

ZONING INFORMATION

SQUARE : 3226
LOT : 80
WARD : 4
ANC : 4C
SMD : 4C07
PUD : NONE
ZONING : R-4
OVERLAY ZONE : NONE
HISTORIC DISTRICT : NONE
HISTORIC LANDMARK : NONE

APPLICABLE CODES

2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL RESIDENTIAL BUILDING CODE
2006 INTERNATIONAL PLUMBING CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FIRE PREVENTION CODE
2006 ENERGY CONSERVATION CODE
DCMR 12 D.C. SUPPLEMENT
DCMR TITLE 11 - ZONING REGULATIONS

SCOPE OF WORK:

A 309 GROSS SQUARE FOOT SUN ROOM ADDITION TO AN EXISTING THIRD LEVEL OF AN EXISTING THREE STORY ROW HOUSE.

RELOCATE EXISTING ROOF TOP AIR CONDITIONER CONDENSING UNIT TO ANOTHER ROOF TOP LOCATION.

CONTACT INFORMATION:

OWNER:

RICK AND ROBIN APPIA
621 UPSHUR STREET NW, WASHINGTON DC 20011
TEL: 703 886 1480

ARCHITECT:

KEVIN JOHNSON
49 ST ANDREWS ROAD,
SEVERNA PARK, MD 21146
TEL: 410 916 9781

STRUCTURAL ENGINEER:

SURESH BAREL
ADVANCE STRUCTURAL CONCEPTS, LLC
10875 MAIN STREET, SUITE 101
FAIRFAX, VA 22030
TEL: 703 865 7122

AGENCY REVIEWS

NAME	DEPARTMENT	DATE
BOARD OF ZONING ADJUSTMENT District of Columbia		
CASE NO. <u>18704</u>		
EXHIBIT NO. <u>10</u>		

REVISION: SEPTEMBER 23, 2013

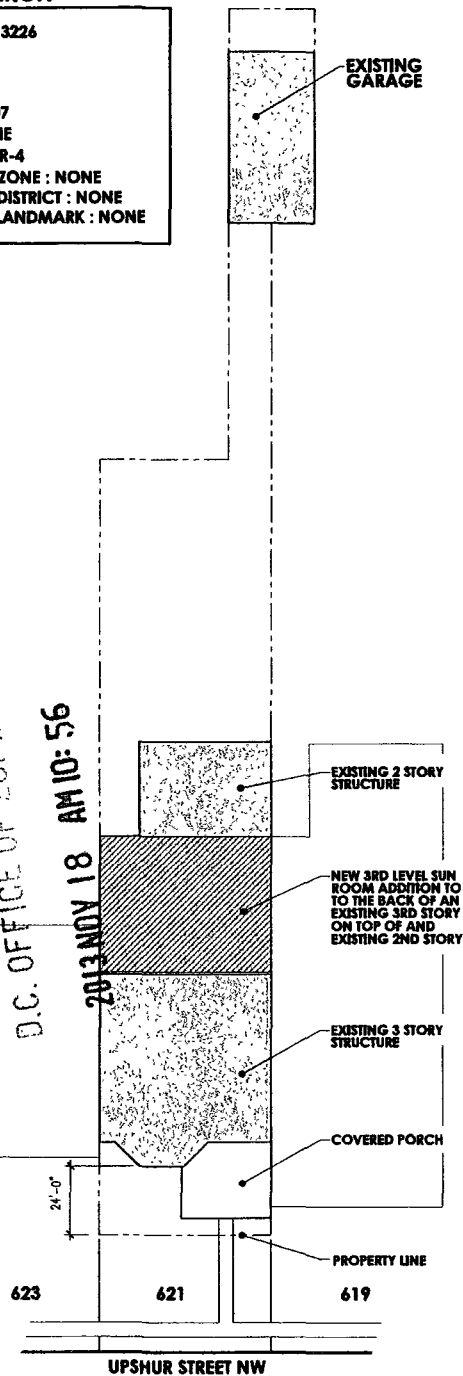
DRAWING LIST:

