+a.com

Professional seal of Jonathan Nehmer, Architect, No. 12089, State of Maryland.

The professional services of the architect are undertaken for and are performed in the interest of Rendslescape Control, LLC. No contractual obligation is assumed by the architect for the benefit of any other person involved in the project.



WEST ELEVATION
 1/8" = 1'-0"

Hyatt Place Hotel
 2121 M Street, NW
 Washington, D.C. 20036



DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (D.C. MR)

FINAL TPR APPROVED	08/28/2013
ISSUED FOR BID	07/17/2013
ISSUED FOR REVIEW	06/04/2013
50% CONSTRUCTION DOCUMENTS	04/22/2013
100% DESIGN DEVELOPMENT	03/08/2013
50% DESIGN DEVELOPMENT	02/07/2013
100% SCHEMATIC DESIGN	01/04/2013

No.	Description	Date
Project Number:	12089	
Copyright:	© 2013 Jonathan Nehmer + Associates, Inc.	
SHEET TITLE		

WEST ELEVATION

A302

08/28/2013 10:11 AM JN: Revit Local File\\12089-Hyatt Place DC A13_Raster C.dwg

EXHIBIT D

ZONING COMPUTATION SHEET - EXISTING BUILDING

DEPARTMENT OF COMMUNITY DEVELOPMENT
ZONING DIVISION

FILE NO.

2A-88-97

ZONING COMPUTATION SHEET - COMMERCIAL USE

1. Owner Hylsted Co. & Helen H. Anger		2. Location 1221, 22nd St NW		3. Acreage .70
4. Lot 190	5. Zone CR	6. Use of Building or Structure Hotel	7. New Addition to ☒ Alter existing ☐	
8. Type of Structure Conforming ☒ Nonconforming ☐	9. Use of Structure Conforming ☒ Nonconforming ☐	10. Width of Adjacent Streets, 22nd St 90' Wayd Pl 50' M St 90'	11. Width of Adjacent Alleys None	
12. Width of Restriction Lines None	13. Application of Act of June 1, 1910 Height of Bldg. 110' Excess Height —	14. Type of Lot Corner ☐ Triangular ☐ Interior ☒	15. Number of Dwells: Single Existing 350 Rounds 71	
16. Lot Area Required <u>NP</u> Provided <u>64445.98 sq ft</u>	17. Lot Occupancy Allowed <u>NP</u> Provided —	18. Gross Floor Area Total Exist 222074.30 Add 27988.57 250062.87	19. Cellar Area Total 81616.05 sq ft (Existing)	20. Floor Area Rat (6.0) 362487.78 Allowed — 2 60059.87 sq ft Provided —
21. Number of Residential Parking Spaces Required <u>18</u> Provided — Open Area — Within Bldg. —	22. Number of Commercial Parking Spaces Add'l Required <u>18</u> Provided <u>18</u> (Total of 107 spaces) Open Area — Within Bldg. <u>1</u>	23. Number of Loading Berths Required — Provided <u>Existing</u>		
24. Height of Bldg. Curb, to first floor — 90' to high point of roof — 90' Grade, to first floor — 91.65' to ceiling top story — to high point of roof —	25. Number of Stories Allowed <u>HL</u> Provided <u>9</u> Basement — Cellar <u>3 (Existing)</u>	26. Yard and Court Requirements Rear Yard Depth — Required — Provided — Side Yard Width — Open Court Width — Closed Court Width — Closed Court Area —		

REMARKS: * M St. Ref. to H TC 57-2

Subject has provided an sketch of lot 9.15 AM notice that the job is ready for signing of the zoning office.

AVAILABLE FAR

(6.0) → 386675.88 sq ft

(-1) Apartment 2 → 24188.10

+ 18188

362487.78 sq ft

COMPLIES WITH REQUIREMENTS OF ZONING REGULATIONS

8/11/88

Architect

HTR Silvia Maynard

22A-93W

EXHIBIT E

ADDITION TO Washington Marriott Hotel

PERMANENT
FILE

1221 22ND STREET N.W. WASHINGTON D.C.

LOT 190 SQUARE 70

OWNER AND CONSULTANTS

OWNER:

AUGER ENTERPRISES

1217 22ND STREET N.W.
WASHINGTON, D.C. 20037
(202)333-4331

ARCHITECT & STRUCTURAL:

GIMB

7913 MacARTHUR BLVD
P.O. BOX 6
CABIN JOHN, MD 20818
(301)229-9300

CIVIL:

A. MORTON THOMAS & ASSOCIATES, INC.

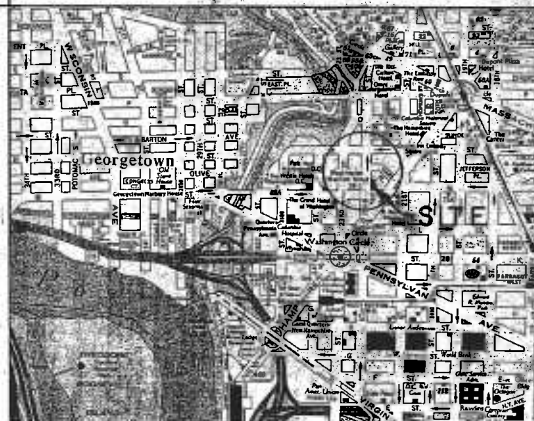
12750 TWINBROOK PARKWAY
ROCKVILLE, MD 20852
(301)881-2545

MECHANICAL & ELECTRICAL:

MENDOZA, RIBAS & ASSOCIATES

6265 EXECUTIVE BLVD
ROCKVILLE, MD 20852
(301)468-8882

LOCATION



ZONING & BUILDING DATA

Applicable Codes:	D.C. Building Code with amendments thru October 1981.
Building Use Classification:	L-1 Hotel
Construction Type:	1C
% of lot Occupancy:	Allowed: 48,334.41 or 75% Provided: 35,370.00 or 55%
Building Gross Floor Area:	Existing: 213,341 New: 213,341 Total: 426,682
Floor Area Ratio:	Allowed: 6 or 386,675.88 s.f. Provided: 3.8 or 245,916 s.f.
Number of Stories:	Allowed: Unlimited Provided: 9 (nine)
Building Height:	Allowed: 90 feet Provided: 90 feet
Allowable Pipe Area:	Allowed: Unlimited in type Provided: 3 hour separation between existing type 3 construction & 1st floor
Fire Separation at Exterior Walls:	North: 0 hours South: 1 1/2 hours East: 1 1/2 hours West: 1 1/2 hours
Tenant Separation at Interior Walls:	Nonbearing: 0 hours Floor/Ceiling: 1 1/2 hours
Roof Construction:	1 hour
Column Protection:	At roof: 1 1/2 hours At floor: 2 hours
Exit Requirements:	2 hours rating @ stair enclosed & exist corridors. Occupancy: additional stair. Travel Distance: 150 feet
Handicapped Requirements:	As per Section 1500. R.C. accessible rooms provided as per Section 1502.1 in new addition only.
Light & Ventilation:	Artificial and Natural light & ventilation as per chart 500.
Fire Protection:	Fully sprinklered.

