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Application for a Special Exception
Thomas Maloney- 704 19th St NE 20002

To whom it may concern:

My name is Thomas Maloney, and I am seeking a special exception under section 223.1 to expand the second floor of my rowhouse located at 704 19th ST NE. This is a second floor addition and will not expand the existing footprint of the house. Lot occupancy will remain at 69%.

I purchased this house in May of 2013 as a "fixer-upper", where I got a 203k renovation loan. This allows me to borrow money both for the purchase of the house and also for the renovation of the house. This addition would expand the total square footage of the house from 680 feet to 820 square feet.

When I purchased the house, I did so with the goal of putting down roots in DC, and hopefully starting a family in this house one day. I believed this would be much more easily done in a house with 820 square feet., where there would be sufficient bedroom space for everyone.

My bank has informed me that since my loan is based on the appraisal of the after-improved value of the house, and that value includes the proposed addition, that my loan is contingent on being able to complete all of the planned work when I started the 203k. If this addition is not approved, my bank has told me that I may not be able to keep the loan, and therefore I may not be able to keep the house.

Statement of existing and proposed use of the structure

The building exists now as a single family house, and will continue to be a single family house if the addition is improved. The use of the house will not change.

Burden of Proof Statement

The first test for a special exception is "How the proposed special exception will be consistent with the general intent and purpose of the Zoning Regulations and Map;"

My house is located in a R-4 district. The intent and purpose of the R_4 district is defined as:

"330.1 The R-4 District is designed to include those areas now developed primarily with row dwellings, but within which there have been a substantial number of conversions of the dwellings into dwellings for two (2) or more families.

330.2 Very little vacant land shall be included within the R-4 District, since its primary purpose shall be the stabilization of remaining one-family dwellings"

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District of Columbia
CASE NO. 18703
EXHIBIT NO. 3
Board of Zoning Adjustment
District of Columbia
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Since the goal of the R-4 district is to preserve single family houses, the proposed addition is consistent with this purpose as the house will remain a single family dwelling. In fact, the expansion from 680 square feet in its present form to 820 square feet will make the house more suited towards raising a family.

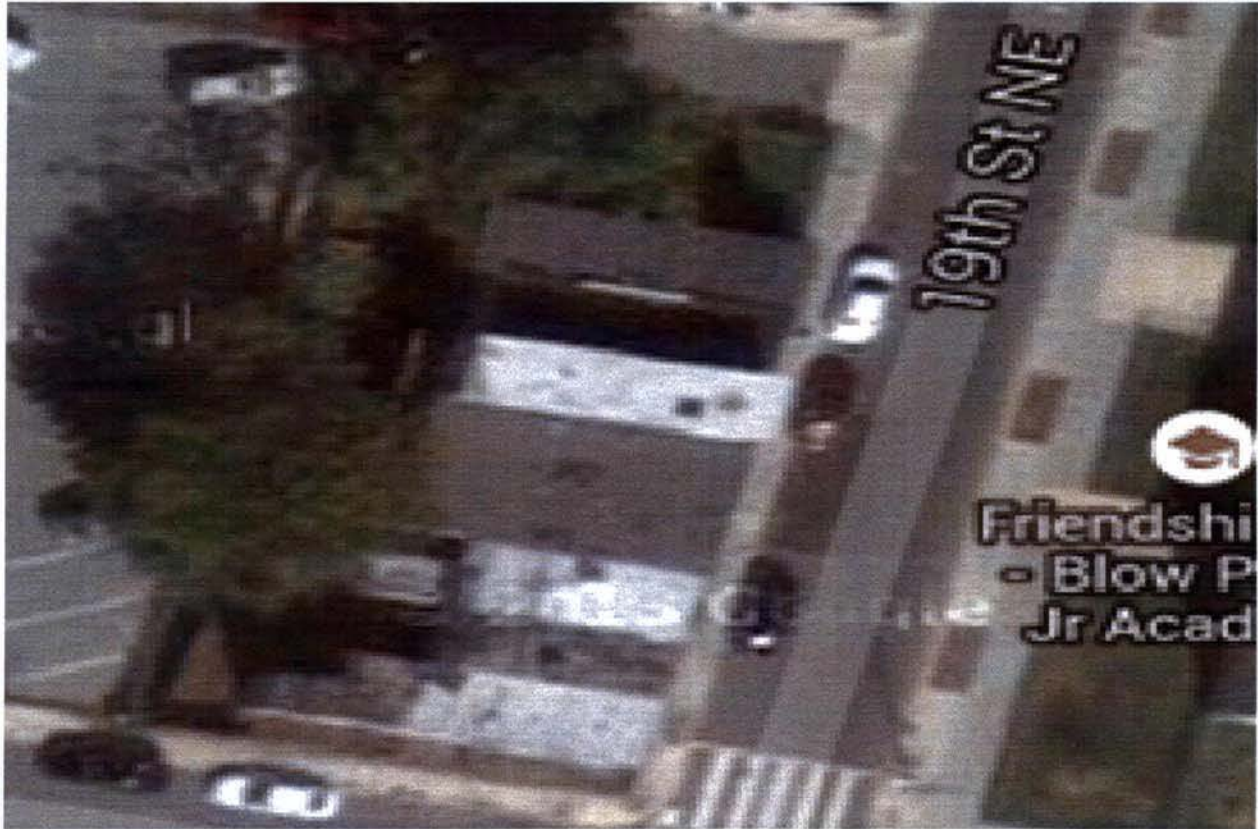
The R-4 Zoning code also provides that for any buildings being converted to apartments, a minimum of 900 square feet be provided for each dwelling unit. While this is not an apartment, the proposed addition brings the house much closer to the dwelling unit size envisioned by the R-4 Zoning district.