G1	COVER SHEET / PLOT PLAN / LIFE SAFETY PLAN
EX1	EXISTING CONSTRUCTION IMAGES
EX2	EXISTING BASEMENT, FIRST AND SECOND LEVEL / FRAMING
A1	DEMOLITION PLAN / FLOOR PLAN / ROOF PLAN
A2	EXTERIOR ELEVATIONS
A3	BUILDING SECTION / WINDOW SCHEDULE / DOOR SCHEDULE
A3.1	ADDITIONAL BUILDING SECTIONS
A4	DETAILS
S1	FLOOR AND ROOF FRAMING PLANS
ME 1	SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLANS

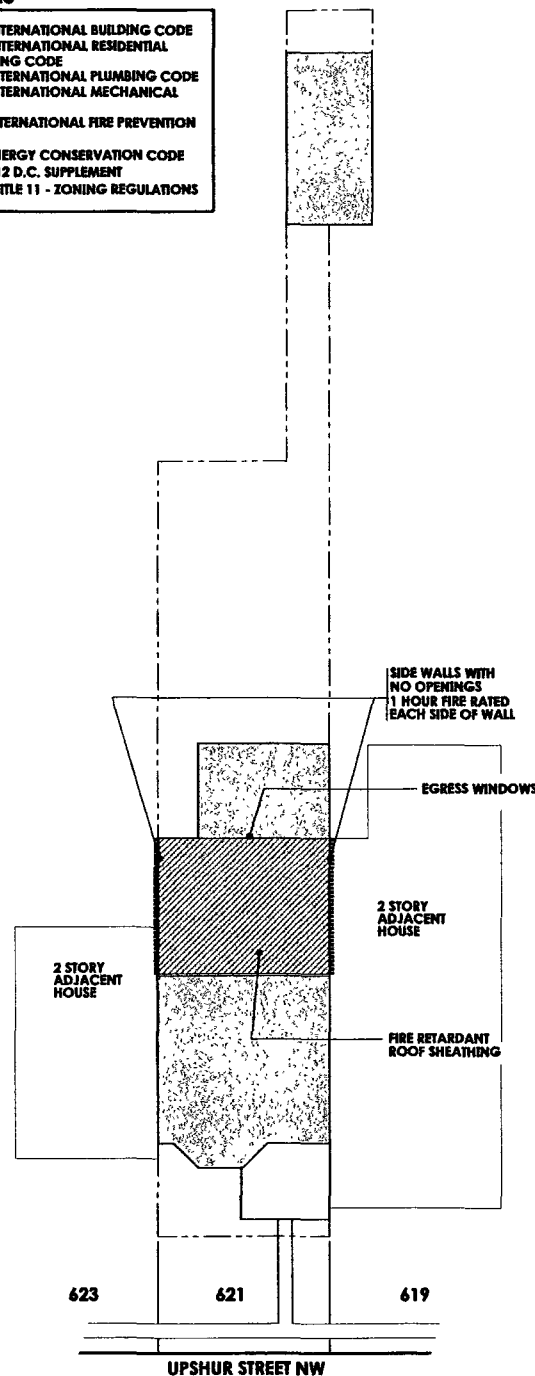
EXHIBIT NO.10



PLOT PLAN

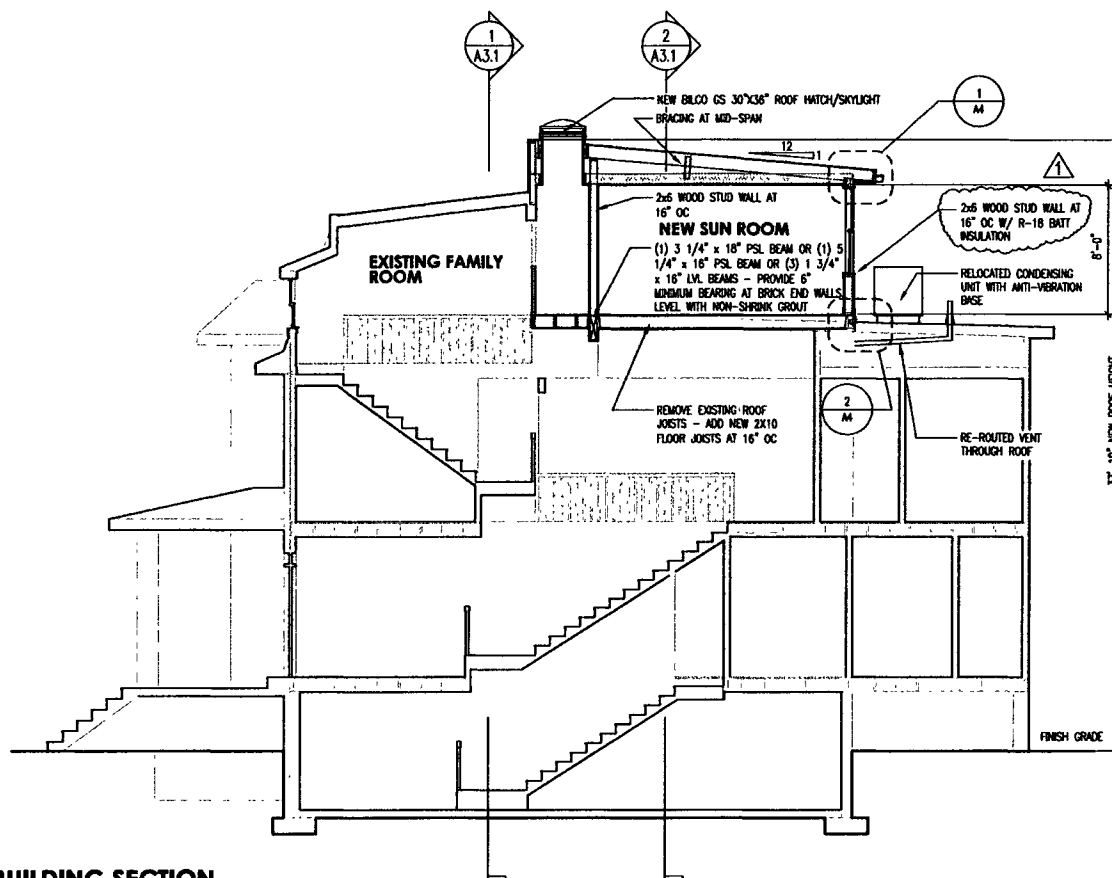


LIFE SAFETY PLAN



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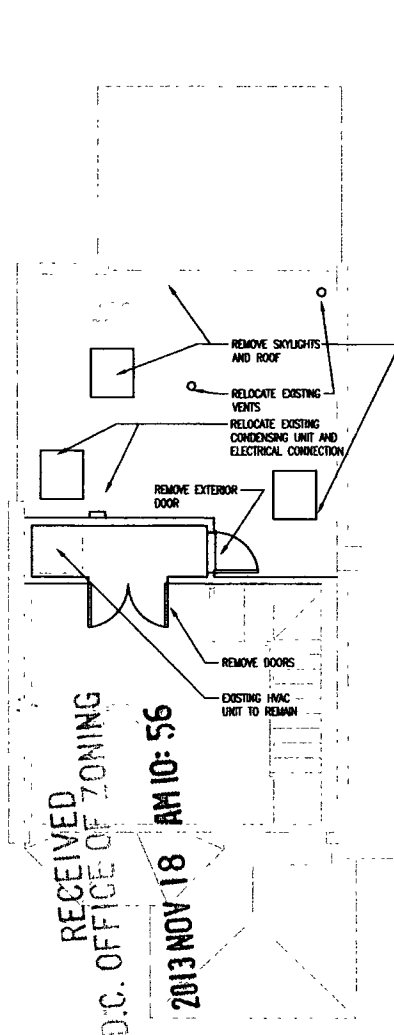
1-BUILDING SECTION
3/16" = 1'-0"