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Complies with
Zoning Regulations

SYMBOLS

BUILDING SECTION OR WALL SECTION
DETAIL
COLUMN/WALL LINE
DOOR NUMBER
WINDOW OR STOREFRONT
PARTITION TYPE
INTERIOR ELEVATION
LEVEL ELEVATION OR DATUM
MATCH LINE

SECTION NO.
SHEET / DWG. NO.
DETAIL
SHEET / DWG. NO.
K
III
C
S
+

MATERIAL LEGEND

EARTH
GRAVEL
CMU
SOLID MASONRY
BRICK
CERAMIC TILE
CONCRETE OR PRECAST CONC.
CEMENT MORTAR/GROUT
GYPSUM BOARD
RIGID INSULATION
BATT INSULATION
METAL SECTION
PLYWOOD
WOOD (ROUGH)
WOOD (FIN.)
ACOUSTICAL TILE
CARPET
MARBLE

PERMANENT
FILE

THREE PLANS HAVE BEEN DESIGNED
BY THE ARCHITECT & ENGINEER
FOR THE PROJECT AND ARE FILED WITH THE
D.C. BUILDING DEPARTMENT
DATE 10/1/81 BY 1188

COVER SHEET

7913 MACARTHUR BLVD
CABIN JOHN, MARYLAND 20818
TELEPHONE (301) 229-9300
FAX (301) 229-9300

ELLIOTT GILIN, RA
SILVA MACSTRAS, RA
HOWARD J. ROSENBERG, PE

GIMB
ARCHITECTURE PLANNING ENGINEERING

DATE
NONE

06078

CS-1

ZONING ANALYSIS

Zone: C-R (mixed use)
 LOT: 90 Square: 70
 Land Area: 64,445.98
 Building Height: Permitted: 90'-0" (to top of main roof)
 Floor Area Ratio: 6.0 Total (3.0 Commercial, 3.0 Residential/Hotel)
 Total Permitted: 386,675.88
 Existing Building: 213,341.00
 Addition:

First Floor: 3,667.0' (By Covenant 4,500 sq. ft. reserved for commercial)
 Bracing Slab: 3,256.0
 Fourth Floor: 3,300
 Fifth Floor: 3,300
 Sixth Floor: 3,300
 Seventh Floor: 3,300
 Eighth Floor: 3,300
 Ninth Floor: 12,300
 Total New Addition: 35,723.00
 Existing Building: 213,341.00

Total F.A.R. (Used) 3.86 or 249,064 square feet
 Total F.A.R. (Not Used) 2.14 or 137,611.88 square feet

Rear Yard: Corner lot abutting three streets
 Required: None
 Provided: None

Side Yard:
 Required: None
 Provided: None

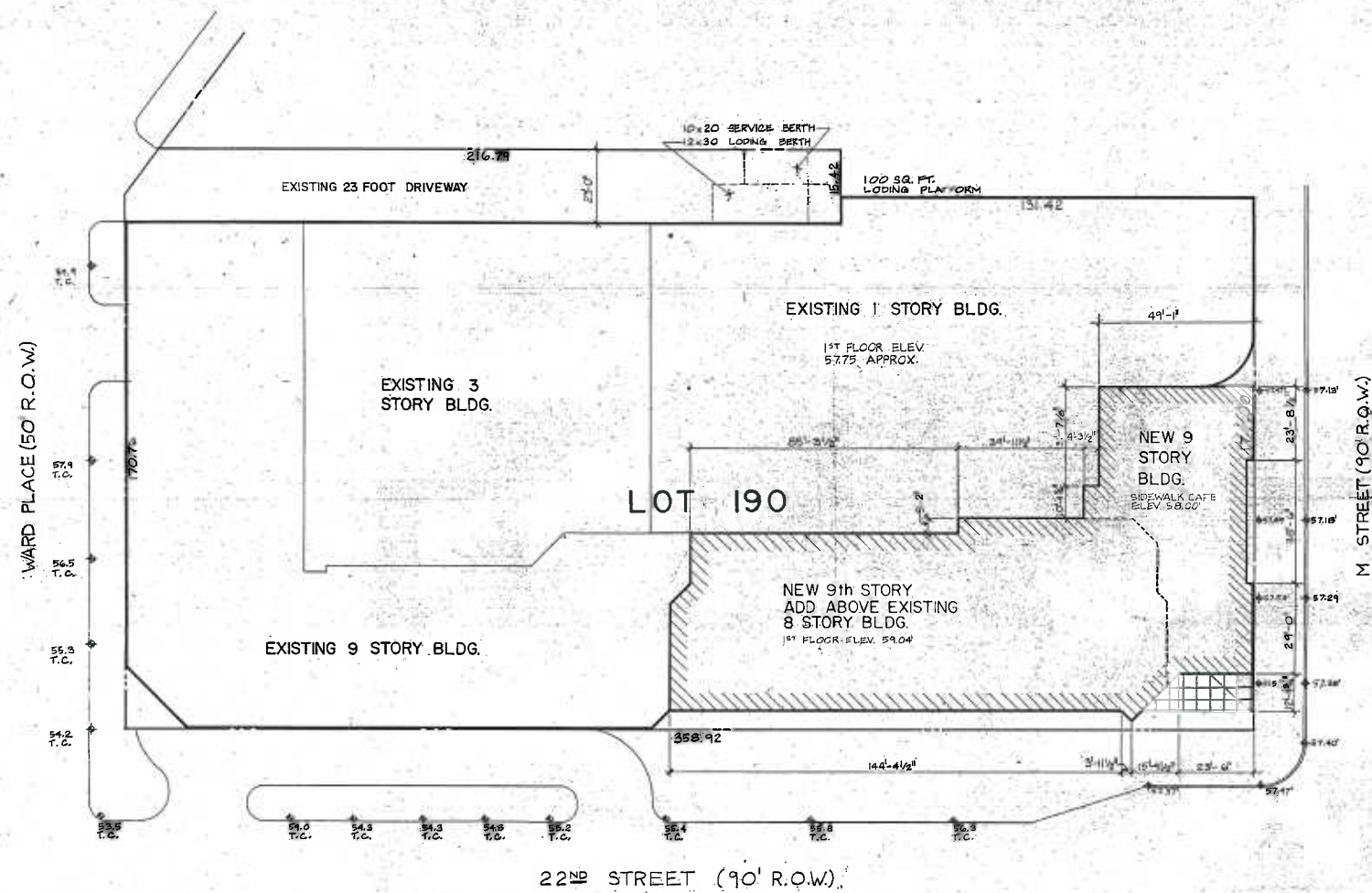
Court: (closed)
 Required: 24" ft. of height but not less than 12'-0"
 Height = 75' x 24' = Area Twice the Square
 = 15'-8" x 2 = 31'-4" (15.67 x 31.33 = 491 sq. ft.)
 Provided: 238'-11" x 42'-0" (238.91 x 42.0 = 10,034 sq. ft.)

Parking:
 Required: 1 parking space / 4 sleeping units=18 parking spaces
 Provided: 89 (in cellar garage)

Loading Berth:
 Required: Minimum 1/200 rooms @ 30' deep x 12' wide
 Provided: 1 - 30' x 12'

Service Space:
 Required: minimum 1/200 rooms @ 20' deep x 10' wide
 Provided: 3 - 20' x 10'

Loading Platform:
 Required: 1 @ 100 square feet
 Provided: 1 @ 100 square feet



SITE PLAN
 SCALE 1"=20'-0"

Approved as complying
 with the Building Regulations, Structural plans
 not checked as provided in Regulations 107.81 and
 107.82 of the 1972 D.C. Building Code.
 Signed: [Signature]
 Date: 15 AUG 1988
 Structural Section

These drawings are for informational purposes only and are not to be used for any other work without the express written consent of the architect and shall not be used for any other work without the express written consent of the architect and shall not be used for any other work without the express written consent of the architect.

