

# THE KELLY'S RESIDENCE

1205 DECATUR STREET NW  
WASHINGTON, DC

CONVERSION OF A SINGLE FAMILY  
DWELLING TO A TWO FAMILY DWELLING

DECEMBER 15, 2012  
REV. JANUARY 9, 2010

RECEIVED  
D.C. OFFICE OF ZONING  
2013 NOV 14 PM 2:45

GOVERNMENT OF THE DISTRICT OF  
COLUMBIA PERMIT OPERATIONS  
DIVISION

PLANS APPROVED Permit No. B1303271

KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

OFFICIAL

GOVERNMENT OF THE DISTRICT OF COLUMBIA  
PERMITTING OPERATION DIVISION

All work must be done strictly in accordance  
with and approved plan. No inspection will be made  
until completion. No inspection will be made  
unless Approved Plans are on job site.

These plans are conditionally approved in accordance with  
any correction notes on the plans. The building permit is  
license to construct in accordance with adopted codes and  
does not waive any code requirements not waived during plan  
review. Issuance of permit does not prevent field inspections  
from ordering corrections to meet codes when issues are  
noted during inspections.

JAN 29 2013

Signature:  Date: 2013-01-29

Fire Department: Not Required

CONTACTS

OWNER

TOM KELLY  
1205 DECATUR STREET NW  
WASHINGTON, DC  
(202) 489-7402

ARCHITECT

ADS-LLC  
2862 SCENIC MEADOW STREET  
WALDORF, MARYLAND 20603  
(301) 535-7119  
E-mail: ADS-LLC@comcast.net  
Contact: Greg Michael

CONTRACTOR

TOM KELLY  
1205 DECATUR STREET NW  
WASHINGTON, DC  
(202) 489-7402

ADS-LLC  
2862 SCENIC MEADOW ST  
WALDORF, MARYLAND

Architect: \_\_\_\_\_

Drawn: DM Checked: DM

Job No.: B1303271 Scale: NA

COVER SHEET

Board of Zoning Adjustment  
District of Columbia  
CASE NO. 18700  
EXHIBIT NO. 7

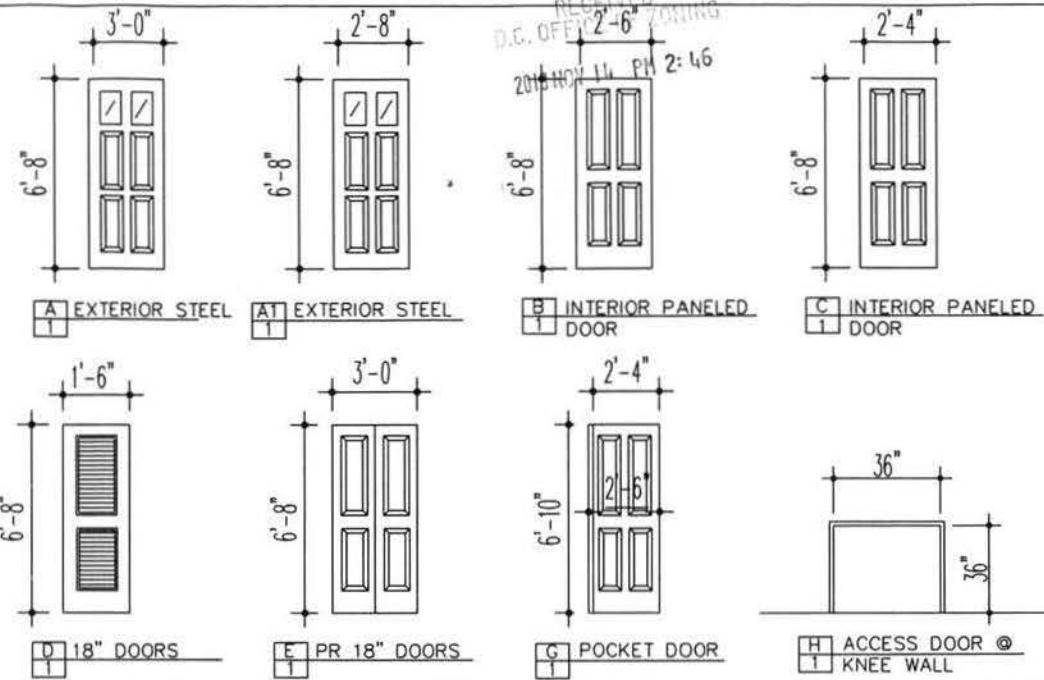
CO.1

BUILDING CODES AND STANDARDS			INDEX OF DRAWINGS		
THE INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION					
THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2006 EDITION					
Building Code	Existing Space	Proposed Space	C0.1	COVER SHEET	
IBC Occupancy Classification:	SFD	2 FD	AN-1	GENERAL NOTES/ SCHEDULES	
Building Construction Type:	BRICK/FRAME	BRICK/FRAME	A1.0	EXISTING BASEMENT FLOOR PLAN	
Number of Stories in Building:	2.5	2.5	A2.0	EXISTING FIRST, SECOND & ATTIC PLANS	
Location of construction:	BASEMENT	First Floor	A3.0	BASEMENT FURNITURE/FINISH PLAN	
Basement Area:	765	765	A4.0	INTERIOR ELEVATIONS	
First Floor:	635	635	A5.0	BASEMENT CROSS SECTION	
Second Floor:	600	600	M-1	MECH PLANS	
Attic:	385	385	M-2	MECH/ELEC NOTES/SCHEDULE	
Total Building Sq. Ft.	2,385	2,385	E-1	POWER PLAN	
Floor/Ceiling Construction:	Non Rated Ceiling at Basement	1 hour Fire Rated Separation Between Basement & Upper Unit	E-2	LIGHTING PLAN	
SCOPE OF WORK			E-3	ELECTRICAL NOTES/SCHEDULES	
- CONVERT A SINGLE FAMILY DWELLING INTO A TWO FAMILY DWELLING			E-4	ELECTRICAL NOTES/SCHEDULES	
- BASEMENT - UNIT #1			P-1	BASEMENT, FIRST & SECOND PLANS	
- FIRST, SECOND & ATTIC - UNIT #2 (EXISTING TO REMAIN)			P-2	ATTIC & SCHEDULES	
			P-3	SANITARY RISER DIAGRAM	
			P-4	WATER RISER DIAGRAM	
BOARD OF ZONING ADJUSTMENT District of Columbia					
CASE NO. <u>18700</u>					
EXHIBIT NO. <u>7</u>					

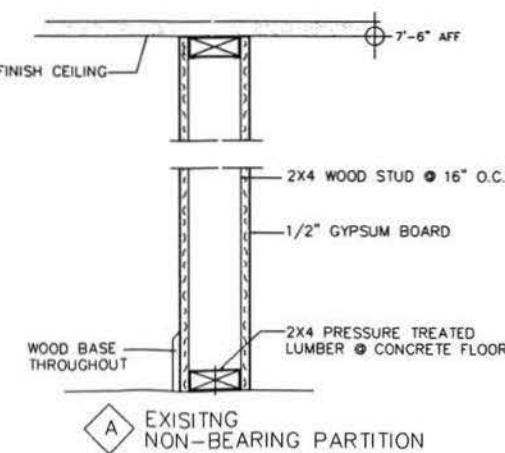
## GENERAL NOTES

1. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY.
2. NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
3. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.
4. SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.
5. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.
6. EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS INCLUDING BUT NOT LIMITED TO: UBC, SEISMIC CODES, NEC, NFPA, ASMC, UMC, LATEST ENFORCED EDITIONS.
7. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. WRITTEN SPECIFICATIONS SHALL GOVERN OVER ALL.
8. CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
10. ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
11. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N.
12. THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

## DOOR SCHEDULE/TYPE



## EXISTING PARTITION TYPE



## EXISTING WINDOW LEGEND

- 1 28"x26" DOUBLE HUNG WINDOW
- 2 26"x26" DOUBLE HUNG WINDOW
- 3 44"x26" DOUBLE HUNG WINDOW
- 4 24"x54" DOUBLE HUNG WINDOW
- 5 32"x54" DOUBLE HUNG WINDOW
- 6 54"x54" DOUBLE HUNG WINDOW
- 7 36"x54" DOUBLE HUNG WINDOW
- 8 30"x54" DOUBLE HUNG WINDOW
- 9 36"x54" DOUBLE HUNG WINDOW
- 10 30"x54" DOUBLE HUNG WINDOW

KELLY RESIDENCE

1205 DECATUR ST NW  
WASHINGTON, DC

ADS-LLC  
WALDORF, MARYLAND  
301-535-7119

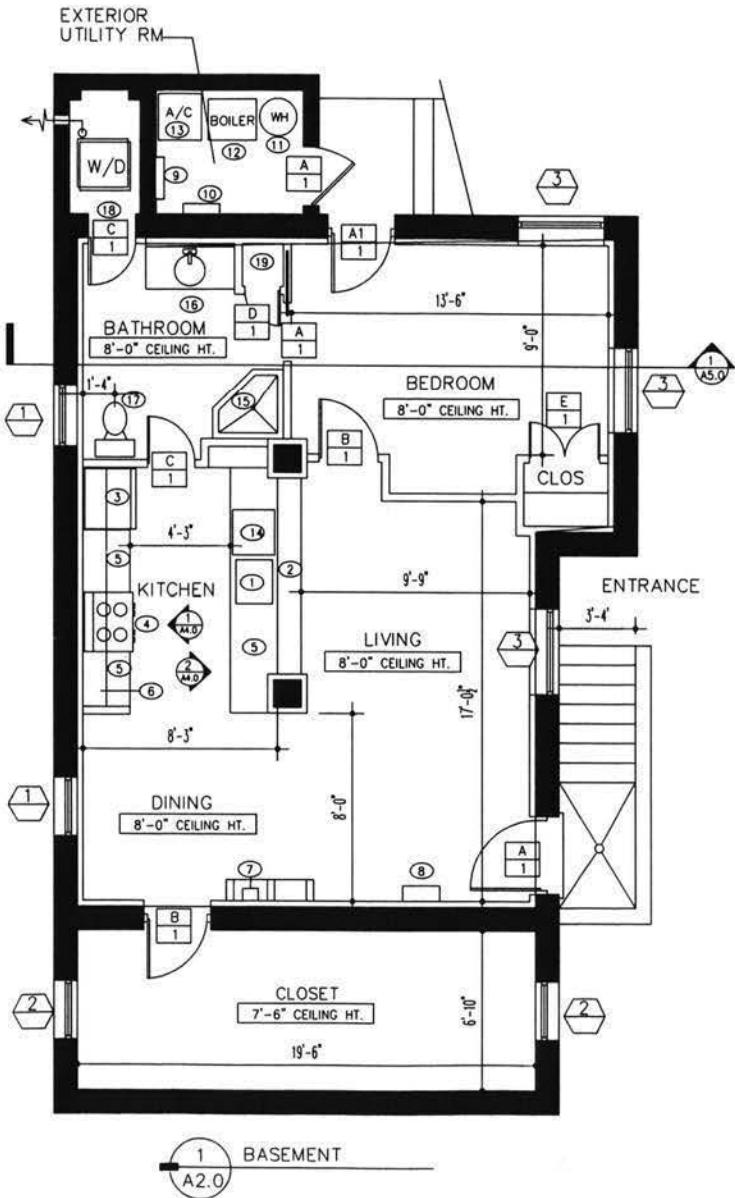
Job No: Scale: 3/16" = 1'-0"

## NOTES & SCHEDULES

Sheet Title: \_\_\_\_\_

AN-1

Sheet No: \_\_\_\_\_



## CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPE AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED AND SANDED SMOOTH.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS' OF ALL WALL FINISHES, U.O.N.
- NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION OF THE LAYOUT, NOTIFY THE ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION
- ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF SILL, U.O.N.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.