WINDOW SCHEDULE

SYMBOL	NUMBER	TYPE	BRAND	R O SIZE	SINGLE NET OPENING	EGRESS REQUIREMENTS	NOTES
W1	2	3-WIDE DOUBLE HUNG	ANDERSON, 400 SERIES TW 2656, EXTERIOR CLAD WHITE	8-0 3/8" X 5'-8 7/8" (VERIFY)	760 AT LOWER SASH	YES	JAMB DEPTH FOR 2x6 WALLS

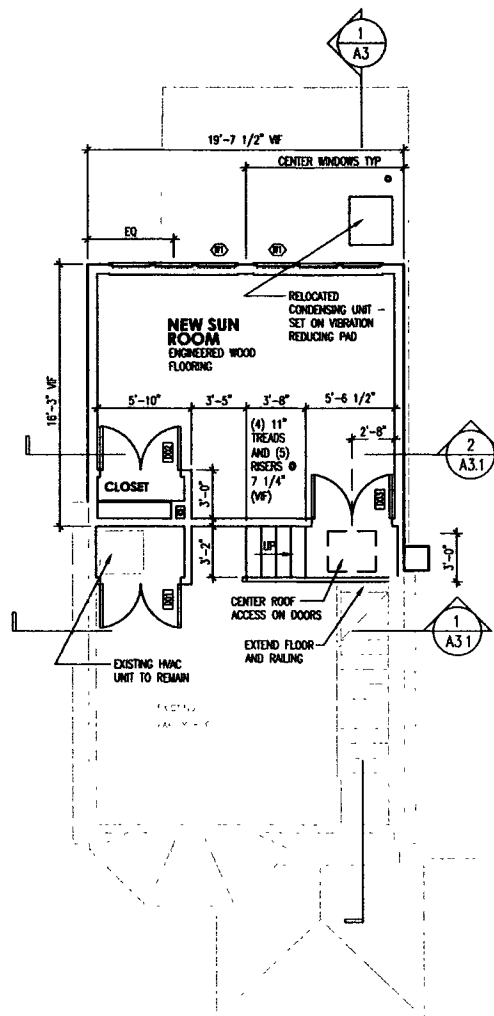
DOOR SCHEDULE

SYMBOL	NUMBER	TYPE	BRAND	SIZE	NOTES
D01	1	DOUBLE LEAF, SOLID CORE	VARIES	(2) 2-6 X 8-0	MATCH PANEL DESIGN, FINISH AND HARDWARE WITH EXISTING DOORS IN HOUSE
D02	1	DOUBLE LEAF, SOLID CORE	VARIES	(2) 2-6 X 8-0	MATCH PANEL DESIGN, FINISH AND HARDWARE WITH EXISTING DOORS IN HOUSE
D03	1	DOUBLE LEAF, 10 LITE GLASS	VARIES	(2) 2-6 X 8-0	MATCH PANEL DESIGN, FINISH AND HARDWARE WITH EXISTING DOORS IN HOUSE, 1" UNDERCUT FOR AIR RETURN