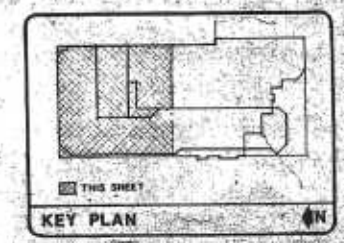
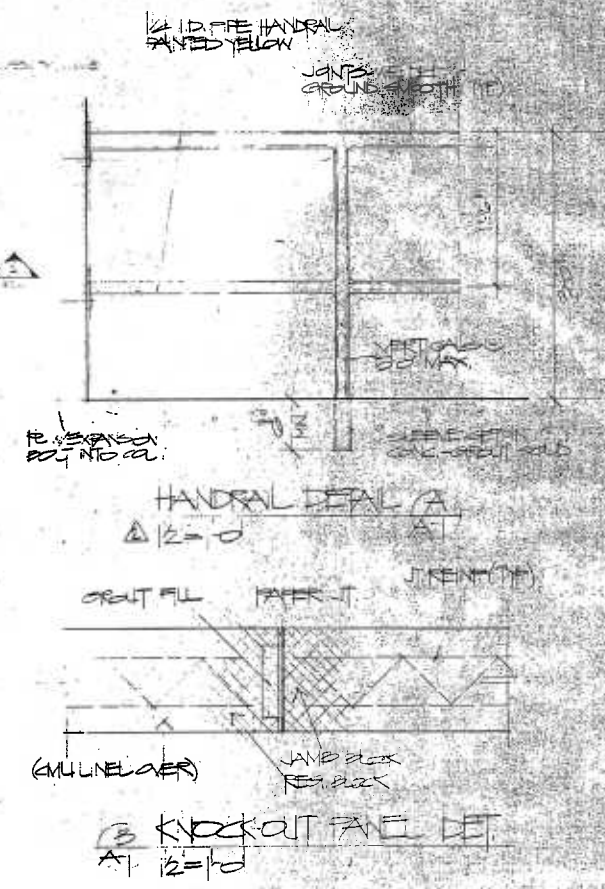
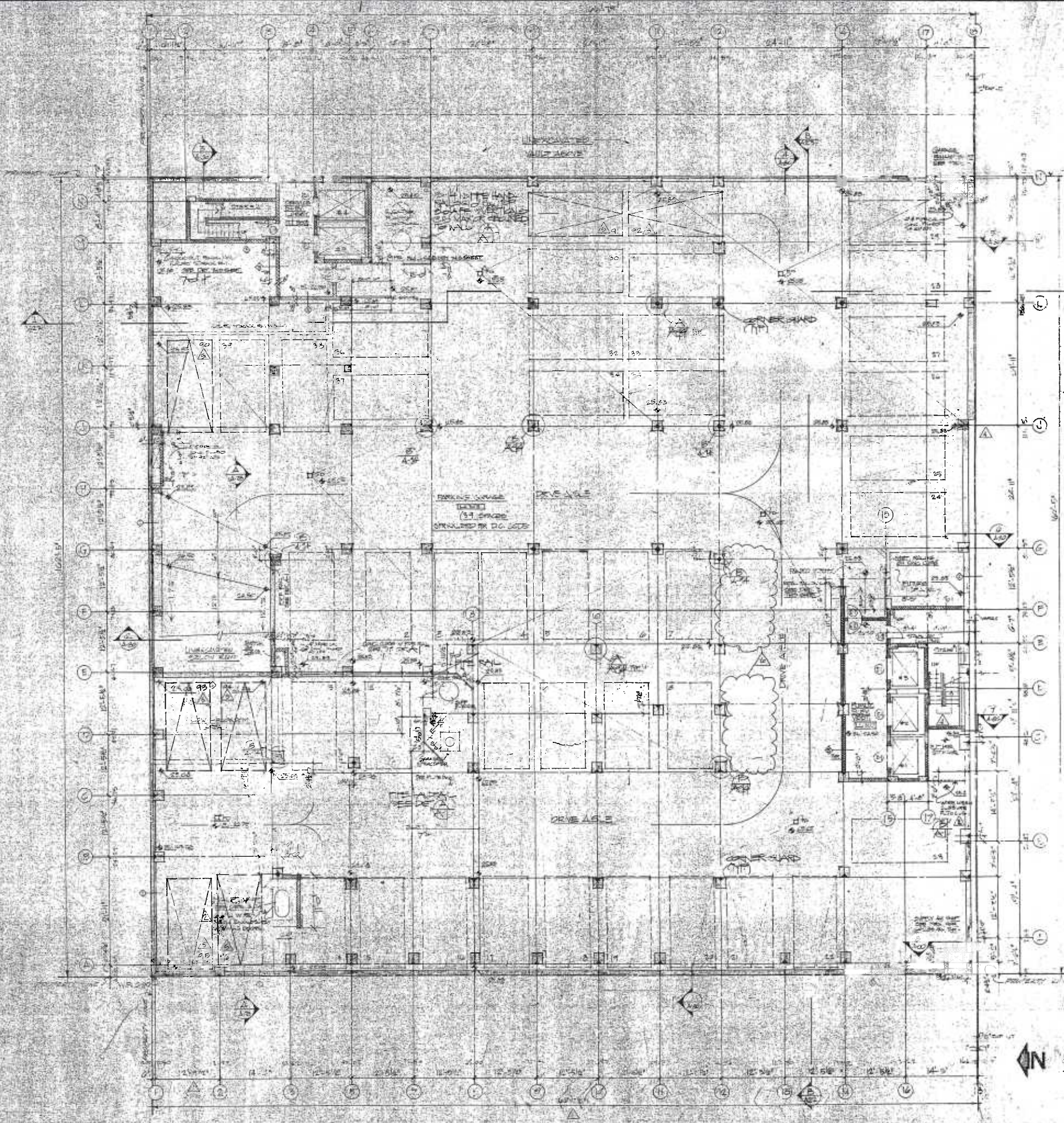
Washington Marriott Hotel
 ADDITION TO
 1221 22nd STREET N.W. WASHINGTON, D.C.
 LOT 190

ELLIOTT GUTIN, P.A.
 SILVIA MACSPRAE, P.A.
 ROBERT J. ROSENBERG, P.E.

505 GAITHER ROAD
 GAITHERBURG, MARYLAND 20877
 BALTIMORE (301) 724-2400

GAUTIER
 ARCHITECTURE PLANNING ENGINEERING

DATE: 15 AUG 1988
 SCALE: AS NOTED
 DRAWN: JGH
 NO: 86078
 SHEET: C-1



GENERAL NOTES

1. METAL COVER GUARDS TO BE SHOWN ALONG ALL DRIVE AISLES (SEE DET. A-1)

PARKING TABULATION

EXISTING PARKING	81
NEW PARKING	18
TOTAL	99
SPACE SIZE	9' x 11' (TYP)

LOWER LEVEL-3 FLOOR PLAN

WASHINGTON MARriott HOTEL
22 ND STREET N.W. WASHINGTON D.C.
LOT 187 SQUARE 70
FOR U. G. AUGER OWNER

REVISIONS

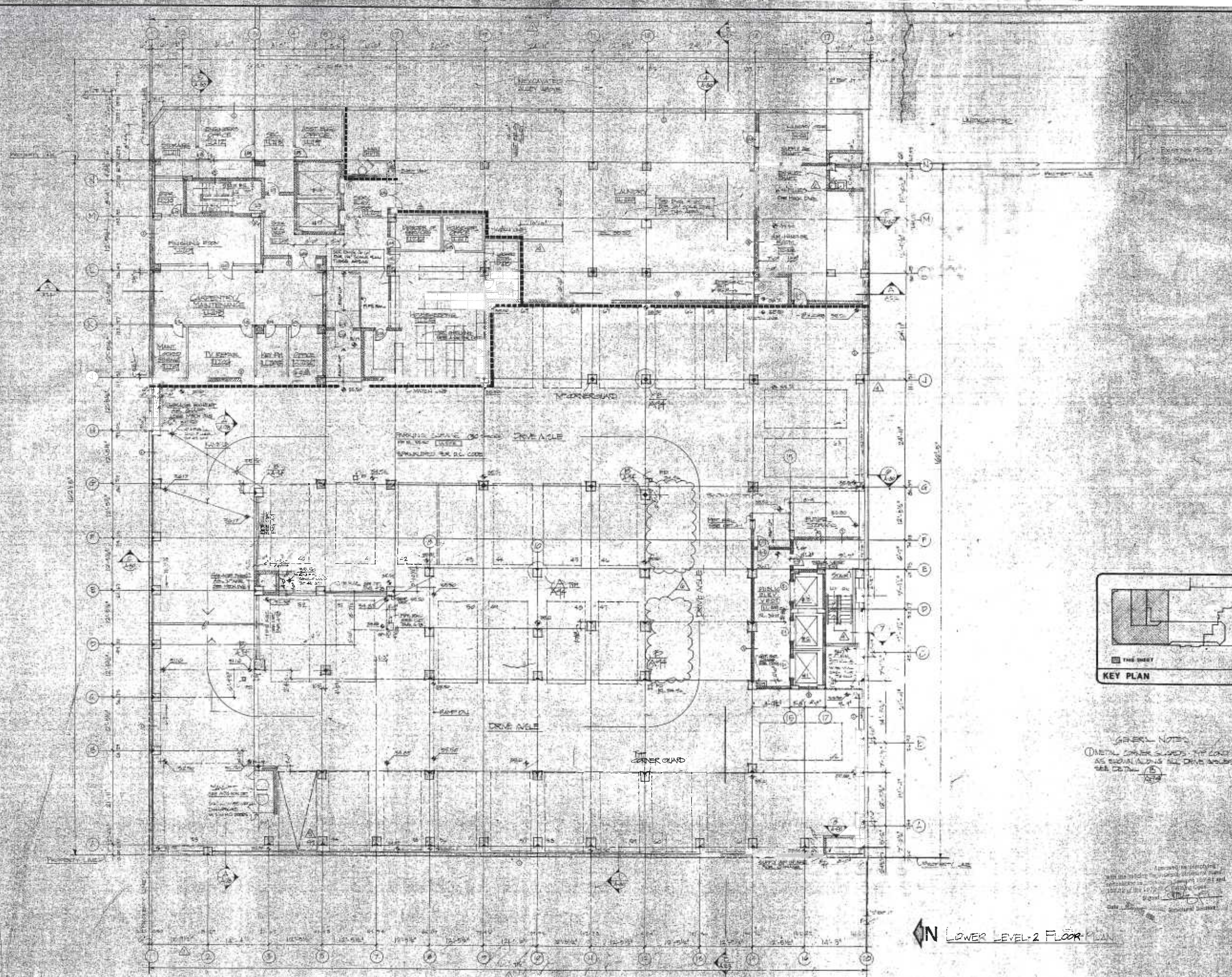
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5	10-1-68	5. REVISED
6	10-1-68	6. REVISED
7	10-1-68	7. REVISED
8	10-1-68	8. REVISED
9	10-1-68	9. REVISED
10	10-1-68	10. REVISED