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KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

## BASEMENT INDICATED NOTES

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION

PLANS APPROVED: Permit No. \_\_\_\_\_

- SINK/DISPOSAL
- GRANITE COUNTERS
- NEW LOW PROFILE 36"W FRIGERATOR
- ELEC STOVE
- GRANITE COUNTER TOP
- 36"H WALL HUNG KITCHEN CABINETS
- WATER METER LOCATION
- GAS METER LOCATION
- EXISTING ELECTRICAL PANEL
- NEW 150A ELECTRICAL PANEL
- EXISTING WATER HEATER TO REMAIN
- EXISTING BROILER TO 2nd & 3rd FLOOR
- EXISTING 2 TON A/C 2nd & 3rd FLOOR
- EXISTING DISHWASHER
- EXISTING CORNER SHOWER
- EXISTING 48" SINK/CABINET
- EXISTING TOILET
- EXISTING STACKABLE WASHER/DRYING
- NEW 40 GALLON WATER HEATER

1. The plans are fully approved in accordance with adopted codes and standards. The building permit is issued subject to the requirements not noted during plan review. The permit does not prevent field inspections from being made to meet codes when issues are brought to the attention of the building official.

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19. The permit is issued subject to the requirements not noted during plan review. The permit does not prevent field inspections from being made to meet codes when issues are brought to the attention of the building official.

Signature:  Date: JAN 29 2013

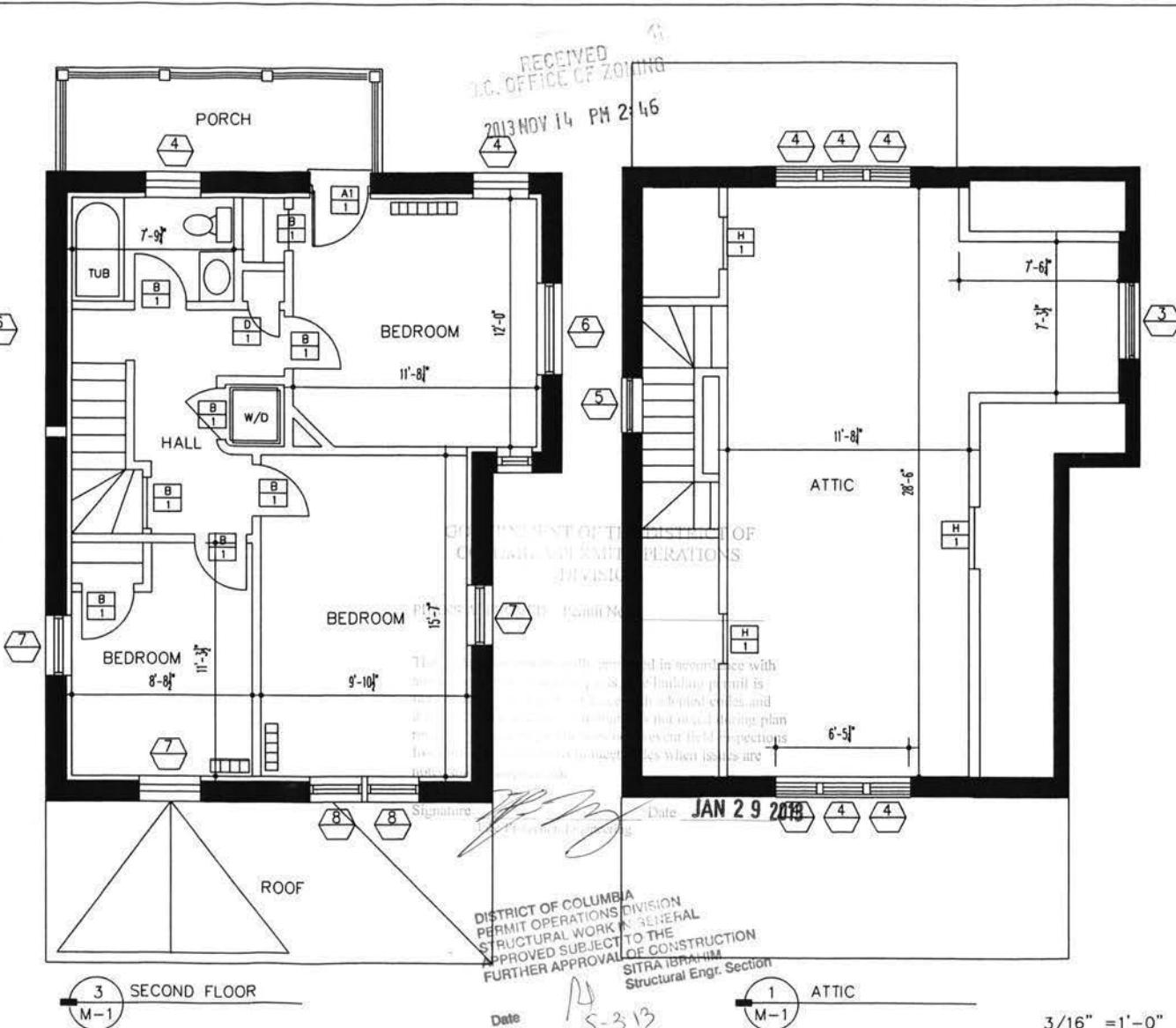
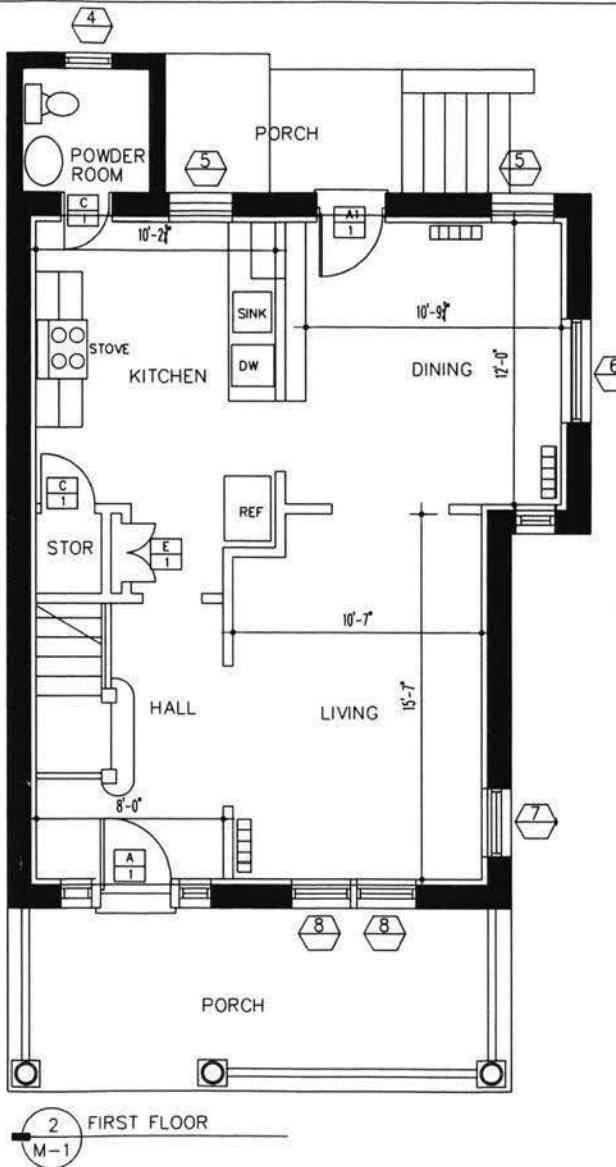
ADS-LLC  
WALDORF, MARYLAND  
301-535-7119

Job No: Scale: 3/16" = 1'-0"

## EXISTING BASEMENT DWELLING #1

DISTRICT OF COLUMBIA  
PERMIT OPERATIONS DIVISION  
STRUCTURAL WORK IN GENERAL  
APPROVED SUBJECT TO THE  
FURTHER APPROVAL OF CONSTRUCTION  
SITRA BRAHIM  
Structural Engr. Section  
Date: 5-3-13

Sheet Title: A1-0  
Sheet No:



EXISTING FIRST, SECOND & ATTIC

DWELLING #2

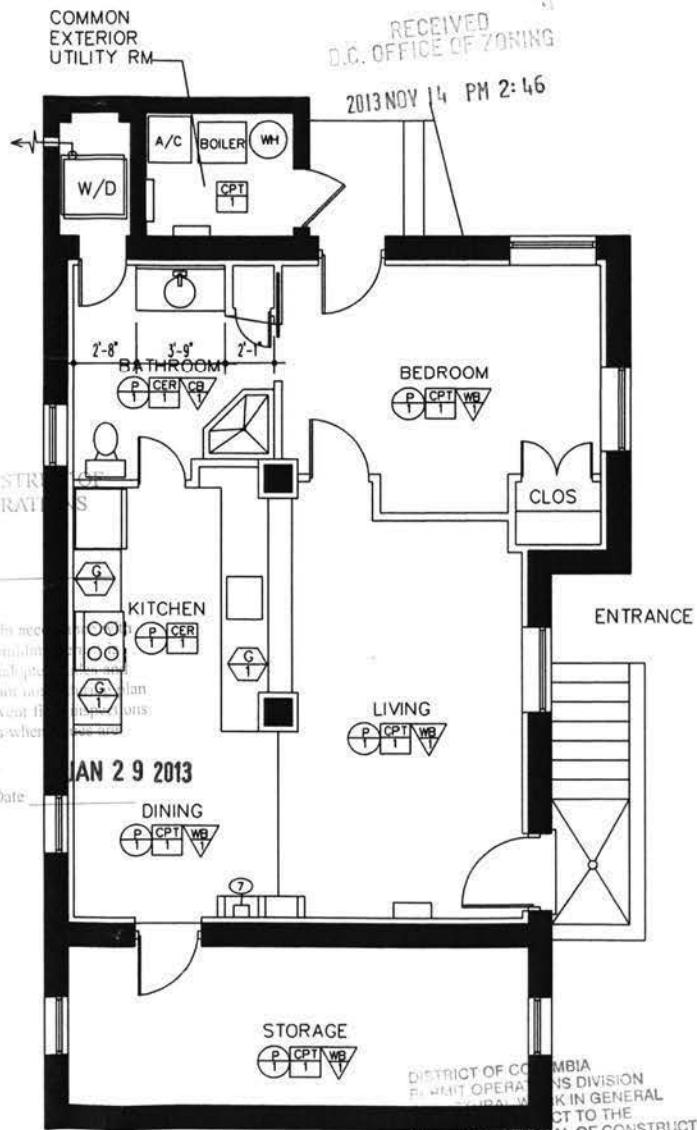
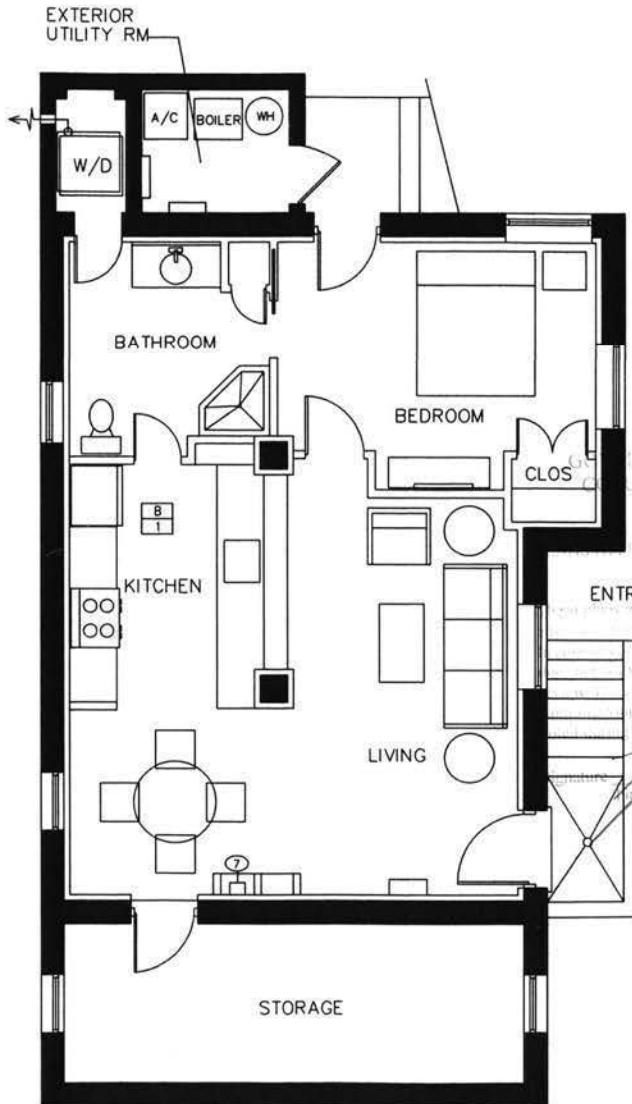
1205 DECATUR ST NW  
WASHINGTON, DC