1-THIRD LEVEL EXISTING CONDITIONS / DEMOLITION PLAN

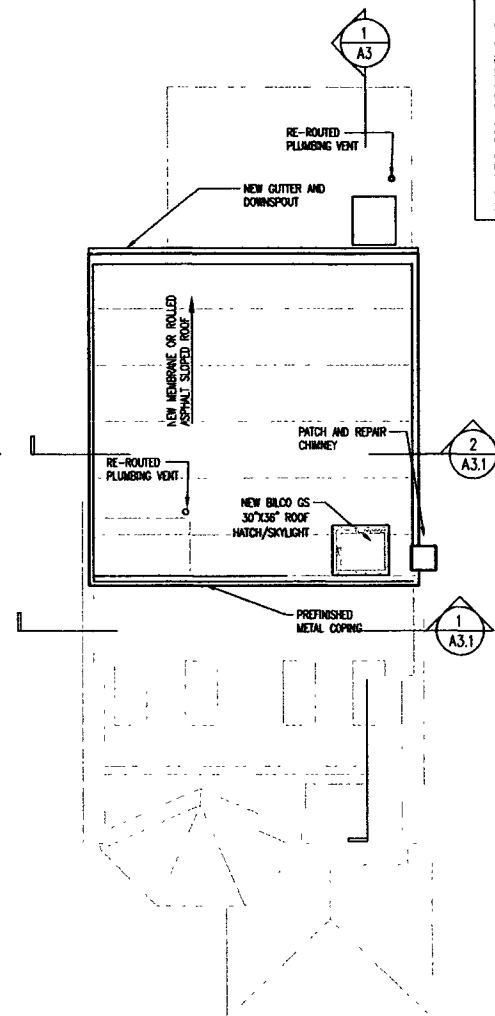
3/16" = 1'-0"



2-THIRD LEVEL SUN ROOM ADDITION FLOOR PLAN

3/16" = 1'-0"

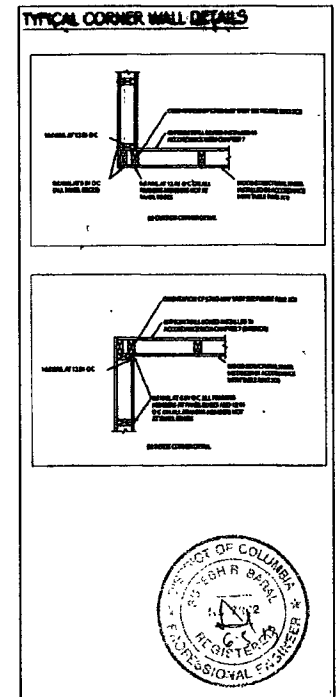
GENERAL NOTE:
-VERIFY ALL DIMENSIONS IN FIELD TYP