LOWER LEVEL-3
1/2\"/>

DATE: 10-1-68
DRAWN: J. G. AUGER
CHECKED: J. G. AUGER
SCALE: AS SHOWN
SHEET: A-1

1000 CALIFORNIA ROAD
WASHINGTON, D.C. 20004
TELEPHONE: JO 800-2700

GLIDER LTD.
ARCHITECTURE PLANNING ENGINEERING



WASHINGTON 22 ND STREET
LOT 187
FOR U. G. AUGER - owner

MARRIOTT HOTEL
WASHINGTON D.C.
SQUARE 70

POWER LEVEL
OUTKEEPING
ENGINEERING

5039 GR. HILL RD.
GAITHERSBURG, MARYLAND 20878
TELEPHONE 301/840-9700

GIL
ARCHITECTURE PLANNING ENGINEERING LTD.

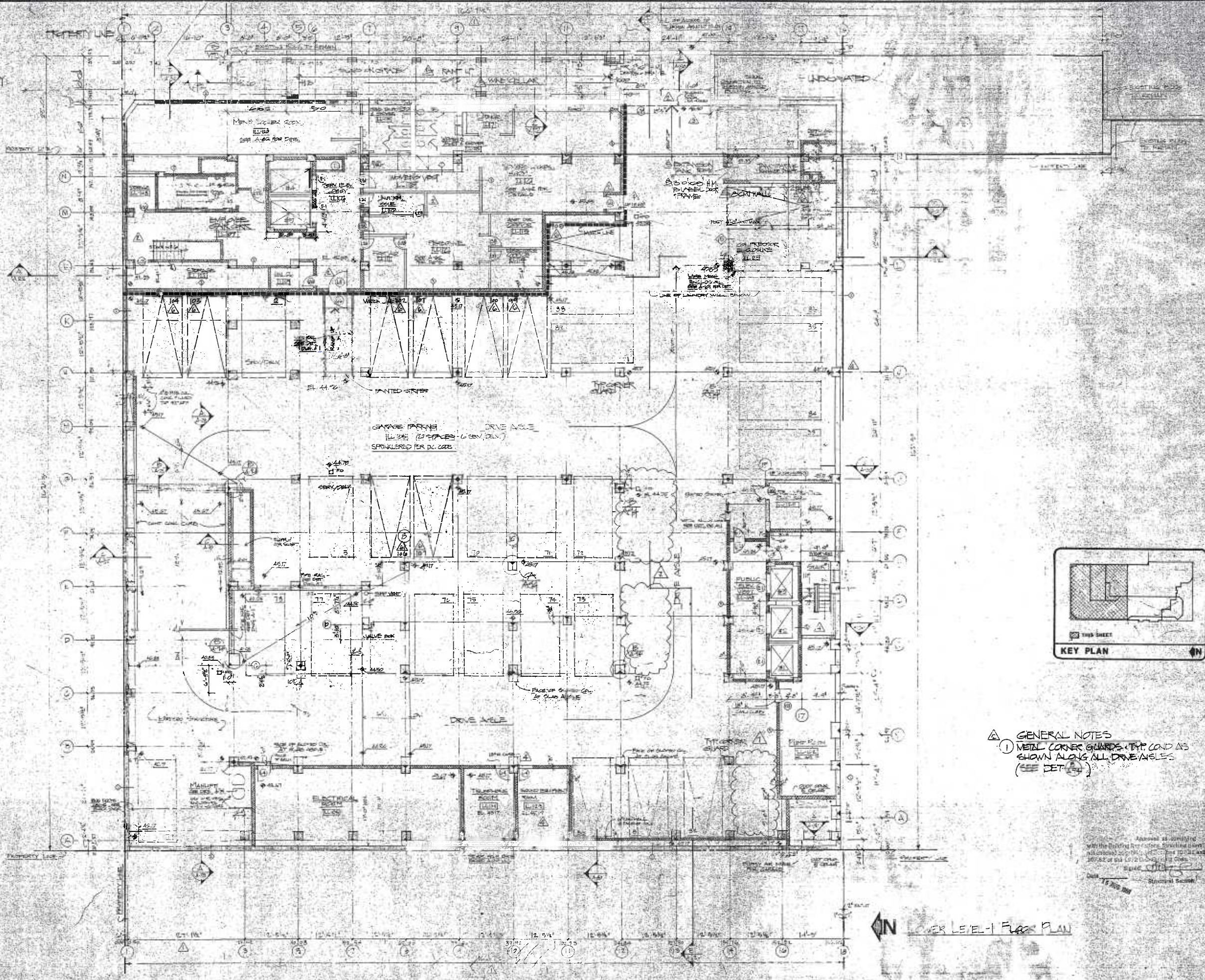
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TO 1-200-2000
PAGE 1
A-2

KEY PLAN

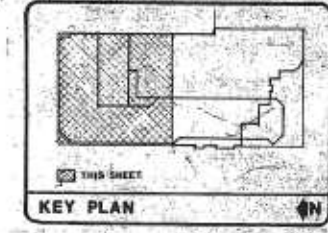
① METAL COVER SLIPS - TOP ONLY
AS SHOWN ALONG ALL DRIVE SHAFTS.
SEE DETAIL 

Approved for Release
 With the release of the original document, the
 information is being released to the public and
 is not to be used for any other purpose.
 Date: 8/2/83
 Signature: [Signature]
 Special Agent in Charge

◀ N LOWER LEVEL-2 FLOOR PLAN



△ GENERAL NOTES
 ① METAL CORNER GUARDS (TYP COND AS SHOWN ALONG ALL DRIVE AISLES (SEE DET. 1))



LOWER LEVEL-1 Floor Plan

REVISION	BY
1	J. G. AUGER
2	J. G. AUGER
3	J. G. AUGER
4	J. G. AUGER
5	J. G. AUGER
6	J. G. AUGER
7	J. G. AUGER
8	J. G. AUGER
9	J. G. AUGER
10	J. G. AUGER