A2.0

3/16" = 1'-0"

Date 5-3-13

DISTRICT OF COLUMBIA  
PERMIT OPERATIONS DIVISION  
STRUCTURAL WORK IN GENERAL  
APPROVED SUBJECT TO THE  
FURTHER APPROVAL OF CONSTRUCTION  
SITRA IBRAHIM  
Structural Engr. Section



KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

### EXISTING FINISHES

 PAINT:  
STYLE/NO.:

 CARPET:  
EXISTING

 CERAMIC TILE  
EXISTING

 CERAMIC TILE  
EXISTING

 WOOD BASE:  
EXISTING

 CERAMIC BASE:  
EXISTING

 GRANITE:  
EXISTING

ADS-LLC  
WALDORF, MARYLAND  
301-535-7119

Job No. Scale: 3/16" = 1'-0"

## EXISTING BASEMENT FINISH PLAN

Sheet Title:

A3.0

3/16" = 1'-0"

GOVERNMENT OF THE DISTRICT OF  
COLUMBIA PERMIT OPERATIONS  
DIVISION

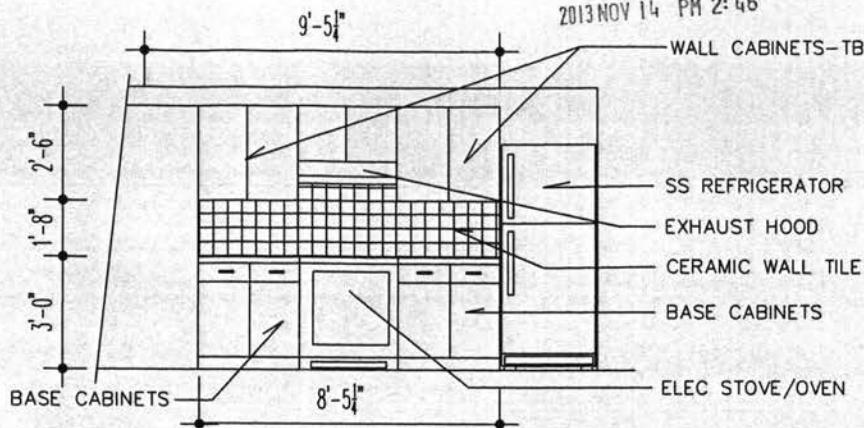
PLANS APPROVED Permit No. \_\_\_\_\_

These plans are conditionally approved in accordance with any correction notes on the plans. The building permit is issued to construct in accordance with adopted codes and does not waive any code requirements not noted during plan review. Issuance of permit does not prevent field inspections from ordering corrections to meet codes when issues are noted during inspections.

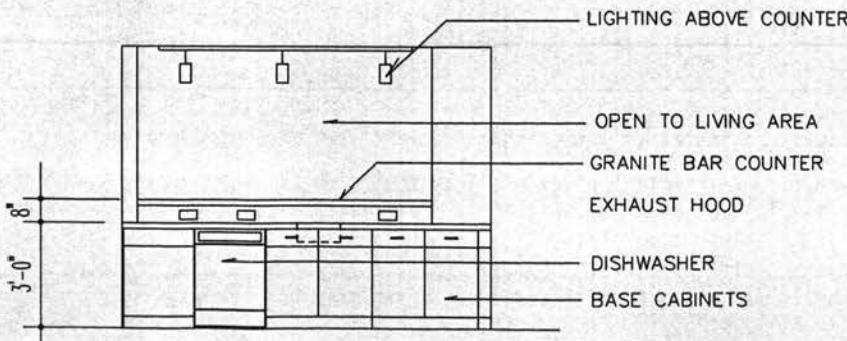
Signature:  Date: **JAN 29 2013**  
Michael Protection Engineering

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2013 NOV 14 PM 2:46



1 ELEVATION AT HALL  
A4.0 3/16" = 1'-0"



2 KITCHEN ELEVATION  
A4.0 3/16" = 1'-0"

DISTRICT OF COLUMBIA  
PERMIT OPERATIONS DIVISION  
STRUCTURAL WORK IN GENERAL  
APPROVED SUBJECT TO THE  
FURTHER APPROVAL OF CONSTRUCTION  
SITRA IBRAHIM  
Structural Engr. Section

Date

11  
5.3.13

KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

ADS-LLC  
WALDORF, MARYLAND  
301-535-7119

Job No: \_\_\_\_\_ Scale: 3/16" = 1'-0"

KITCHEN ELEVATIONS

Sheet Title: \_\_\_\_\_

A4.0

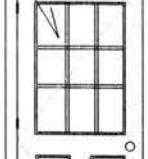
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KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

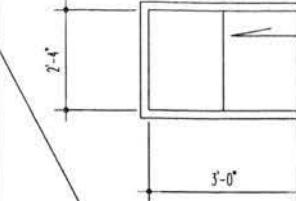
EXISTING DOOR TO EXTERIOR

BATHROOM

6'-8"



8'-0"



2'-4"

GOVERNMENT OF THE DISTRICT OF  
COLUMBIA PERMIT OPERATIONS  
BEDROOM DIVISION

PLANS APPROVED - Permit No.

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2013 NOV 14 PM 2:46

ONE HOUR RATED  
RECESSED LIGHT ASSEMBLY

FIRST FLOOR

EXISTING WINDOWS

BASEMENT LEVEL

ONE HOUR RATED CEILING  
UL DES L501

BASEMENT LEVEL

These plans were conditionally approved in accordance with  
any applicable zoning laws. The building permit is  
based on the plans as submitted, including any adopted codes and  
does not include any code requirements. A building plan  
review is not a permit and does not prevent field inspections  
from requiring corrections to meet codes when issues are  
noted during inspections.

JAN 29 2013

Signature   
Date  
The Protection Engineering

1  
A5.0  
BASEMENT SECTION  
BASEMENT

EXISTING 3/4" SUB-FLOOR  
AND 3/4" HARDWOOD FLOORS

RECESSED LIGHTS WITH  
ONE HOUR RATED ASSEMBLY

DISTRICT OF COLUMBIA  
PERMIT OPERATIONS DIVISION  
STRUCTURAL WORK IN GENERAL  
APPROVED SUBJECT TO THE  
FURTHER APPROVAL OF CONSTRUCTION  
SITRA IBRAHIM  
Structural Engr. Section