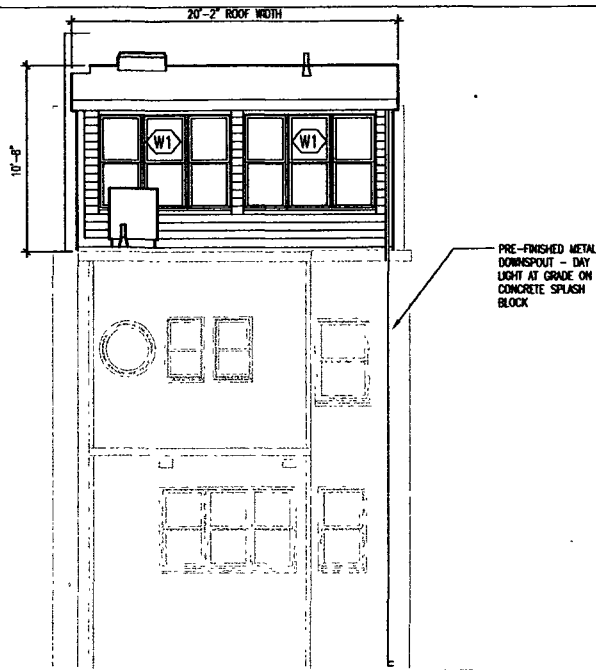


3-THIRD LEVEL SUN ROOM ADDITION ROOF PLAN

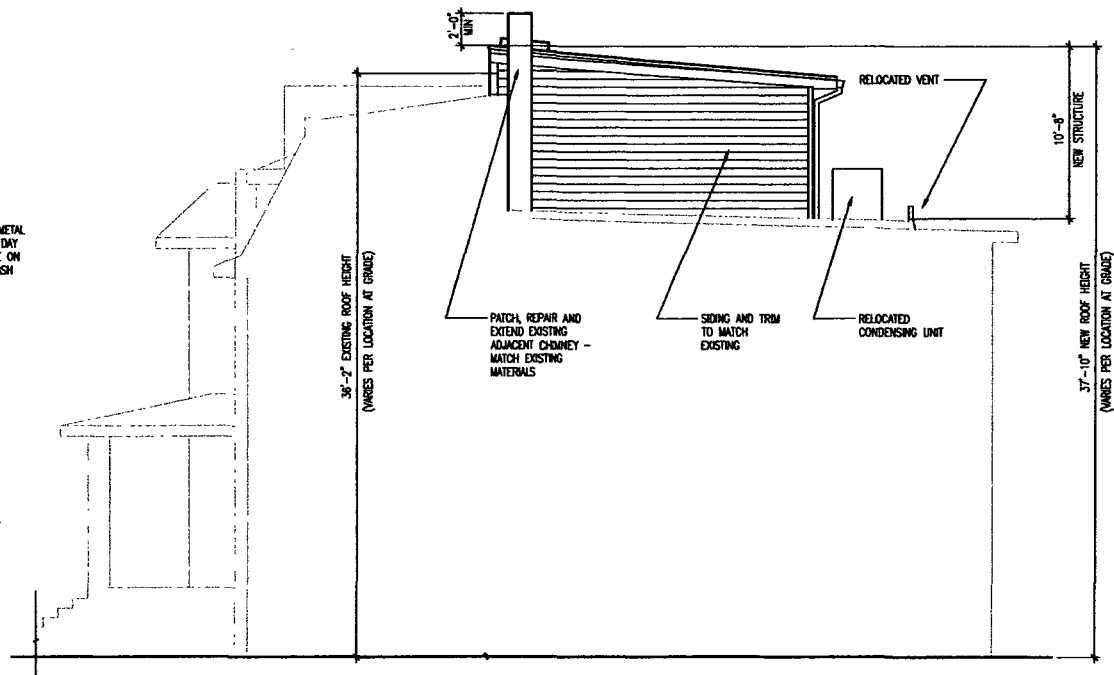
3/16" = 1'-0"

"STRUCTURAL NOTES"	
DESIGN LIVE LOAD:	
Roof	30 psf (Ground snow = 30psf)
Floor	40 psf
Wind	20 psf (90 MPH)
WOOD FRAMING: All wood construction shall conform to the requirements and specifications of American Institute of Timber Construction "TIMBER CONSTRUCTION MANUAL" latest edition.	
All framing lumber shall be southern yellow pine no 2 M&G 19B (including top plates, headers, joists, columns, rafters, and girders) or equal. All lumber in contact with concrete shall be moisture proofing treated lumber. The relocated treated lumber is unacceptable framing lumber shall be IS - 1200 or minimum. All studs and joists shall be 1775K or equal. Where cutting of top plates more than half-width is necessary, a notch shall not less than replace depth of notch and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than four #6 nails.	
All plywood used structurally shall meet the performance standards for the type, grade and species of plywood and shall be as identified by an approved testing agency. Sheathing fastening methods to conform with IRC 2008.	
Conventional floor joists shall meet the performance standards for the type, grade and species of plywood and shall be as identified by an approved testing agency. Sheathing fastening methods to conform with IRC 2008.	
Conventional joists or rafters shall have bridging "at a minimum of 8'-0". Cut and notch holes shall be identified by an approved testing agency. Sheathing fastening methods to conform with IRC 2008.	

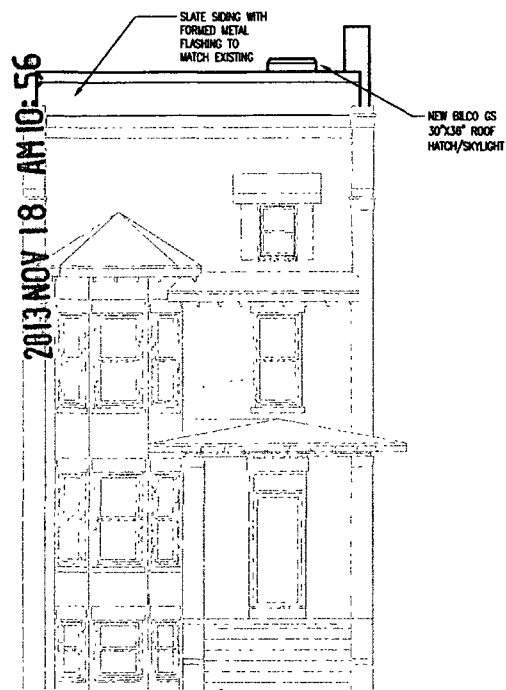




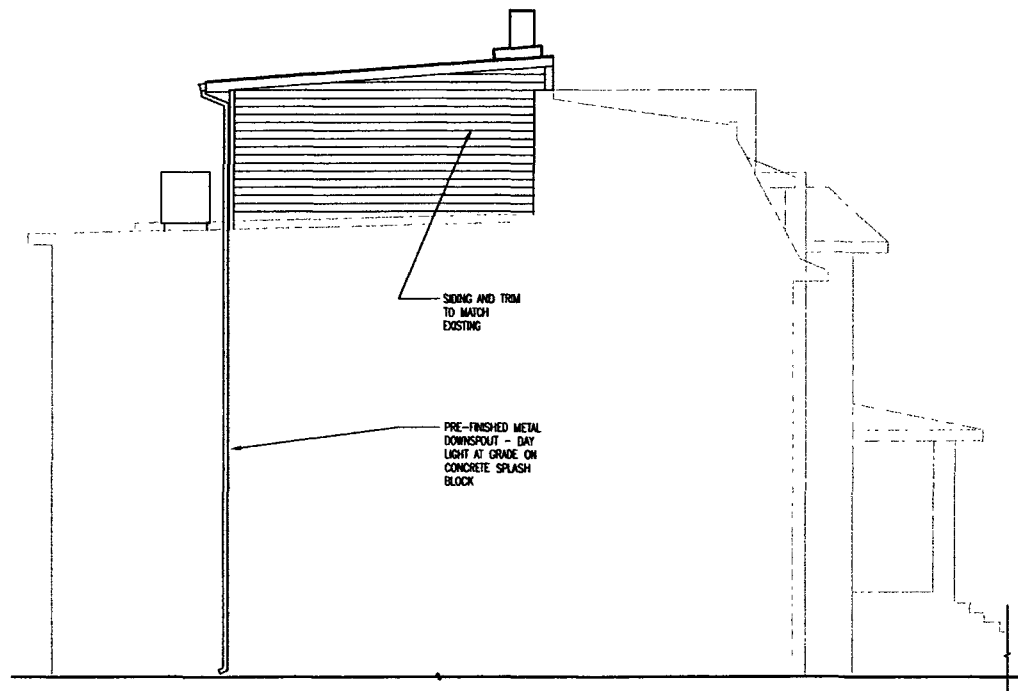
1-NORTH ELEVATION
3/16" = 1'-0"



2-EAST ELEVATION
3/16" = 1'-0"



3-SOUTH ELEVATION
3/16" = 1'-0"



4-WEST ELEVATION
3/16" = 1'-0"

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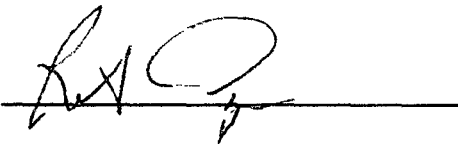
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AUTHORIZED AGENTS

I, Richard Appia, owner of Lot 80 in Square 3226 (or 621 Upshur St NW), have authorized the following agents to act on my behalf in the process of seeking a special exception for a third story sun room addition on my home:

- AGENT 1 - James Noel of Noel Design Build
- AGENT 2 - Russell Clark of Noel Design Build

Acknowledgement of my approval follows with my signature and date:

NAME of AUTHORIZOR:  DATE: 11/12/13

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