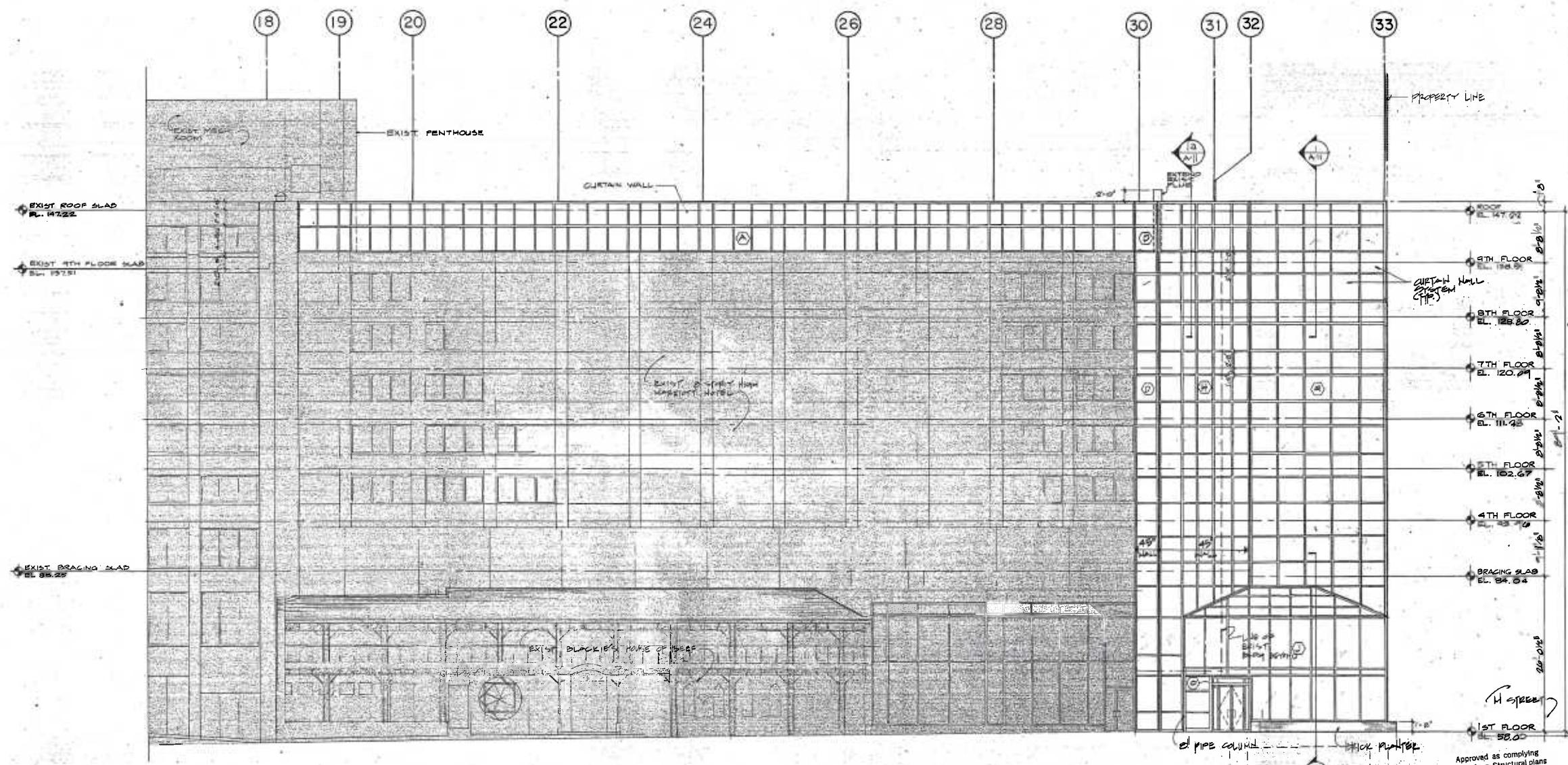
WASHINGTON MARRIOTT HOTEL
 22 ND STREET N.W. WASHINGTON D.C.
 LOT 187 SQUARE 70
 FOR U. G. AUGER OWNER

LOWER LEVEL-1
 FLOOR PLAN
 EXHIBIT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

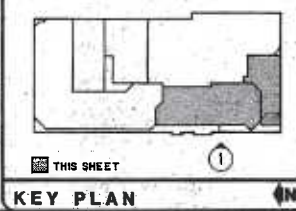
ARCHITECT
 J. G. AUGER
 1000 15TH STREET N.W.
 WASHINGTON D.C. 20004
 (202) 462-1111

017
GOLDER
 ARCHITECTURE PLANNING ENGINEERING

A-3



1 WEST ELEVATION(22ND STREET)
1/8"=1'-0"



REVISIONS	BY

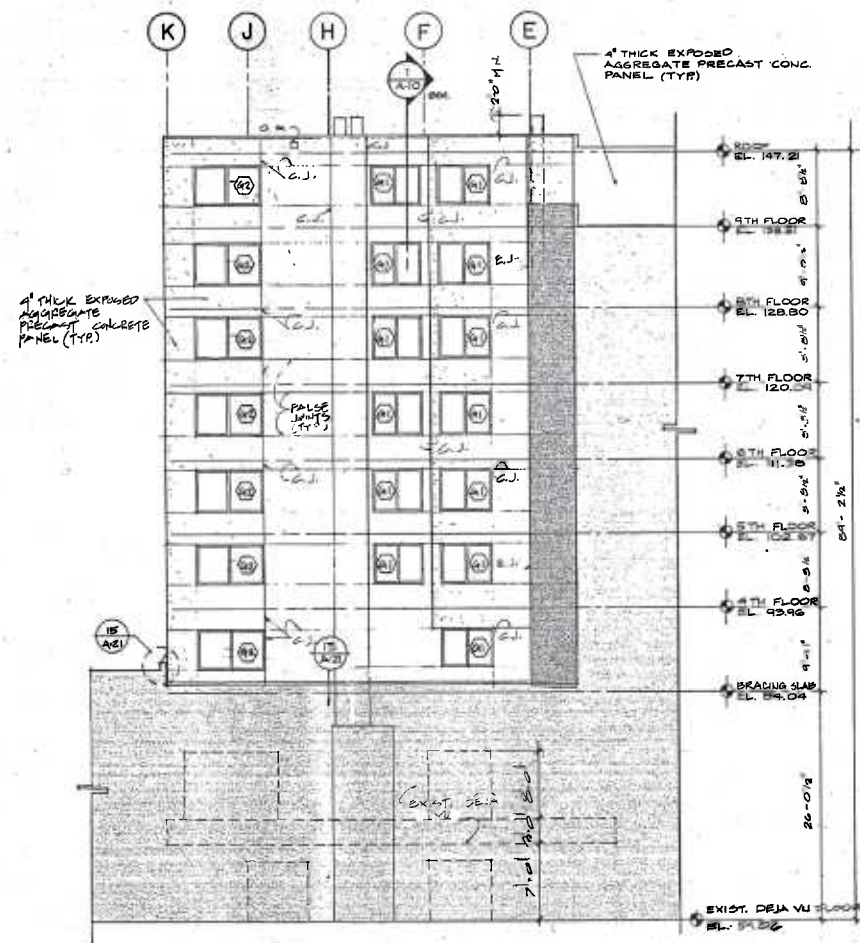
Washington Marriott Hotel
22nd STREET N.W., WASHINGTON, D.C.
LOT 190
SQUARE 70

ELIOTT GILPIN, P.A.
SILVIA MACINTYRE, P.A.
HOWARD J. ROSENBERG, P.E.
P.O. BOX 18
1000 MARSHMAN AVE. S.W.
WASHINGTON, D.C. 20004
TELEPHONE (202) 222-2200
FAX (202) 222-2201