Date  
S-313

1  
A5.0  
SECTION AT BASEMENT CEILING  
ONE HOUR RATED CEILING  
UL DES L501

1/2" SHEETROCK FIRECODE CORE  
ONE HOUR RATED CEILING  
6" SOUND ATTENUATION BLANKET

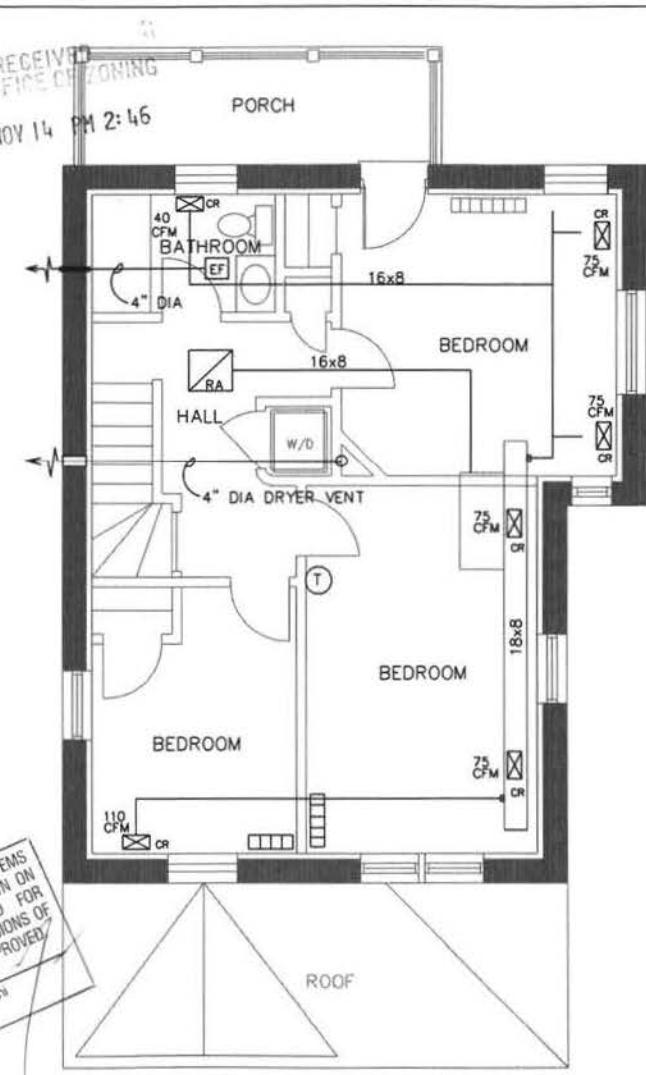
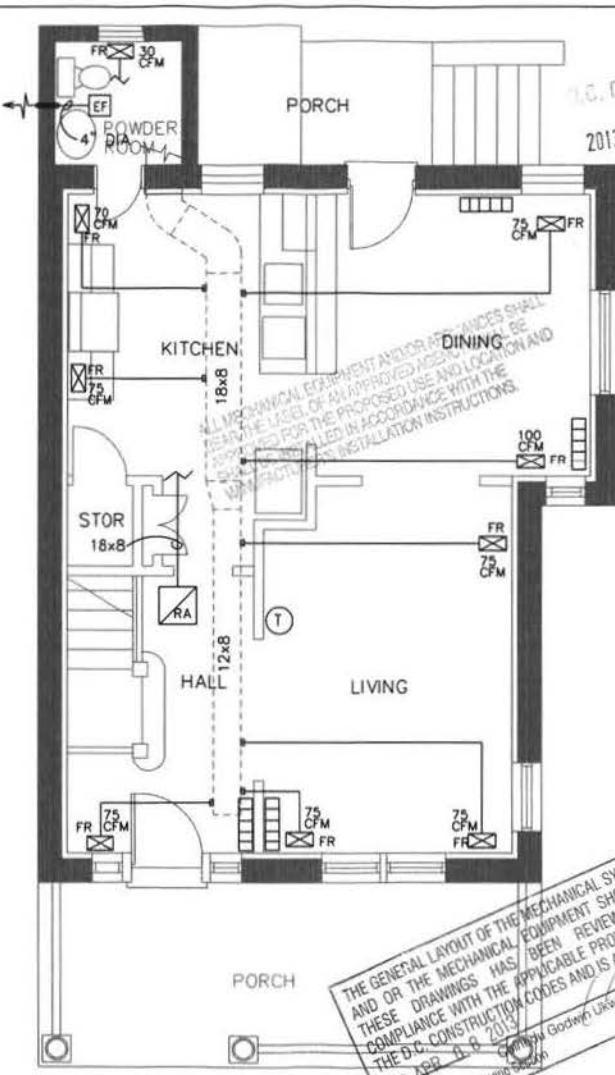
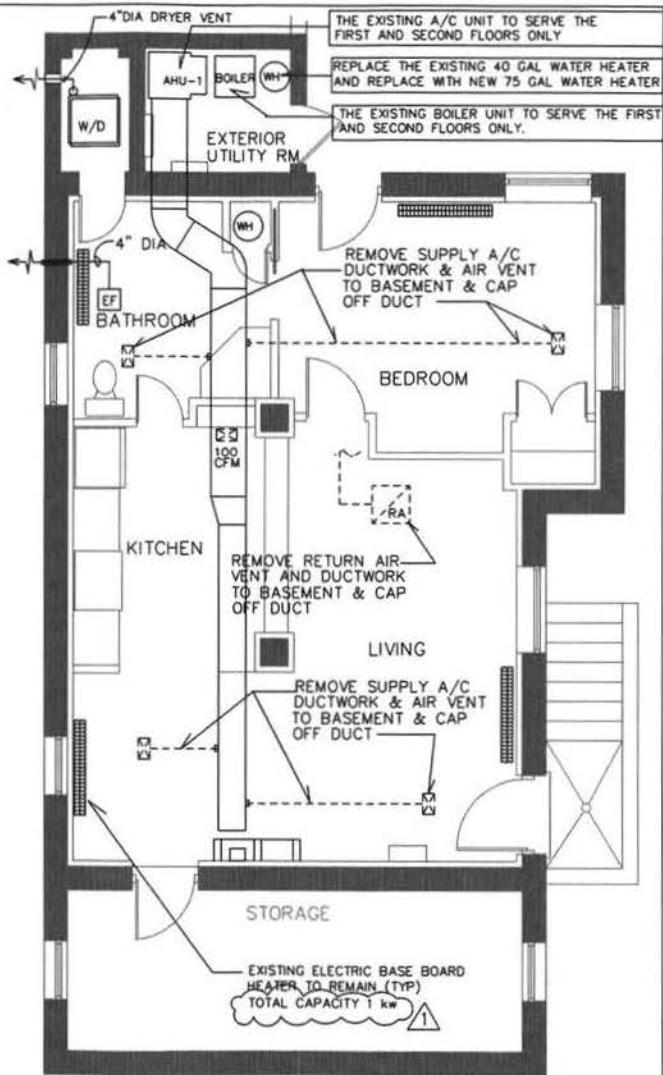
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301-535-7119

Job No. Scale: 3/16" - 1'-0"

BASEMENT SECTION

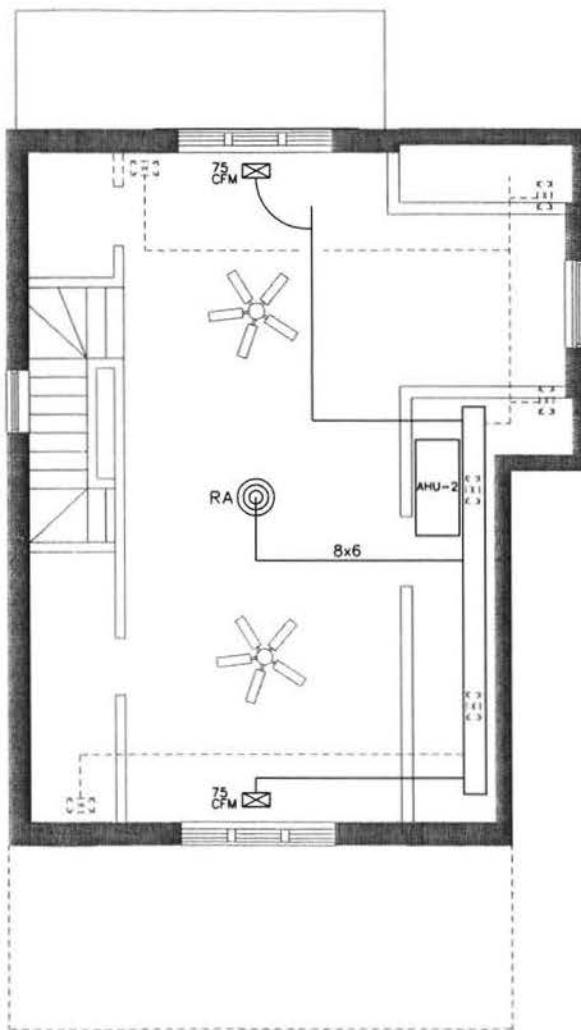
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Sheet No:



1 REVIEW COMMENTS  
2-8-13  
3/16" = 1'-0"

MECHANICAL PLANS  
1205 DECATUR ST NW  
WASHINGTON, DC M-1



EXISTING BASEMENT UNIT

AHU #1 AIR HANDLING UNIT

MANUFACTURE	GOODMAN
MODEL #	GPG1324070M41
COOLING EFFICIENCY	13 SEER
COOLING CAPACITY	24,000
HEATING CAPACITY	70,000
COOLING CFM	650 CFM
EFFICIENCY	80% AFUE
POWER	120-1 VOLT- PHASE
MAX. OVERCURRENT PROTECTION	20 AMPS
SIZE	47" W x 27" H
WEIGHT	352 LBS
CHASSIS/UNIT TYPE	VERTICAL

CU-1 UNIT

MANUFACTURE	GOODMAN
MODEL #	GSX130181
COOLING CAPACITY	18,000
NOMINAL COOLING CAPACITY	1.5 TON
COOLING EFFICIENCY	13 SEER
REFRIGERANT	R410A
VOLTAGE	208/230V (1 PHSAE)
MAX BREAKER SIZE	20 AMP
COMPRESSOR TYPE	SCROLL
SUCTION LINE SIZE	3/4"
LIQUID LINE SIZE	3/8"
TXV REQUIREMENT	N/A
PAD SIZE	30'x30"
WEIGHT	178 LBS

MECHANICAL LEDEND

AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
BTU/HR	BRITISH THERMAL UNIT PER HOUR
CU	CONDENSING UNIT
CFM	CUBIC FEET PER MINUTE
EF	EXHAUST FAN
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HP	HORSE POWER
	AIR SUPPLY OUTLET (6X8 DIFUSSER)
FR	FLOOR REGISTER
CR	CEILING REGISTER

THE GENERAL LAYOUT OF THE MECHANICAL SYSTEMS AND OR THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.

Date: APR 08 2013  
Mechanical Engineering Section  
Chinedu Godwin Llubina

AHU #2 AIR HANDLING UNIT

MANUFACTURE	GOODMAN
MODEL #	GPG1324070M41
COOLING EFFICIENCY	13 SEER
COOLING CAPACITY	24,000
HEATING CAPACITY	70,000
COOLING CFM	600 CFM
EFFICIENCY	80% AFUE
POWER	120-1 VOLT- PHASE
MAX. OVERCURRENT PROTECTION	20 AMPS
SIZE	47" W x 27" H
WEIGHT	210 LBS
CHASSIS/UNIT TYPE	HORIZONTAL

CU-2 UNIT

MANUFACTURE	GOODMAN
MODEL #	GSX130181
COOLING CAPACITY	18,000
NOMINAL COOLING CAPACITY	1.5 TON
COOLING EFFICIENCY	13 SEER
REFRIGERANT	R410A
VOLTAGE	208/230V (1 PHSAE)
MAX BREAKER SIZE	20 AMP
COMPRESSOR TYPE	SCROLL
SUCTION LINE SIZE	3/4"
LIQUID LINE SIZE	3/8"
TXV REQUIREMENT	N/A
PAD SIZE	30'x30"
WEIGHT	178 LBS

RETURN AIR DIFUSSER  
6" FLEX DUCT (NOT TO EXCEED 6'-0")