The below picture shows an overhead map of the row of houses. Both a satellite view and a regular map view are provided. In the regular map view, the white blocks represent existing structure. 704 19th St NE is the third house from the bottom. As can be seen on this map, the majority of the houses already go back as far as mine does, allowing neighbors to use to make the most use possible of the very limited lot sizes on this block. Using this greater percentage of the lot size residents of this block to make to use the limited space as a space they can use to raise a family.

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The second part of the second exception refers to showing that this use will not affect the use of the neighboring properties, referring to their light, air, and privacy.

There is no other house to the back of my house; my house backs to a church parking lot. This is demonstrated above.

There are two house neighboring my house, one to the north and one to the south My addition will go back only as far as the northern neighbor's house, so there will not be any adverse impact to them as our houses will go back exactly as far. There are no windows on the side of my neighbor' house, so there they will not lose any of their view. This is demonstrated in the picture on the next page, showing there are no windows on the side of my northern neighbor's house.

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There should also be no interference to the lighting of my neighbor on the South. This is because the sun comes from the South and east, and so an addition to the North will not be affected. This is demonstrated by the picture below of the back of my southern neighbor's house



As the photo demonstrates, the small existing bumpout of my house is not casting a shadow. My southern neighbor does have a shadow cast on it, but it is coming from her neighbor to the south, not from my house. Having the addition on my house, going only to the same line the other houses on the block go to, will not interfere with the light or air of my southern neighbor's house.

In addition, the southern neighbor will not have any interference to her privacy, as there will be no windows on the side of my house.