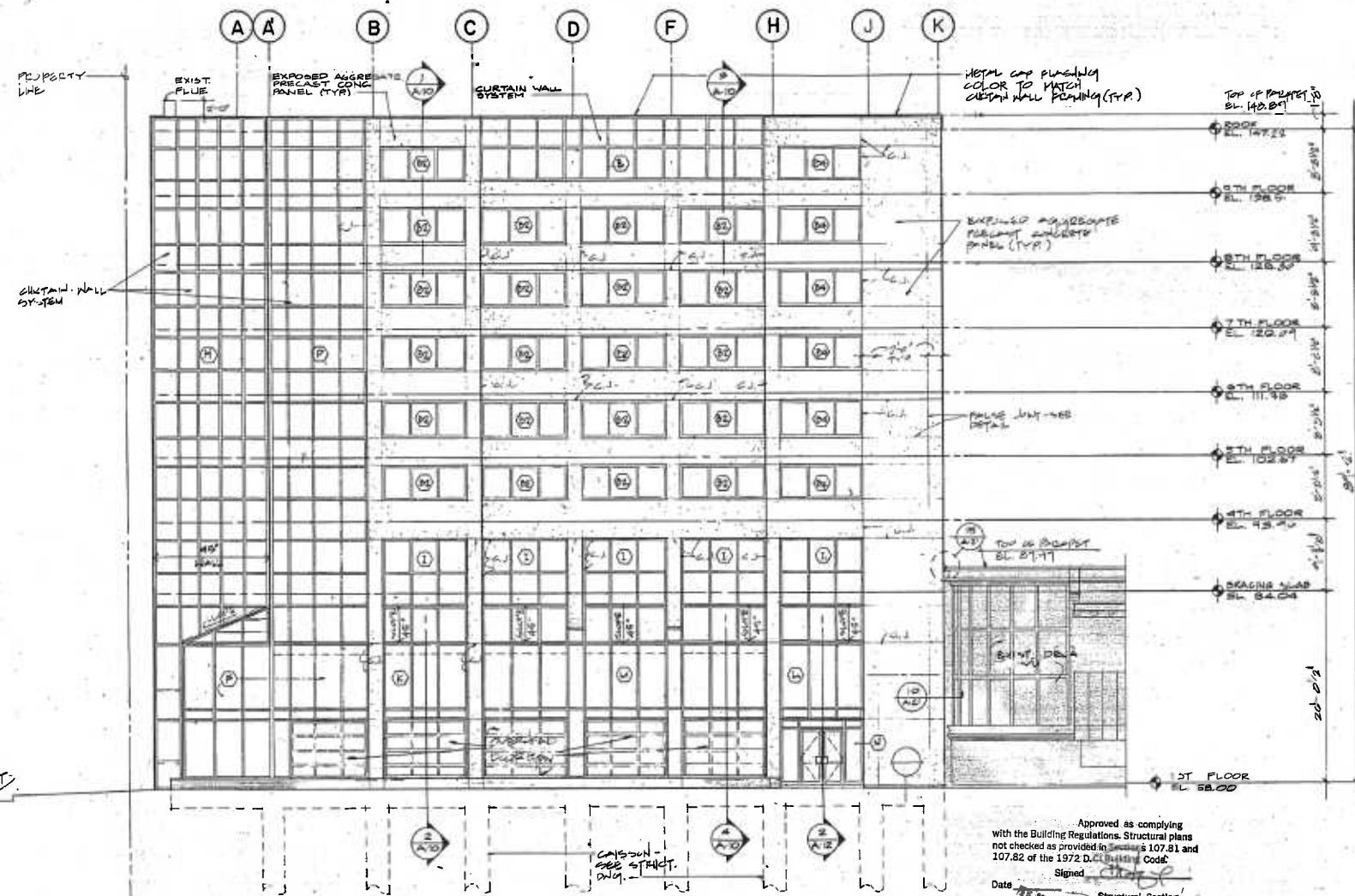
GOLDER
ARCHITECTURE PLANNING ENGINEERING

DATE: 10/1/88
SCALE: 1/8"=1'-0"
SHEET: 86078
A-5

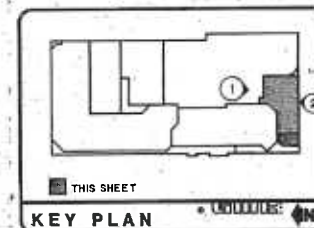
Approved as complying with the Building Regulations. Structural plans (not checked as provided) by 107.51 and 107.52 of the 1972 D.C. Building Code.
Signed: [Signature]
Date: 10 AUG 1988
Structural Section



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION (M STREET)
1/8" = 1'-0"



Approved as complying
with the Building Regulations. Structural plans
not checked as provided in Sections 107.51 and
107.82 of the 1972 D.C. Building Code.
Signed: [Signature]
Date: 7/8/88

ADDITION TO
Washington Marriott Hotel
22nd STREET N.W. WASHINGTON, D.C.
LOT 190
SQUARE 70

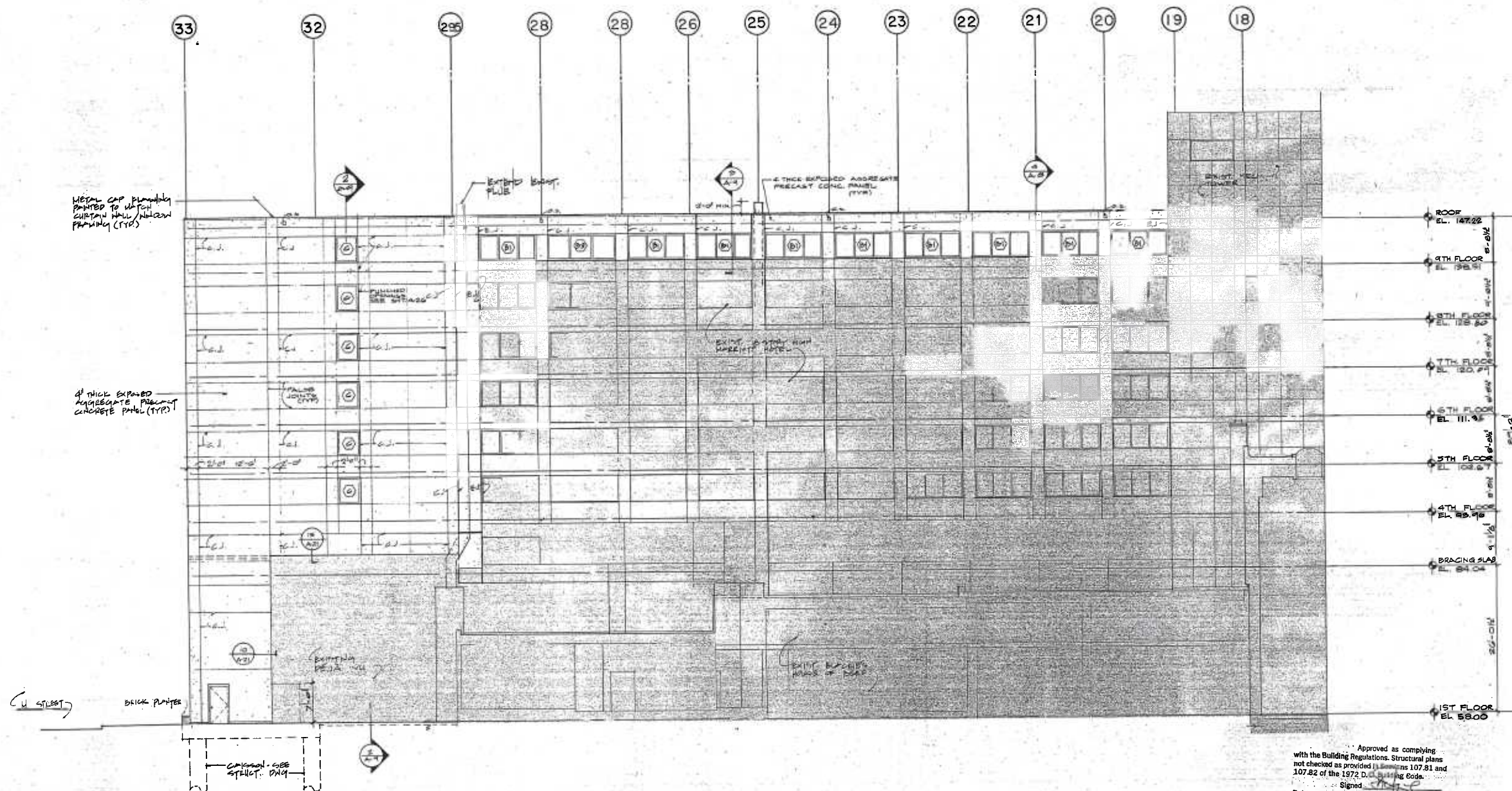
713 MACARTHUR BLVD.
BETHESDA, MARYLAND 20814
TELEPHONE: (301) 291-5000
FAX: (301) 291-5004

ELLIOTT GUTIN, P.A.
SILVA MACETANA, P.A.
HOWARD J. ROSENBERG, P.E.

GOLDER
ARCHITECTURE PLANNING ENGINEERING

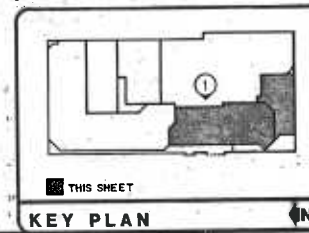
DATE: 7/8/88
BY: HAN
EL, BM
86078
A-6

NO.	REVISIONS
1	ISSUED FOR PERMIT
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS



Approved as complying with the Building Regulations. Structural plans not checked as provided in Sections 107.81 and 107.82 of the 1972 D.C. Building Code.
 Signed: [Signature]
 Date: 11 AUG 1988
 Structural Section

1 EAST ELEVATION
 1/8"=1'-0"



Washington Marriott Hotel
 ADDITION TO
 1204 STREET, N.W., WASHINGTON, D.C.
 LOT 190 SQUARE 70

915 MACARTHUR BLVD
 BALTIMORE, MD 21206
 (301) 726-3344

ELLIOTT GILIN, P.A.
 HOWARD J. ROSENBERG, P.E.