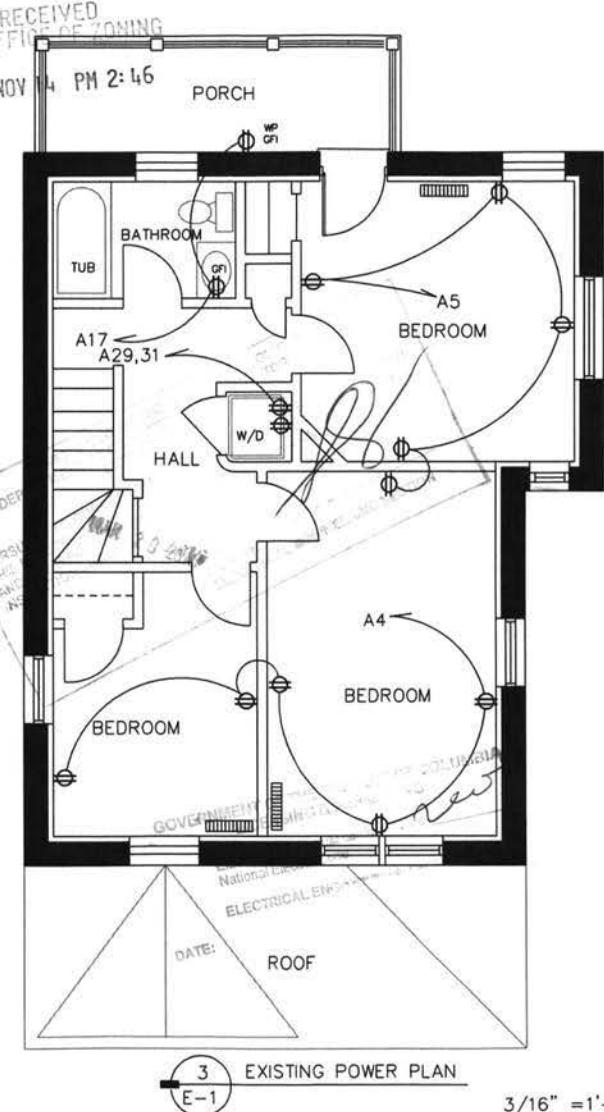
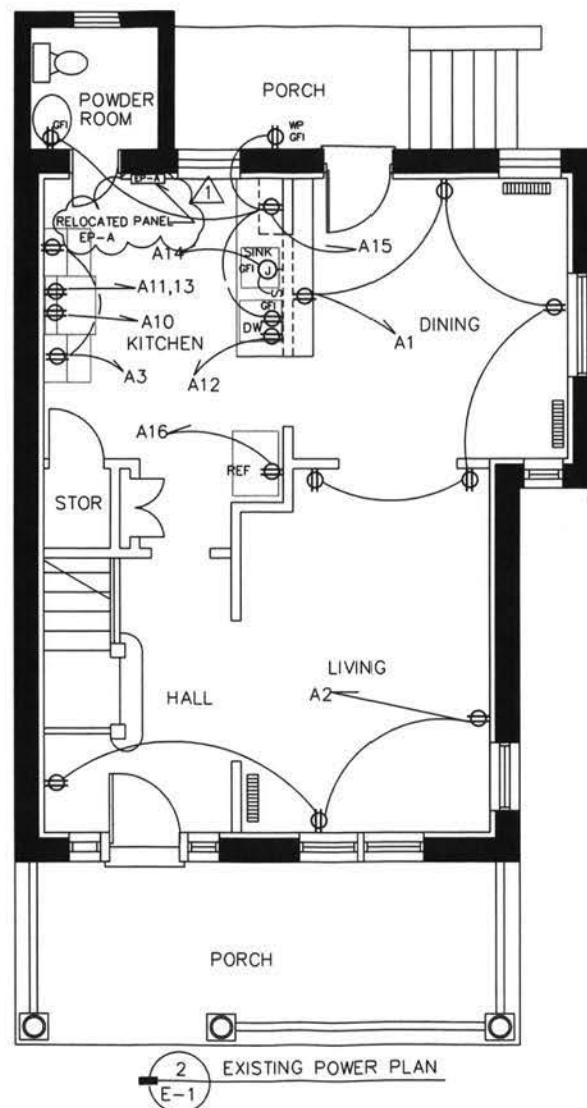
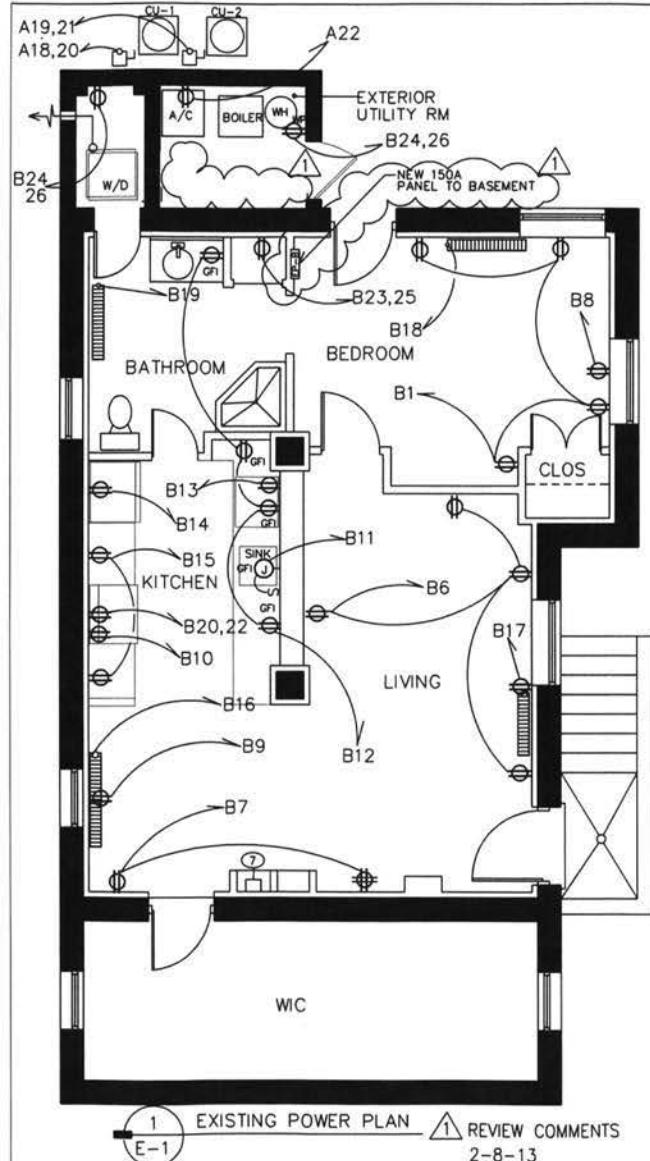
EXHAUST FAN SCHEDULE

NO	CFM	S.P.	MOTOR	RPM	MODEL	COMMENTS
EF-1	50	0.25	70 WATTS	1000	679 - BROAN	

MECH NOTES/SCHEDULE

1205 DECATUR ST NW  
WASHINGTON, DC M-2

EXISTING FIRST & SECOND UNIT



EXISTING BASEMENT UNIT

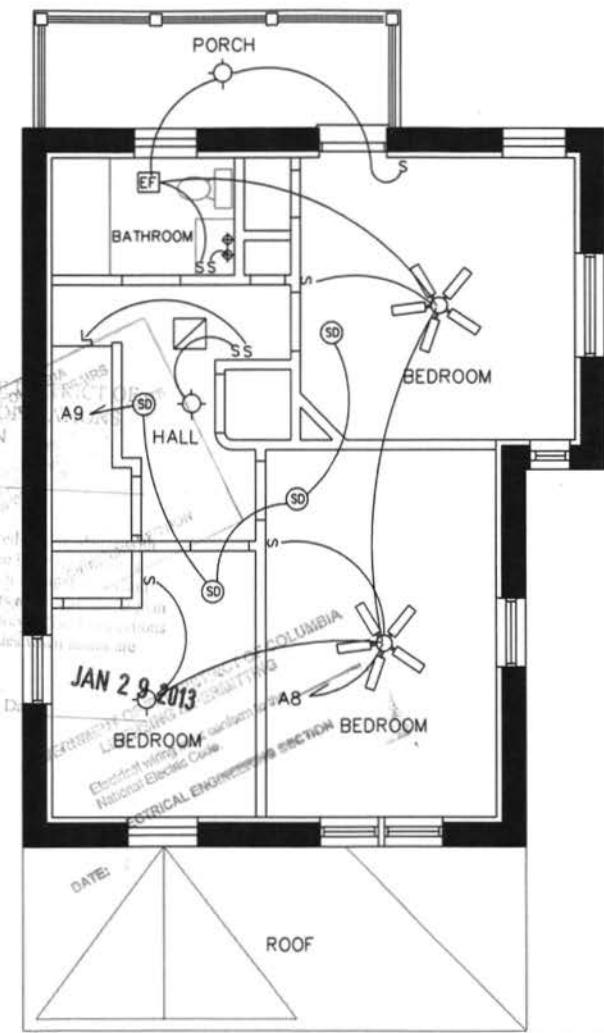
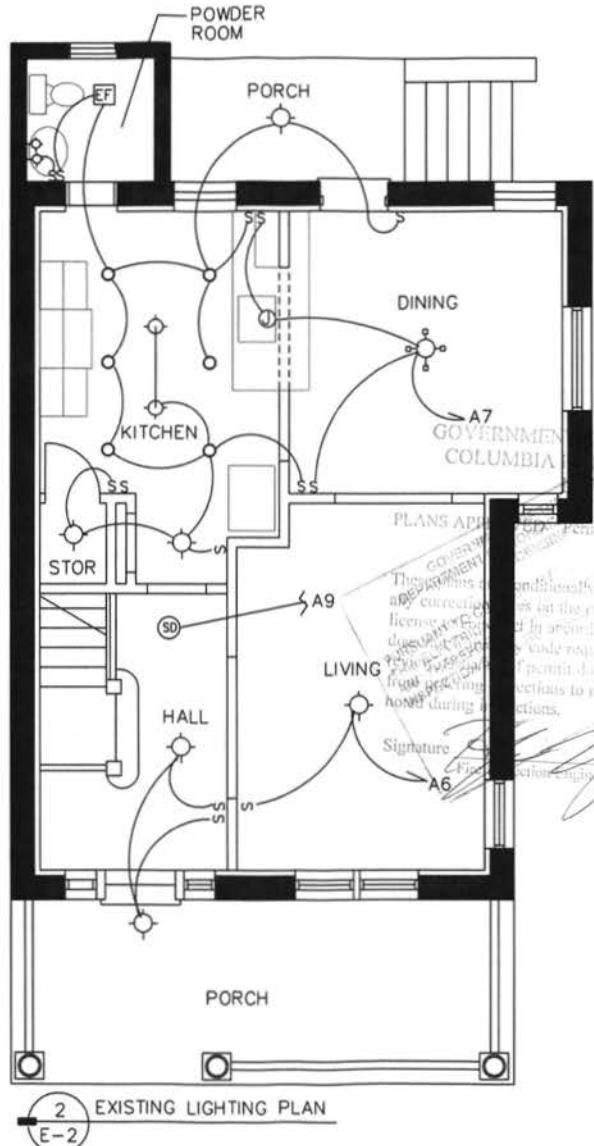
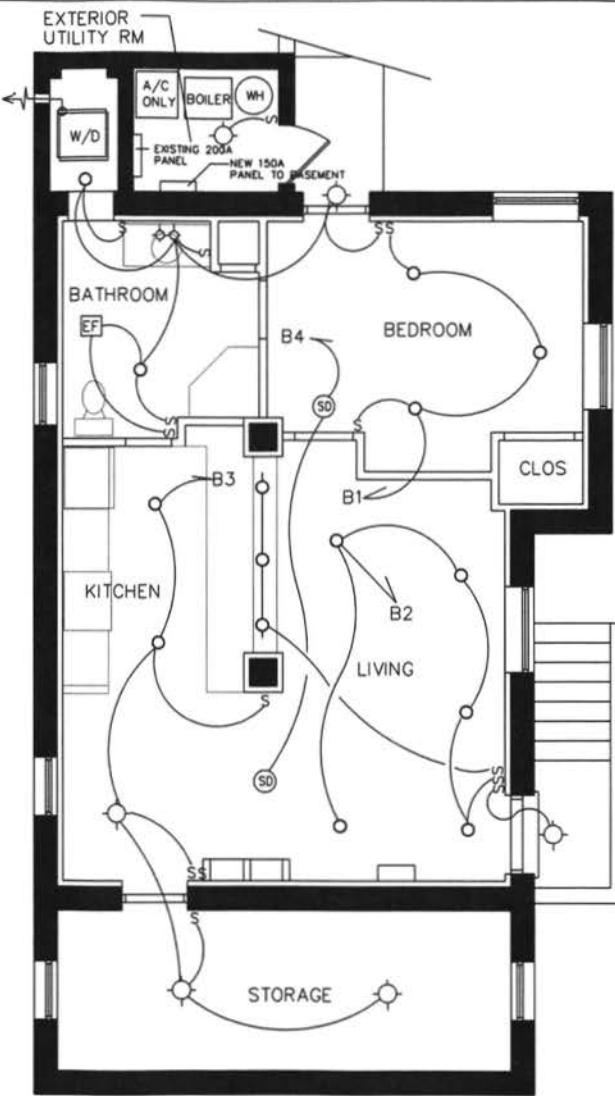
NOTE:  
ALL OUTLETS AT BASEMENT ARE TO  
REMAIN IN THEIR EXISTING LOCATIONS.  
SEPARATE ALL POWER BETWEEN THE  
BASEMENT AND UPPER FLOORS. REWIRE  
AND CONNECT TO THE NEW 150A ELEC.  
PANEL IN COMMON UTILITY ROOM. (EP-2)