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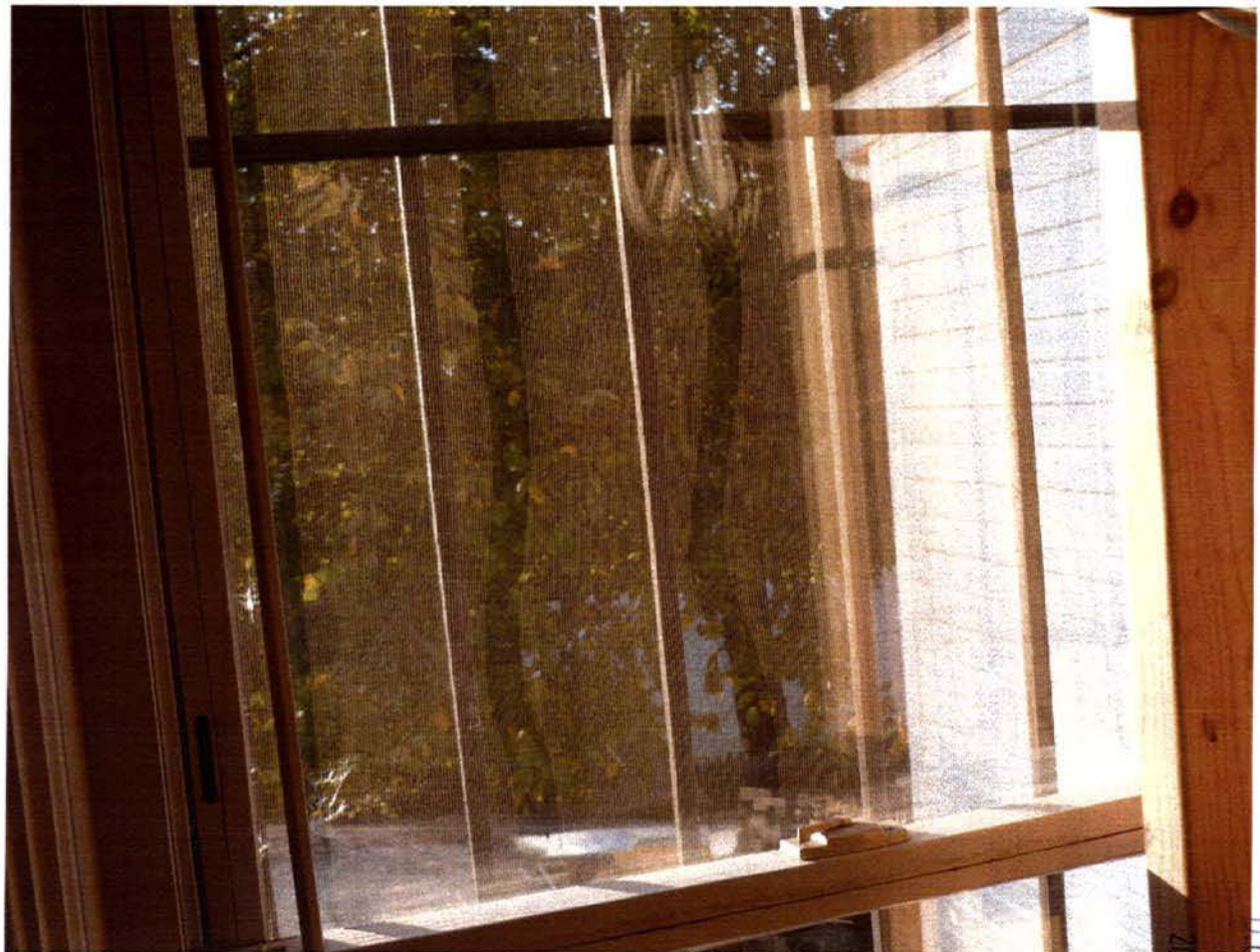
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Another way to demonstrate that my southern neighbor will be to look at the lighting situation of my house as it is now. Currently, my house has a neighbor to the north with a 12 foot addition going back, on both levels. If this addition is completed, my southern neighbor will also have a 12 foot addition to her north. Therefore, the lighting situation of my neighbor after the addition will be the same as it is now for my house.

Here is the photo of the back of the first floor of my house. As can be seen, light still fills the house. Light comes in through the back window, and because the house is so small, the light from the front of the house permeates the house. Since I have light right now with a 12 foot addition to my north, my southern neighbor's light will not be affected my addition.



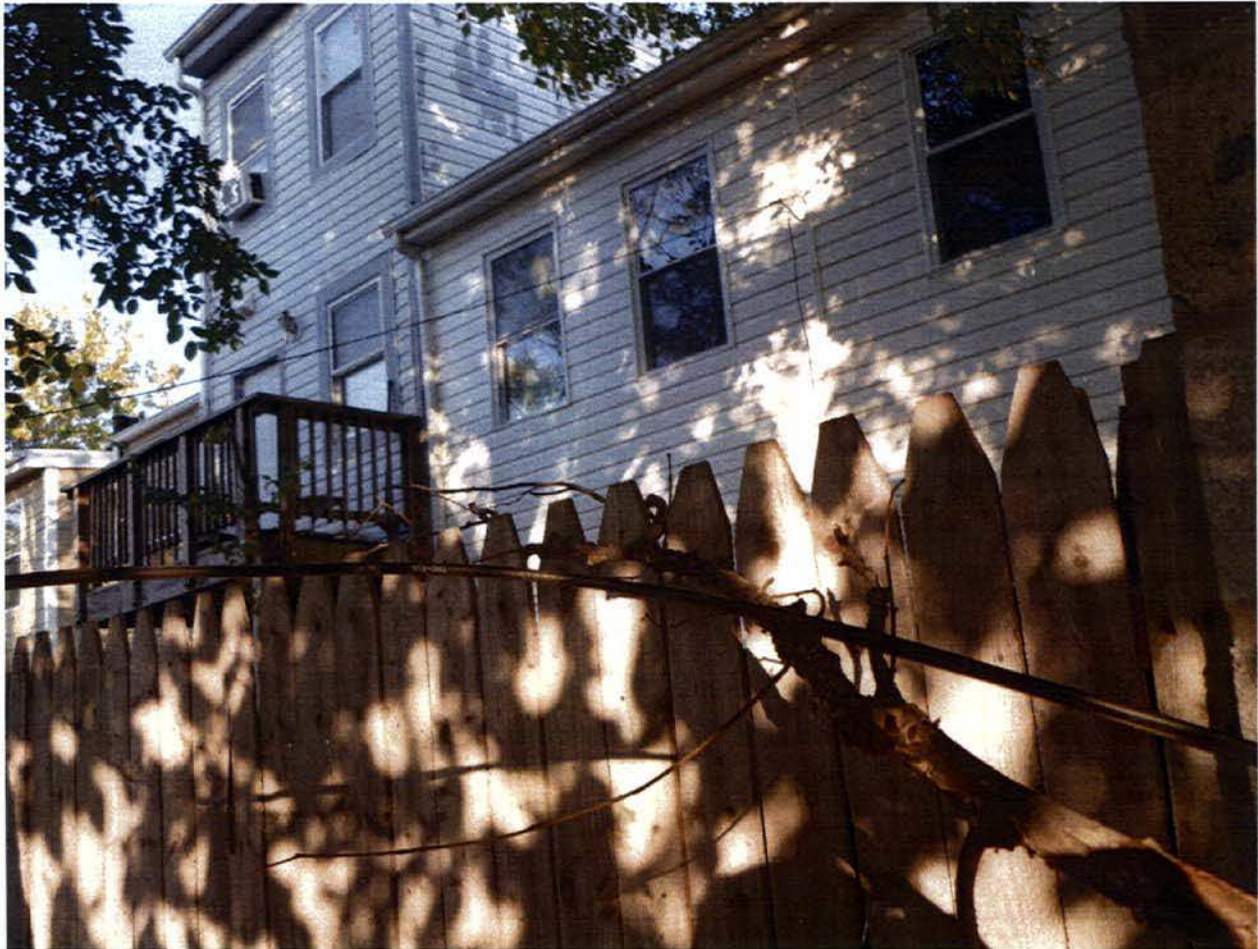
Here is a view of the back looking out of the second floor of the house, looking out the Window. As can be seen, light is still coming through the window and light still permeates the area outside of my house. The addition to the north does not block the light. My southern neighbor will also not have her light blocked by my addition.



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The following picture is of the houses to the North of me, all of which have been extended as far as I am proposing to extend my house.



This shows that extending the house as far as my proposing has becoming standard on my block. By using 69% of the lot occupancy, these small, irregular lots are capable of providing modest houses for people to live in a city where finding housing has become a key challenge.

I purchased this house because it is what it was I could afford. I would have liked to be able to afford a big house on a big lot with space, but that is very hard to afford in this city. I bought this small house and small lot with the intention of making home out of it, plead that the city kindly grant me this special exception such that I might make best use out of it.