GILIN
 ARCHITECTURE PLANNING ENGINEERING

DATE: 1/8"=1'-0"
 EL. 8W
 86078
A-7
 SHEETS

These drawings are prepared by the architect and are not to be used for any other work except by agreement with the architect. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom. Any discrepancy shall be brought to the attention of the architect immediately upon receipt of the drawings.

EXHIBIT F

Department of Consumer and Regulatory Affairs

Business License Division

1100 4th Street SW

Washington DC 20024

GOVERNMENT

OF THE

DISTRICT OF COLUMBIA

Vincent C. Gray, Mayor

Date Issued: 1/24/2014

Category: 5197

Licenses: 67001813

Licenses Period: 4/1/2013 - 3/31/2015

BASIC BUSINESS LICENSE

Registered Agent's Name and Address:

C T CORPORATION SYSTEM

Premise/Application's Name and Address:

RP/HH 22ND STREET OWNER, LLC

Billing Name and Address:

THE WASHINGTON MARRIOTT HOTEL

GENERAL MANAGER

1221 22ND STREET N.W.

WASHINGTON, DC 20037

1221 22ND ST NW

WASHINGTON, DC 20037

1015 15TH STREET N.W., SUITE 1080

WASHINGTON DC20005

Owner's Name

RP/HH 22ND STREET OWNER, LLC

Corp. Name

THE WASHINGTON MARRIOTT HOTEL

Trade Name

Cofo/HOP#: CO139414	SSL: 0070 0881	Zone: DC/CR	Ward: 2	ANC:2A	PERM NO.
CLASS: C	Kitchen(s) - 0	Room(s) - 425			

Housing - Transient - Hotel

THE LAW REQUIRES THIS LICENSE TO BE POSTED IN A CONSPICUOUS PLACE ON THE PREMISES --

Nicholas A. Majett

Director

Nicholas A. Majett

Licenses Effective from the later of issued or start of business until date

EXHIBIT G

Department of Consumer and Regulatory Affairs
 Building and Land Regulation Administration
 941 North Capitol Street, N.E. Room 2100
 Washington D.C. 20002
 Tel (202) 442-4470 Fax (202) 442-4862

City of the District
 of Columbia
 W.D. 544

C of O

CERTIFICATE OF OCCUPANCY

PERMIT NO.
CO 139414

THIS PERMIT IS VALID ONLY FOR THE PREMISES
 OF THE PROJECT ADDRESS

DATE: 4/10/2007

ADDRESS: 1221 22ND NW	FLOOR(S): BASEMENT 1ST THRU 9TH	EXCLD (square): WARD ZONE:
---------------------------------	---	--------------------------------------

PERMISSION IS HEREBY GRANTED TO CORPORATION: RPI/HH 22ND STREET OWNER, LLC ID No.: 131344	TRADING AS: THE WASHINGTON MARRIOTT HOTEL
---	---

APPROVED USES: HOTEL	PREVIOUS USES: HOTEL
--------------------------------	--------------------------------

TYPE: CHANGE OF OWNERSHIP	AREA NO.:	OCCUPIED SQ. FOOTAGE: 290,000	OCCUP. LOAD: 354	EXPIRATION DATE: NONE
-------------------------------------	-----------	---	----------------------------	---------------------------------

DESCRIPTION OF USE: HOTEL (354) ROOMS WITH ACCESSORY GARAGES	FEE: \$751.00
--	-------------------------

THIS CERTIFICATE SHALL BE POSTED CONSPICUOUSLY ON THE ABOVE PREMISES AT ALL TIMES. IT IS VALID INDEFINITELY, unless an expiration date is stated, VALID ONLY for the premises at the above address or part thereof, and for the purpose(s) indicated above, and is NOT TRANSFERABLE to another portion of premises under ANY conditions. ANY CHANGE in the type of business, ownership of business, or part of premises used therefor, will render this Certificate VOID and a NEW Certificate must be obtained.

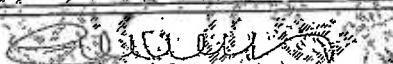
Interim Director:  Lisa M. Morgan	PERMIT CLERK:  DAVID VOLIN
---	---

EXHIBIT H



Hotel Details

Washington Marriott

1221 22nd Street NW
Washington, District Of Columbia 20037 USA

Phone: 1-202-872-1500
Fax: 1-202-872-1424
Toll Free Room: 1-800-393-3053
Reservations: 1-301-820-6232
Sales: 1-202-872-9899
Sales Fax:

Arrival Information

Check-in and Check-out

- Check-in: 4:00 PM
- Check-out: 12:00 PM
- Express Check-In and Express Checkout
- Video Review Billing, Video Checkout

High-Speed Internet Access

- Guest rooms: Wireless, Wired for 12.95USD/day
- Lobby and public areas: Complimentary Wireless
- Meeting rooms: Wireless, Wired

Parking

- On-site parking, fee: 7 USD hourly, 36 USD daily
- Valet parking, fee: 40 USD daily

Property Details

- 9 floors, 462 rooms, 8 suites
- 19 meeting rooms, 12,000 sq ft of total meeting space
- 1 concierge level

Smoke-free Policy

- This hotel has a smoke-free policy

Pet Policy

- Pets not allowed

Services & Amenities

- Buffet breakfast, fee: 18.95 USD
- Coffee/tea in-room
- Concierge desk
- Continental breakfast, fee: 16.00 USD
- Full-service business center
- Local restaurant dinner delivery
- Phone calls: toll-free
- Room service, 6:00 AM-11:00 PM
- Safe deposit boxes, front desk

Guest Room Information

General Room Amenities

- Air conditioning
- Alarm clock
- Bottled water, for a fee
- Coffee maker/tea service
- Crib
- Electrical adapters
- Individual climate control
- Internet browser/Web TV
- Iron and ironing board
- Luxurious bedding - down comforters, custom duvets, cotton-rich linens
- Pillows: down/feather
- Pillows: foam
- Pull-out sofa bed
- Rollaway bed
- Safe

Bathroom Amenities

- Hair dryer

Room Entertainment

- Cable channel: CNN
- Cable channel: ESPN
- Cable channel: HBO
- Cable/satellite TV
- Color TV
- Movies/videos, pay-per-view
- Plug In Panel

Business Amenities

- Electrical outlet: desk level
- Electrical outlet: dual-voltage
- Phone feature: cordless
- Phone feature: speakerphone
- Phone feature: voice mail

Dining

The Atrium Restaurant

- American
- Open for breakfast, lunch and dinner
- The Atrium Restaurant offers creative American cuisine and savory dishes in a casual atrium setting. This casual Washington, DC restaurant is the perfect place to meet for cocktails or a quick bite to eat.

The Court Lounge

- American
- Open for lunch and dinner
- Serving appetizers to share and all of your favorite cocktails, The Court Lounge offers casual dining in Washington, DC. The lounge is a great spot for meeting friends or business partners.

Fitness & Recreation

Fitness

- Fitness Center

Swimming

- Indoor Pool
- Whirlpool

Golf

- East Potomac Golf Club 3.6 mile(s)
- Rock Creek Golf Course 5 mile(s)
- Reston National Golf Course 22 mile(s)
- Penderbrook 22 mile(s)
- Falls Road Golf Course 15 mile(s)

Activities

- Biking trail 5 mile(s)
- Bowling 2.2 mile(s)
- Hiking 5 mile(s)
- Horseback riding 5 mile(s)
- Jogging/fitness trail 0.5 mile(s)
- Nature preserve, trail 5 mile(s)
- Sailing 10 mile(s)
- Squash 2 mile(s)
- Volleyball 2.6 mile(s)
- Snow skiing: located in Western Maryland
- Tennis 0.5 mile(s)

Local Attractions

- Washington Convention Center
- Kennedy Center
- Vietnam Veteran's Memorial
- Lincoln Memorial
- White House

- Smithsonian/Air & Space Museum
- Arlington National Cemetery
- National Zoo
- George Washington University
- Verizon Center

Driving Directions from Airport

Ronald Reagan Washington National Airport – DCA

Phone: 1-703-417-8000

Hotel direction: 5.4 mile(s) N

Driving directions Take George Washington Parkway West. Follow signs to Memorial Bridge. Cross over Memorial Bridge. At the End of the Bridge bear left. Take first left onto 23rd Street. Follow 23rd Street, NW and turn right onto I Street, NW. Take the first left onto 22nd Street, NW. The Washington Marriott is five blocks ahead on the right side on 22nd Street, NW.

This hotel does not provide shuttle service.

- Alternate transportation: Red Top Executive Sedan Service; fee: 30 USD (one way); on request
- Bus service, fee: 17 USD (one way)
- Estimated taxi fare: 15 USD (one way)

Washington Dulles International Airport – IAD

Phone: 1-703-572-2700

Hotel direction: 25 mile(s) SE

Driving directions Take Dulles Access Rd and merge onto VA-267 E. Follow the signs to Interstate 66 east to Washington. Follow I-66 to the Theodore Roosevelt Bridge (US Route 50). Once you cross the bridge, I-66 becomes Constitution Ave. Turn left off of Constitution Ave. on to 20th Street NW, turn left on M St. and right on 22nd. The hotel is ahead on the right.

This hotel does not provide shuttle service.

- Alternate transportation: Red Top Executive Sedan Service; fee: 65 USD (one way); on request
- Estimated taxi fare: 45 USD (one way)

Baltimore/Washington International Thurgood Marshall Airport – BWI

Phone: 1-410-859-7111

Hotel direction: 33 mile(s) SW

Driving directions Take I-195 West to the Baltimore-Washington Parkway South (MD 295) to US 50 west (New York Ave.). Turn Right off of New York Ave. on to Massachusetts Ave NW At Thomas Cir. Take the circle 3/4 around and exit M St. Follow M to 22nd. Turn right on to 22nd, the hotel is on the right.

This hotel does not provide shuttle service.

- Alternate transportation: Red Top Executive Sedan Service; fee: 75 USD (one way); on request
- Estimated taxi fare: 75 USD (one way)

EXHIBIT I

CHAPTER 5 HEIGHT AND ROOF STRUCTURES

500 INTRODUCTION

500.1 The intent of regulating height is to:

- (a) Promote successful transitions between areas of differing density;
- (b) Ensure adequate light and air to neighboring properties and zones; and
- (c) Provide vertical control to accommodate appropriate density and good design.

500.2 In addition to the height limitations of the Zoning Regulations, all buildings are also subject to and shall conform with the limitations of the Act to Regulate the Height of Buildings in the District of Columbia (Height Act).

500.3 Where the maximum height permitted within a zone differs from the maximum height permitted by the Height Act, the more restrictive maximum height shall apply.

500.4 Zone height limits shall be stated in terms of feet.

500.5 The height limits in each zone apply to structures located in the public space included within the zone's boundary.

501 SINGLE OR SEPARATE BUILDINGS

501.1 For purposes of this Chapter, structures that are separated from the ground up by common division walls or contain multiple sections separated horizontally, such as wings or additions, are separate buildings. Structures or sections shall be considered parts of a single building if they are joined by a connection that is:

- (a) Fully above grade;
- (b) Enclosed;
- (c) Heated and artificially lit; and
- (d) Either:
 - (1) Common space shared by users of all portions of the building, such as a lobby or recreation room, or
 - (2) Space that is designed and used to provide free and unrestricted passage between separate portions of the building, such as an unrestricted doorway or walkway.

EXHIBIT J

Olutoye Bello

Experience

August 19, 2005 To Date. Bello, Bello & Associates LLC

Operating Manager/Principal

Manage day to day operations of Bello, Bello & Associates LLC, a zoning consulting and code compliance plans review and inspection third-party certified company.

Duties include new business development and provision of zoning compliance overview for all third-party code compliance review plans.

Coordinate third-party plans review disciplines in Structural, Electrical, Mechanical, plumbing, Fire and Life safety.

Provide pre-design/development analysis for compliance with the District of Columbia zoning regulations.

October 2004 – May 2005 Department Of Consumer & Regulatory Affairs Washington, DC

Zoning Administrator

- Administered all facets of the program function of the zoning division.
- Primarily responsible for the interpretation and enforcement of the zoning regulations.
- Supervise the review of building permits and certificate of occupancy applications for compliance with zoning regulations.
- Preparation of analytical reports and referrals for hearing before the Board of Zoning Adjustments and the Zoning Commission relating to text and Map amendments of the zoning regulations.
- Defend the decisions of the Zoning Administrator in public hearings before the Board of Zoning Adjustments.

April 2004 – October 2004 District of Columbia Office of Zoning Washington, DC

Compliance Review Program Manager

- Provide advice to property owners, neighborhood associations, advisory neighborhood commissions and all stakeholders as to matters pertaining to the interpretation of the zoning regulations, policies, procedures, and rules of compliance with conditions of Board of Zoning Adjustment and Zoning Commission orders of approval.
- Investigation of complaints of non-compliance with such orders and the formulation of reports thereto.

- Recommend pertinent amendments to the zoning regulations to the Zoning Commission and advise the Board, in the course of the conduct of its public hearings involving applications and appeals, on technical issues of interpretation of relevant sections of the Zoning Regulations.

July 2002 - April 2004
Washington, DC

District of Columbia Office of Zoning

Compliance Review Specialist

- Provide advice to property owners, neighborhood associations, advisory neighborhood commissions and all stakeholders as to matters pertaining to the interpretation of the zoning regulations, policies, procedures, and rules of compliance with conditions of Board of Zoning Adjustment and Zoning Commission orders of approval.
- Investigation of complaints of non-compliance with such orders and the formulation of reports thereto.
- Recommend pertinent amendments to the zoning regulations to the Zoning Commission and advise the Board, in the course of the conduct of its public hearings involving applications and appeals, on technical issues of interpretation of relevant sections of the Zoning Regulations.

August 2001 - July 2002
Department of Consumer & Regulatory Affairs
Washington, DC

Acting Program Manager/Supervisory Engineering Technician

- Administered all facets of the program function of the zoning division.
- Primarily responsible for the interpretation and enforcement of the zoning regulations.
- Supervise the review of building permits and certificate of occupancy applications for compliance with zoning regulations.
- Preparation of analytical reports and referrals for hearing before the Board of Zoning Adjustments.
- Defend the decisions of the Zoning Administrator in public hearings before the Board of Zoning Adjustments.
- Attend neighborhood meetings to provide interpretative zoning information and answer enquiries about zoning related issues.

May 1990 – August 2001.

Chief, Zoning Review Branch/Supervisory Engineering Technician.

- Supervise zoning review branch staff in discharge of duty of interpreting and enforcement the zoning regulations.
- Supervise the review of building permits and certificate of occupancy applications for compliance with zoning regulations.
- Answer public inquiries, written and oral, about the interpretation and

enforcement of the zoning regulations.

- Liaise with governmental agencies and departments to ensure government projects compliance with the zoning regulations and advise on related matters.

1984 - 1990

American Interior Builders, Inc. Lanham, MD

Project Manager

Oversight responsibilities for construction projects, including permitting, plan review, cost estimation and project management.

Education

1984 -1985

Masters of Urban & Regional Planning Program

University of the District of Columbia

30 Hours Credit (incomplete).

1979 -1982

Urban and Regional Planning and Community Development

University of the District of Columbia

1978 -1979

City Planning & Urban Geography

Kent State University, Kent Ohio

**Professional
Training**

BOCA - Structural Plan Review 1996 Seminar

MSS - Management Training Series

Papers:

1. A comparative analysis of two Metro Rail Stations. The University of the District of Columbia and The Virginia Square Station.

November 4, 1985

2. The Impact of Federal Grant-in-Aid Programs on Local Planning Practice and Policy

Fall 1985

OLUTOYE BELLO
TESTIMONY OUTLINE
BZA APPEALS 18735
HYATT HOTEL “ADDITION”
2121 M STREET, N.W.

- I. Free-Standing Hyatt Hotel
 - A. No “Meaningful or Substantial” Connections
 - B. Record Lots Required
 - C. Rear yard
 - D. Separate Parking and Loading
 - E. Other Violations

- II. Hyatt Hotel “Addition”
 - A. Number of Parking Spaces
 - B. Clear Width of Parking Spaces
 - C. Configuration of Compact Spaces
 - D. Percentage of Compact Spaces
 - E. Number of Loading Facilities
 - F. Location of Loading
 - G. Penthouse Setback
 - H. Public Space Requirement