**EXISTING FIRST & SECOND**

NOTE:  
ALL OUTLETS AT THE 1st, 2nd AND ATTIC  
FLOORS ARE TO REMAIN IN THEIR EXISTING  
LOCATIONS. SEPARATE ALL POWER BETWEEN  
THE UPPER FLOORS AND BASEMENT. CONNECT  
TO THE EXISTING 200A ELEC. PANEL IN COMMON  
UTILITY ROOM. (EP-1)

POWER PLANS  
1205 DECATUR ST NW  
WASHINGTON, DC

E-1

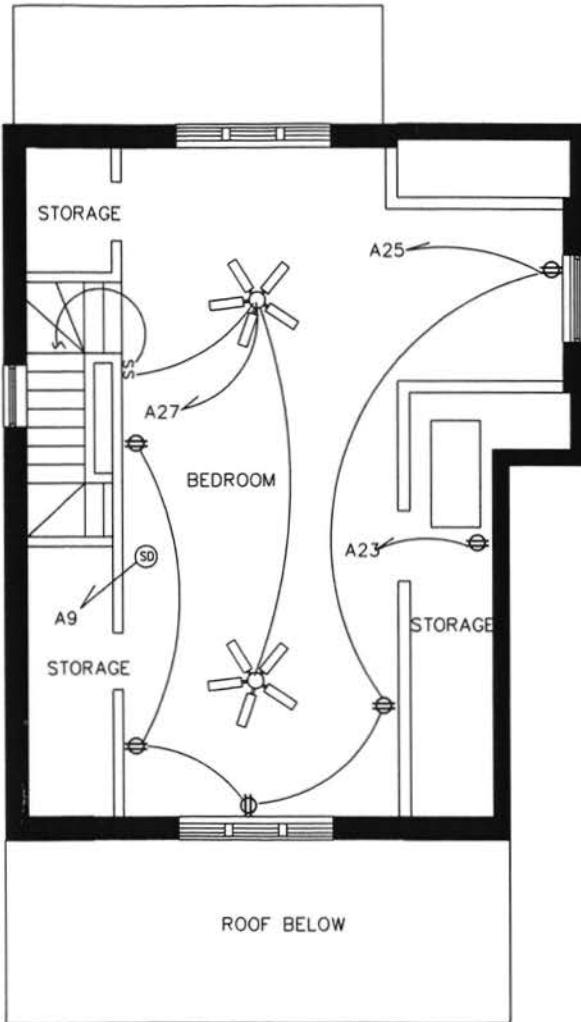


ALL SMOKE DETECTORS SHALL BE INTER-CONNECTED  
TO PANEL WITH AN INTERNAL BATTERY BACK-UP  
PER R313 - IRC 2006 EDITION

EXISTING BASEMENT UNIT

EXISTING FIRST & SECOND

LIGHTING PLANS  
1205 DECATUR ST NW  
WASHINGTON, DC  
E-2

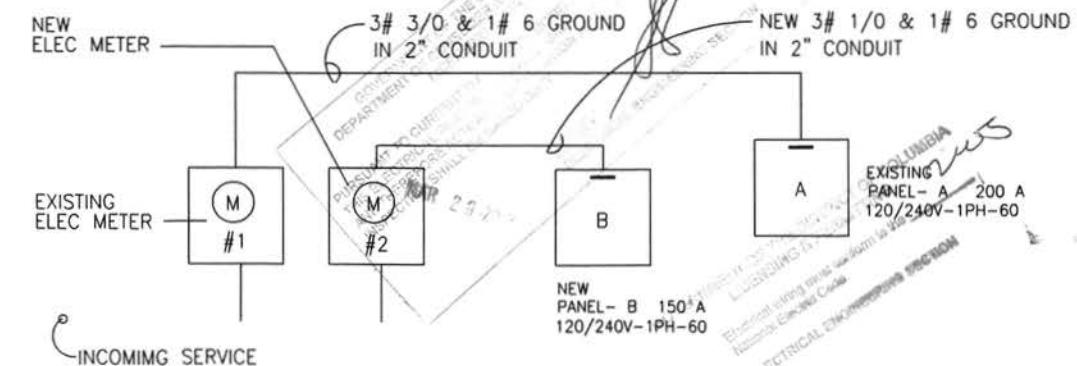


LEGEND	
S	TOGGLE SWITCH
DR	WALL MOUNTED DUPLEX RECEPTACLE
TO	TELEPHONE OUTLET
GFI	GROUND FAULT INTERRUPTER
WP	WEATHER PROOF
A	AMP
(E)	EXISTING WORK TO REMAIN
(R)	REMOVE EXISTING WORK
AHU	AIR HANDLING UNIT
CU	CONDENSING UNIT
HOME RUN TO PANELBOARD INCLUDES PHASE, NEUTRAL AND EQUIPMENT GND WIRES - ARROWS INDICATE NUMBER OF CIRCUITS - HASHMARKS INDICATE NUMBER OF CONDUCTORS.	
MG	MOISTURE GASKET
EM	ELECTRICAL METER
EF	EXHAUST FAN
SD	SAFETY DISCONNECT SWITCH
J	JUNCTION BOX
CF	CEILING MOUNTED FIXTURE
PL	PENDANT LIGHT FIXTURE
LS	LIGHT SCONCE
DS	DIMMER SWITCH
IDL	INCANDESCENT DOWN LIGHT
SD	SMOKE DETECTOR
EP	ELECTRICAL PANEL
CFW	CEILING FAN W/ LIGHT KIT
CH	CHANDELIER
ALL SMOKE DETECTORS SHALL BE INTER-CONNECTED TO PANEL WITH AN INTERNAL BATTERY BACK-UP PER R313 - IRC 2006 EDITION	

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WIRE SIZE TABLE			
POLE	TRIP	CONDUCTORS IN COPPER	GROUND IN COPPER
1	20 AMP.	2 #12	#12
2	20 AMP.	3 #12	#12
1	25 AMP.	2 #10	#10
2	30 AMP.	3 #10	#10
3	30 AMP.	4 #10	#10
2	40 AMP.	3 #8	#10
3	40 AMP.	4 #8	#10
3	60 AMP.	4 #6	#10
3	70 AMP.	4 #4	#8
3	200 AMP.	4 #3/0	#6

ELECTRICAL RISER DIAGRAM - N.T.S.



EXISTING ATTIC UNIT

EXISTING FIRST & SECOND UNIT

ELECT NOTES AND DETAILS

1205 DECATUR ST NW  
WASHINGTON, DC

E-3

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PANELBOARD SCHEDULE

PANEL:	A	EQUIP. GND. BUS:	<input checked="" type="checkbox"/>	VOLTAGE:	120/240 VOLT. 1PH. 3W
LOCATION:	SEE PLAN	ISOLATED GND BUS:	<input type="checkbox"/>	MAIN CIRCUIT BKR:	200A
MOUNTING:	surface	NEUTRAL BUS:	100% <input checked="" type="checkbox"/>	200% <input type="checkbox"/>	MLO: <input type="checkbox"/>
FED FROM:		A.I.C.:	10K	BUS RATING:	200A
LOAD DESCRIPTION	BKR. AMPS	BKR. POLE	CKT. NO.	LOAD - V.A.	CKT. NO.
RECEPTACLES	20	1	1	900	A
				540	B
				2	1
				20	
				RECEPTACLES	
RECEPTACLES	20	1	3	360	
				900	
				4	1
				20	
				RECEPTACLES	
RECEPTACLES	20	1	5	600	
				1,440	
				6	1
				20	
				LIGHTING	
LIGHTING	20	1	7	700	
				1,000	
				8	
				LIGHTING	
SMOKE DETECTOR	20	1	9	100	
				700	
				10	1
				20	
				MICROWAVE	
DOUBLE OVEN	40	2	11	4,000	
				1,500	
				12	1
				20	
				DISHWASHER	
				13	4,000
				GARBAGE DISPOSER	
GFI RECEPTACLES	20	1	15	720	
				800	
				16	1
				20	
				REFRIGERATOR	
GFI RECEPTACLES	20	1	17	360	
				1,400	
				18	2
				15	
				CONDENSING UNIT 1	
CONDENSING UNIT 2	15	2	19	1,400	
				1,400	
				20	
				AIR HANDLING 1	
AIR HANDLING 2	20	1	21	1,400	
				700	
				22	1
				20	
				WATER HEATER	
RECEPTACLES	20	1	25	900	
				2,250	
				26	
				SPARE	
LIGHTING/FAN	20	1	27	500	
				28	1
				20	
				SPARE	
	30	2	29	2,500	
				30	1
				20	
				SPARE	
STACKED WASHER/DYER		31		2,500	
				32	1
				20	
	SPARE	20	1	33	
				34	1
				20	
	SPARE	20	1	35	
				36	1
				20	
	SPARE	20	1	37	
				38	1
				20	
	SPARE	20	1	39	
				40	1
				20	
	SPARE	20	1	41	
				42	1
				20	
TOTAL VA				18,790	
TOTAL AMP/PHASE				157	
				TOTAL KVA	37.5
				TOTAL AMP	155

REMARKS:

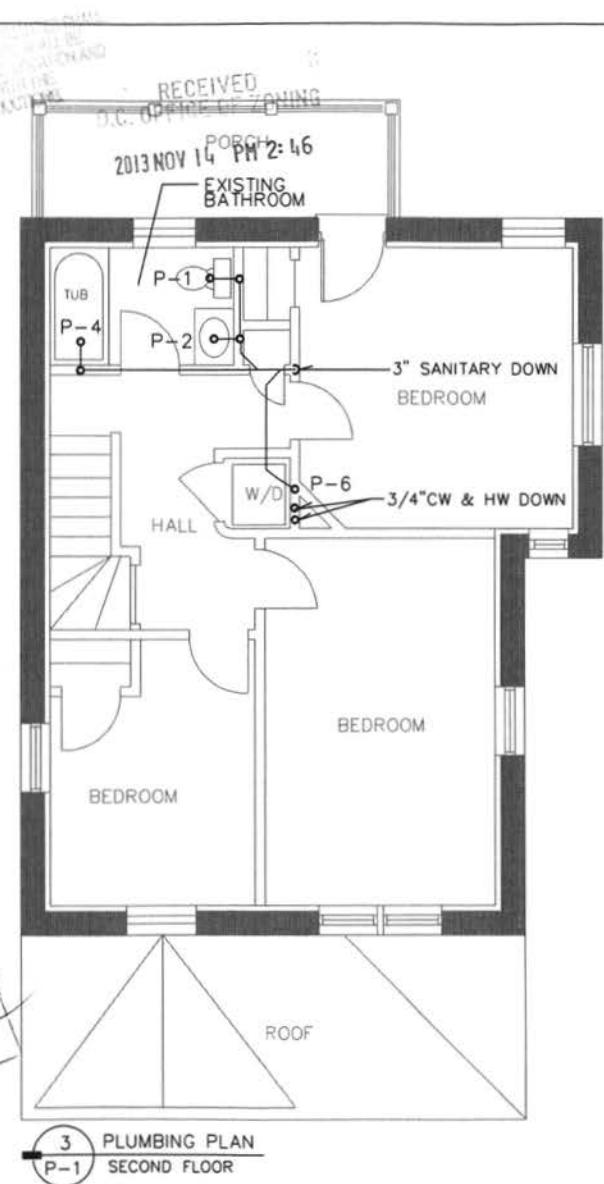
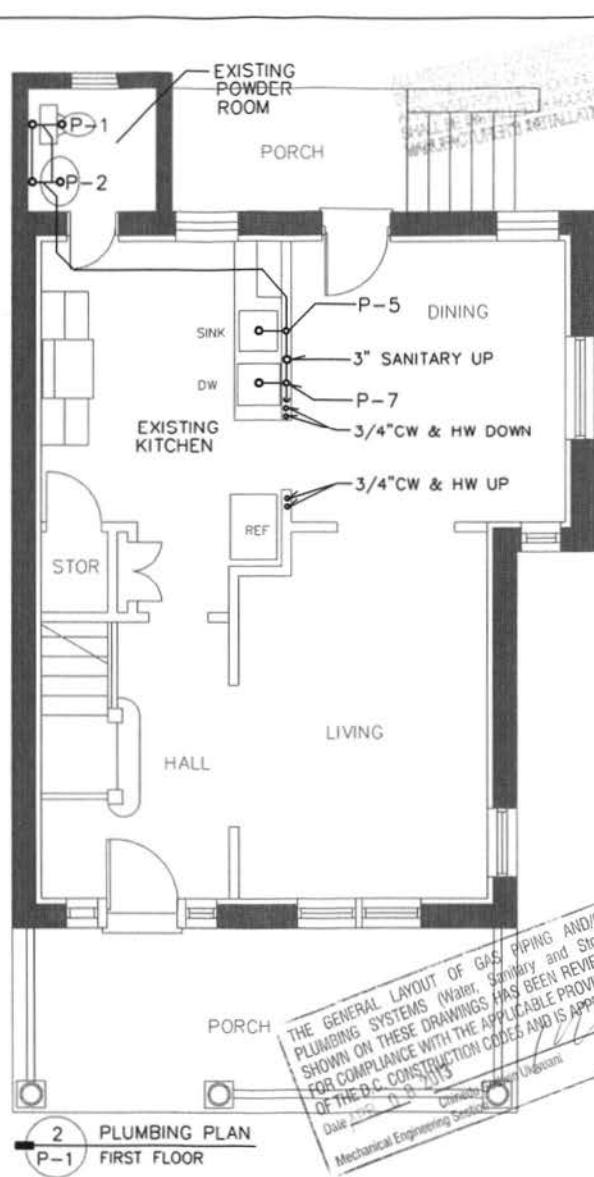
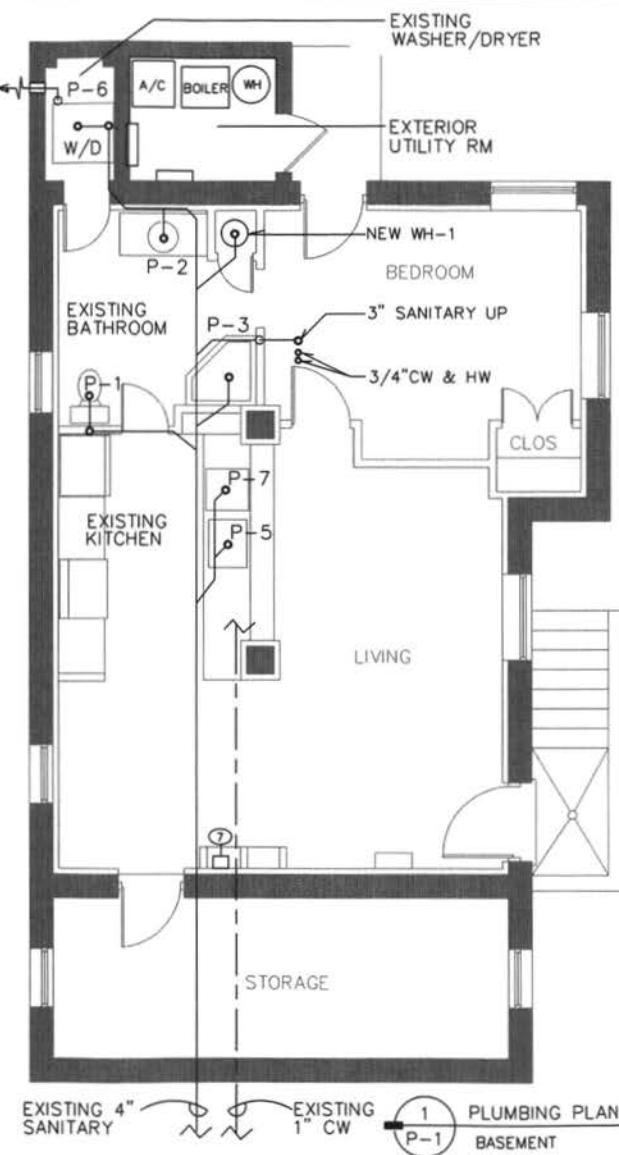
PANEL:	B	EQUIP. GND. BUS:	<input checked="" type="checkbox"/>	VOLTAGE:	120/240 VOLT. 1PH. 3W
LOCATION:	SEE PLAN	ISOLATED GND BUS:	<input type="checkbox"/>	MAIN CIRCUIT BKR:	150A
MOUNTING:	surface	NEUTRAL BUS:	100% <input checked="" type="checkbox"/>	200% <input type="checkbox"/>	MLO: <input type="checkbox"/>
FED FROM:		A.I.C.:	10K	BUS RATING:	150A
LOAD DESCRIPTION	BKR. AMPS	BKR. POLE	CKT. NO.	LOAD - V.A.	CKT. NO.
LIGHTING	20	1	1	500	
				100	
				2	1
				20	
				LIGHTING	
LIGHTING	20	1	3	450	
				50	
				4	1
				20	
				SMOKE DETECTOR	
RECEPTACLES	20	1	5	720	
				720	
				6	1
				20	
				RECEPTACLES	
RECEPTACLES	20	1	7	540	
				1,000	
				8	1
				20	
				WINDOW AC UNIT	
WINDOW AC UNIT	20	1	9	1,000	
				700	
				10	1
				20	
				MICROWAVE	
GARBAGE DISPOSAL	20	1	11	700	
				720	
				12	1
				20	
				REFRIGERATOR	
DISH WASHER	20	1	13	1,500	
				800	
				14	1
				20	
				WALL HEATER	
RECEPTACLES	20	1	15	360	
				700	
				16	1
				20	
				WALL HEATER	
WALL HEATER	20	1	17	700	
				700	
				18	1
				20	
				OVEN	
SPARE	20	1	21	4,000	
				22	
				SPARE	
WATER HEATER	30	2	23	2,250	
				2,500	
				24	2
				30	
				SPARED WASHER/DRYER	
SPARE	20	1	27	2,250	
				2,500	
				28	1
				20	
	SPARE	20	1	29	
				30	1
				20	
	SPARE	20	1	31	
				32	1
				20	
	SPARE	20	1	33	
				34	1
				20	
	SPARE	20	1	35	
				36	1
				20	
	SPARE	20	1	37	
				38	1
				20	
	SPARE	20	1	39	
				40	1
				20	
	SPARE	20	1	41	
				42	1
				20	
TOTAL VA				16,190	30.2
TOTAL AMP/PHASE				135	
				TOTAL KVA	
				13,970	
				TOTAL AMP	126

REMARKS:

GOVERNMENT OF THE  
LICENSING & INSPECTION  
Electrical Code  
National Electrical Code  
ELECTRICAL INSPECTION SECTION

ELECT. NOTES AND DETAILS	
1205 DECATUR ST NW	E-4

PANEL BOARD SCHEDULES



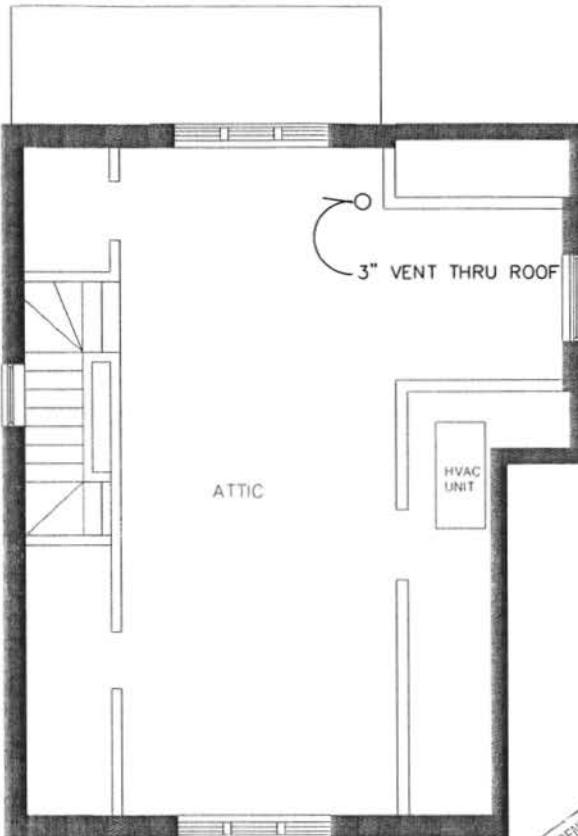
EXISTING BASEMENT UNIT

EXISTING FIRST & SECOND

PLUMBING PLAN  
1205 DECATUR ST NW  
WASHINGTON, DC

P-1

THE GENERAL LAYOUT OF GAS, PLUMBING AND/OR  
PLUMBING SYSTEMS (Water, Sanitary and Storm)  
SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED  
FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS  
OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.  
Date 11/14/2013  
Mechanical Engineering Services  
Contractor: [unclear]  
Architect: [unclear]



1  
M-1 PLUMBING PLAN  
ATTIC

3/16" = 1'-0"

THE GENERAL LAYOUT OF GAS, PLUMBING AND DRAIN SYSTEMS  
SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED  
FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS  
OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.  
Date: April 6, 2013  
By: Christi Godwin, MME  
Mechanical Engineering Section

EXISTING ATTIC

RECEIVED  
D.C. OFFICE OF ZONING  
PLUMBING FIXTURE SCHEDULE

MARK	Fixture	CW	HW	WASTE	VENT	REMARKS
P-1	WATER CLOSET	1/2"	—	3"	2"	
P-2	LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"	
P-3	SHOWER	1/2"	1/2"	2"	1 1/2"	NO SHOWER ADDED
P-4	TUB	1/2"	1/2"	2"	1 1/2"	
P-5	SINK	1/2"	1/2"	1 1/2"	1 1/2"	
P-6	WASHER	1/2"	1/2"	2"	1 1/2"	
P-7	DISHWASHER	—	1/2"	1"	—	

PLUMBING LEGEND

	SAN	SANITARY OR WASTE PIPE		P-TRAP
	VTR	VENT THRU ROOF		SHUT OFF VALVE
	V	VENT		FLOOR DRAIN
	CW	COLD WATER		CONNECT TO EXISTING
	HW	HOT WATER		REMOVE EXISTING WORK
	UNION			WATER HEATER
	PIPE UP			
	PIPE DOWN			

WATER HEATER SCHEDULE

EXISTING FLOOR MOUNTED, 40 GALLONS CAPACITY, 50,000 BTUH INPUT, APPROXIMATE WEIGHT 165 LB. 48 GPH AT 100 DEGREES FAHRENHEIT TEMPERATURE RISE, EQUAL TO A.O. SMITH MODEL BT-65.

NEW FLOOR MOUNTED, 40 GALLONS CAPACITY, ELECTRIC CAPACITY 4.5 KW, 21 GPH RECOVERY  
AT 90 DEGREE TEMPERATURE RISE - EQUAL TO A.O. SMITH ECRT-40. PROVIDE AUXILIARY DRAIN PAN  
240V-1 PHASE

REMARKS:  
GLASS LINED TANK (300 PSI TESTED, 150 PSI WORKING PRESSURE) STEEL JACKET, THERMOSTAT WITH OVER HEAT SAFETY CONTROL AND MANUAL RESET, SET WATER HEATER AT 110 DEGREES FAHRENHEIT. PROVIDE P&T RELIEF VALVE (ASME). PROVIDE DRAIN PAN AND DRAIN. HEATER SHALL COMPLY WITH ASHRAE 90A-85.

PLUMBING NOTES/SCHEDULE

1205 DECATUR ST NW  
WASHINGTON, DC

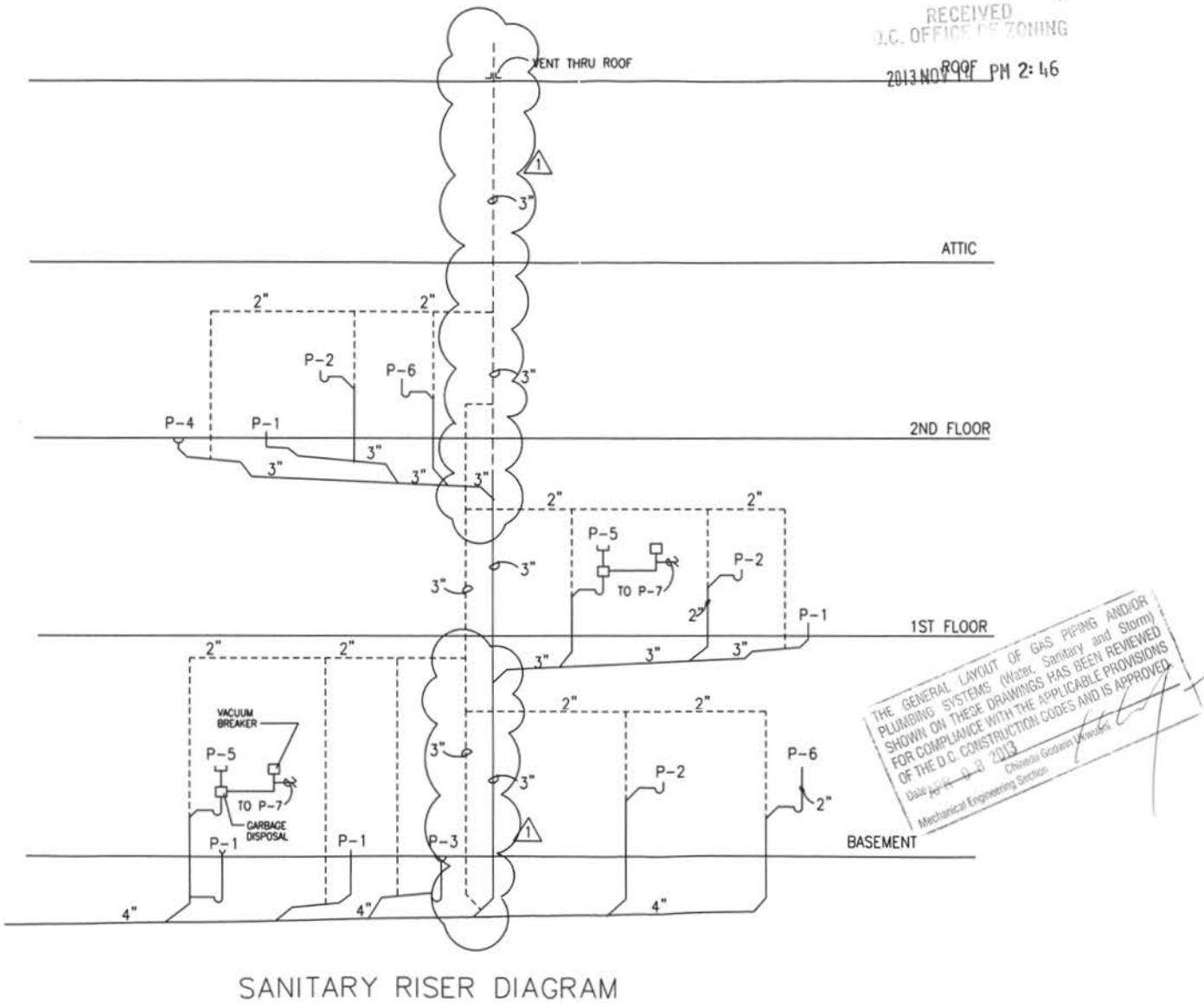
P-2

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KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

△ REVIEW COMMENTS  
2-8-13



ADS-LLC  
WALDORF, MARYLAND  
301-535-7119

Job No: Scale: 3/16" = 1'-0"

SANITARY RISER  
DIAGRAM

Sheet Title: \_\_\_\_\_

P-3

Sheet No: \_\_\_\_\_

ROOF

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J.C. OFFICE OF ZONING

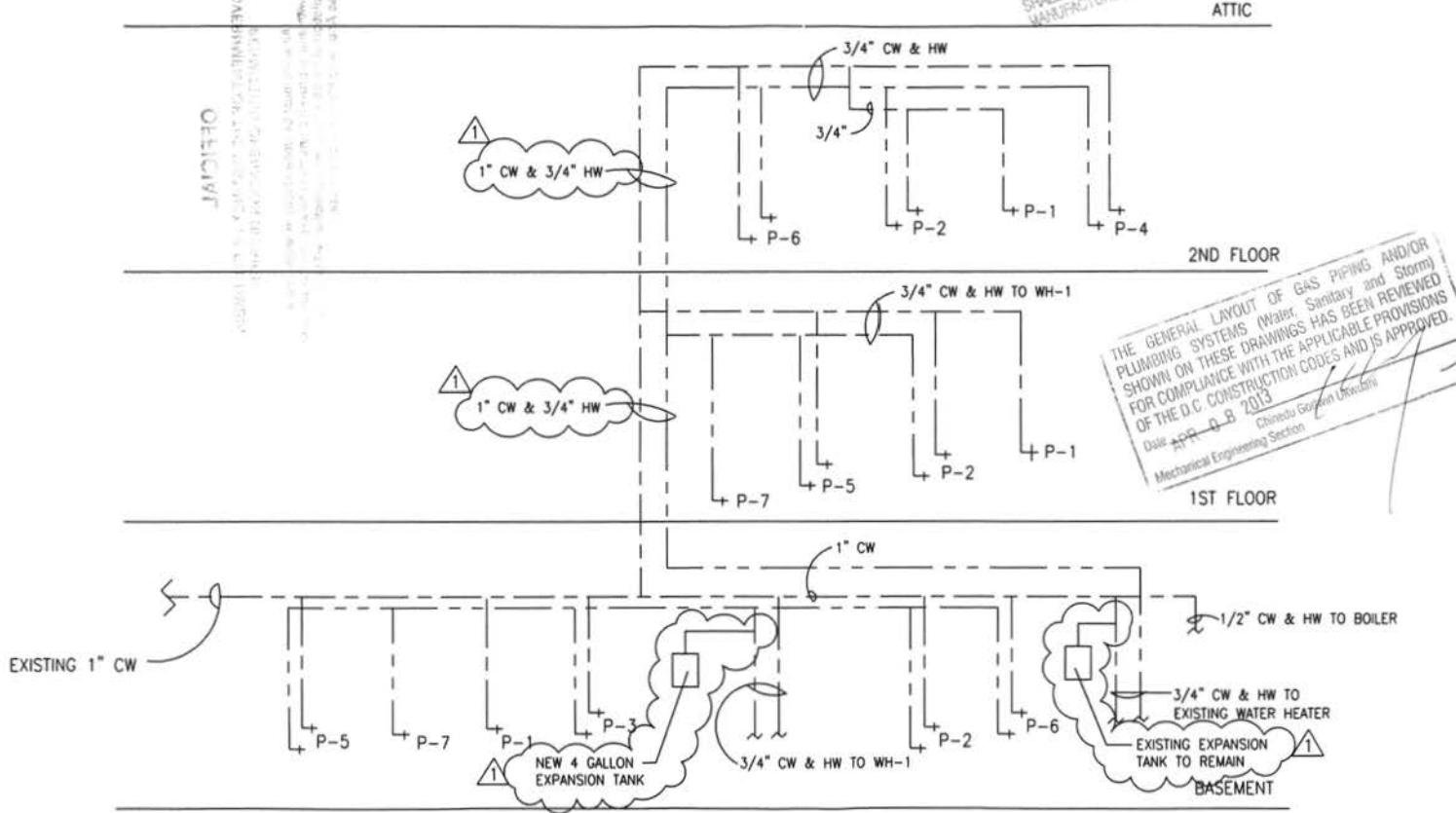
2013 NOV 14 PM 2:47

ALL MECHANICAL EQUIPMENT AND PLUMBING SHALL BE  
APPROVED FOR THE PROPOSED USE AND LOCATION AND  
SHALL BE INSTALLED IN ACCORDANCE WITH THE  
MANUFACTURER'S INSTALLATION INSTRUCTIONS

ATTIC

KELLY RESIDENCE  
1205 DECATUR ST NW  
WASHINGTON, DC

⚠ REVIEW COMMENTS  
2-8-13



WATER RISER DIAGRAM

ADS-LLC  
WALDORF, MARYLAND  
301-535-7119

Job No: Scale: 3/16" = 1'-0"

WATER RISER DIAGRAM

Sheet Title:

P-4

Sheet No: