

THE KELLY'S RESIDENCE

1205 DECATUR STREET NW
WASHINGTON, DC

CONVERSION OF A SINGLE FAMILY
DWELLING TO A TWO FAMILY DWELLING

DECEMBER 15, 2012
REV. JANUARY 9, 2010

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2013 NOV 14 PM 2:45

GOVERNMENT OF THE DISTRICT OF
COLUMBIA PERMIT OPERATIONS
DIVISION

PLANS APPROVED Permit No. B/303271

These plans are conditionally approved in accordance with any correction notes on the plans. The building permit is license to construct in accordance with adopted codes and does not waive any code requirements not noted during plan review. Issuance of permit does not prevent field inspections from ordering corrections to meet codes when issues are noted during inspections.

JAN 29 2013

Signature: [Signature] Date: JAN 29 2013
Fire Department: [Signature]

KELLY RESIDENCE
1205 DECATUR ST NW
WASHINGTON, DC

OFFICIAL
GOVERNMENT OF THE DISTRICT OF COLUMBIA
PERMITTING OPERATION DIVISION

All work must be done strictly in accordance with the approved plans. No inspection will be made unless Approved Plans are on job site.

BUILDING CODES AND STANDARDS

THE INTERNATIONAL BUILDING CODE (IBC) 2006 EDITION
THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2006 EDITION

BUILDING CODES AND STANDARDS

Building Code	Existing Space	Proposed Space
IBC Occupancy Classification:	SFD	2 FD
Building Construction Type:	BRICK/FRAME	BRICK/FRAME
Number of Stories in Building:	2.5	2.5
Location of construction:	BASEMENT	First Floor
Basement Area:	765	765
First Floor:	635	635
Second Floor:	600	600
Attic:	385	385
Total Building Sq. Ft.	2,385	2,385
Floor/Ceiling Construction:	Non Rated Ceiling at Basement	1 hour Fire Rated Separation Between Basemen & Upper Unit

INDEX OF DRAWINGS

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- A5.0 BASEMENT CROSS SECTION
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- P-1 BASEMENT, FIRST & SECOND PLANS
- P-2 ATTIC & SCHEDULES
- P-3 SANITARY RISER DIAGRAM
- P-4 WATER RISER DIAGRAM

CONTACTS

OWNER

TOM KELLY
1205 DECATUR STREET NW
WASHINGTON, DC
(202) 489-7402

ARCHITECT

ADS-LLC
2862 SCENIC MEADOW STREET
WALDORF, MARYLAND 20603
(301) 535-7119
E-mail: ADS-LLC@comcast.net
Contact: Greg Michael

CONTRACTOR

TOM KELLY
1205 DECATUR STREET NW
WASHINGTON, DC
(202) 489-7402

ADS-LLC
2862 SCENIC MEADOW ST
WALDORF, MARYLAND

Architect: _____
Owner: GM Check: GM
Job No: BPC Scope: NA

COVER SHEET

Case No: 18700
Board of Zoning Adjustment
District of Columbia
CASE NO. 18700
EXHIBIT NO. 7

SCOPE OF WORK

- CONVERT A SINGLE FAMILY DWELLING INTO A TWO FAMILY DWELLING
- BASEMENT - UNIT #1
- FIRST, SECOND & ATTIC - UNIT #2 (EXISTING TO REMAIN)

BOARD OF ZONING ADJUSTMENT
District of Columbia

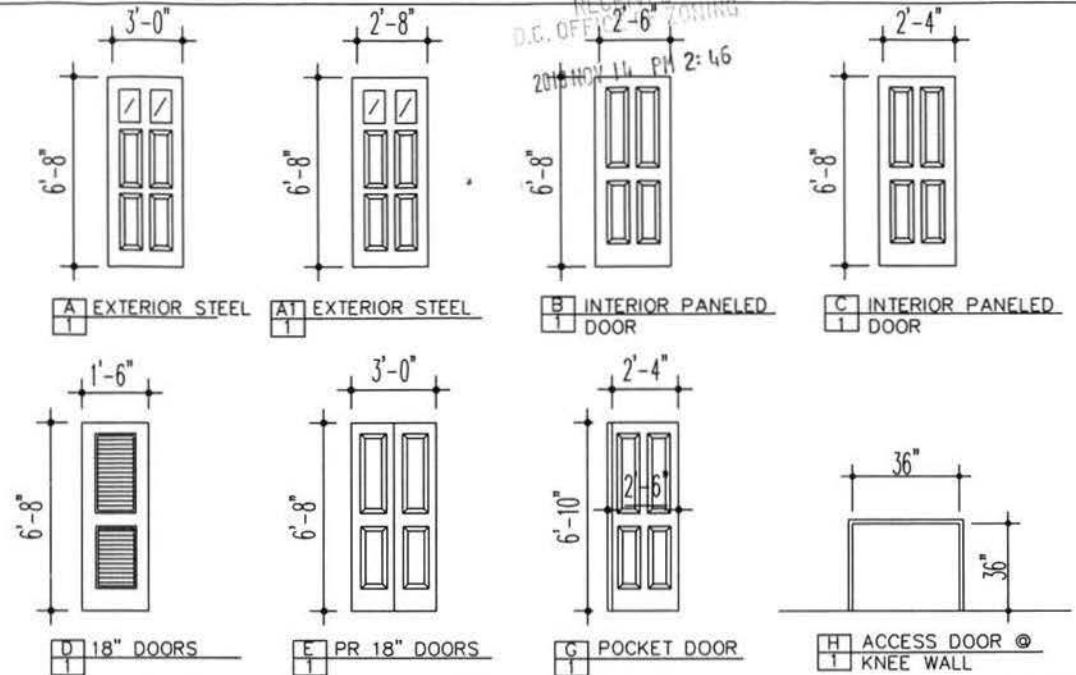
CASE NO. 18700

EXHIBIT NO. 7

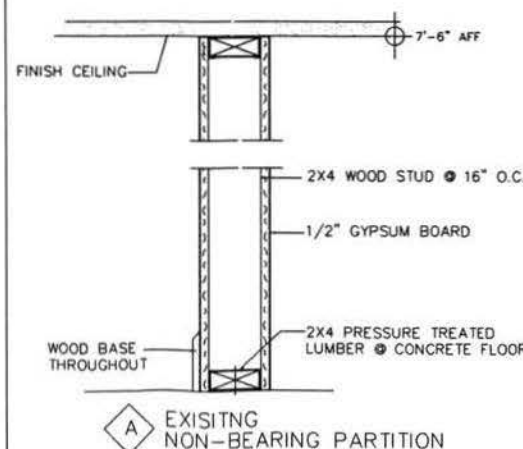
GENERAL NOTES

1. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY.
2. NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
3. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.
4. SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.
5. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.
6. EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS INCLUDING BUT NOT LIMITED TO: UBC, SEISMIC CODES, NEC, NFPA, ASMC, UMC, LATEST ENFORCED EDITIONS.
7. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. WRITTEN SPECIFICATIONS SHALL GOVERN OVER ALL.
8. CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
10. ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION.
13. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N.
14. THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKER'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

DOOR SCHEDULE/TYPE



EXISTING PARTITION TYPE



EXISTING WINDOW LEGEND

- 1 28"x26" DOUBLE HUNG WINDOW
- 2 26"x26" DOUBLE HUNG WINDOW
- 3 44"x26" DOUBLE HUNG WINDOW
- 4 24"x54" DOUBLE HUNG WINDOW
- 5 32"x54" DOUBLE HUNG WINDOW
- 6 54"x54" DOUBLE HUNG WINDOW
- 7 36"x54" DOUBLE HUNG WINDOW
- 8 30"x54" DOUBLE HUNG WINDOW
- 9 36"x54" DOUBLE HUNG WINDOW
- 10 30"x54" DOUBLE HUNG WINDOW

KELLY RESIDENCE
1205 DECATUR ST NW
WASHINGTON, DC

ADS-LLC
WALDORF, MARYLAND
301-535-7119

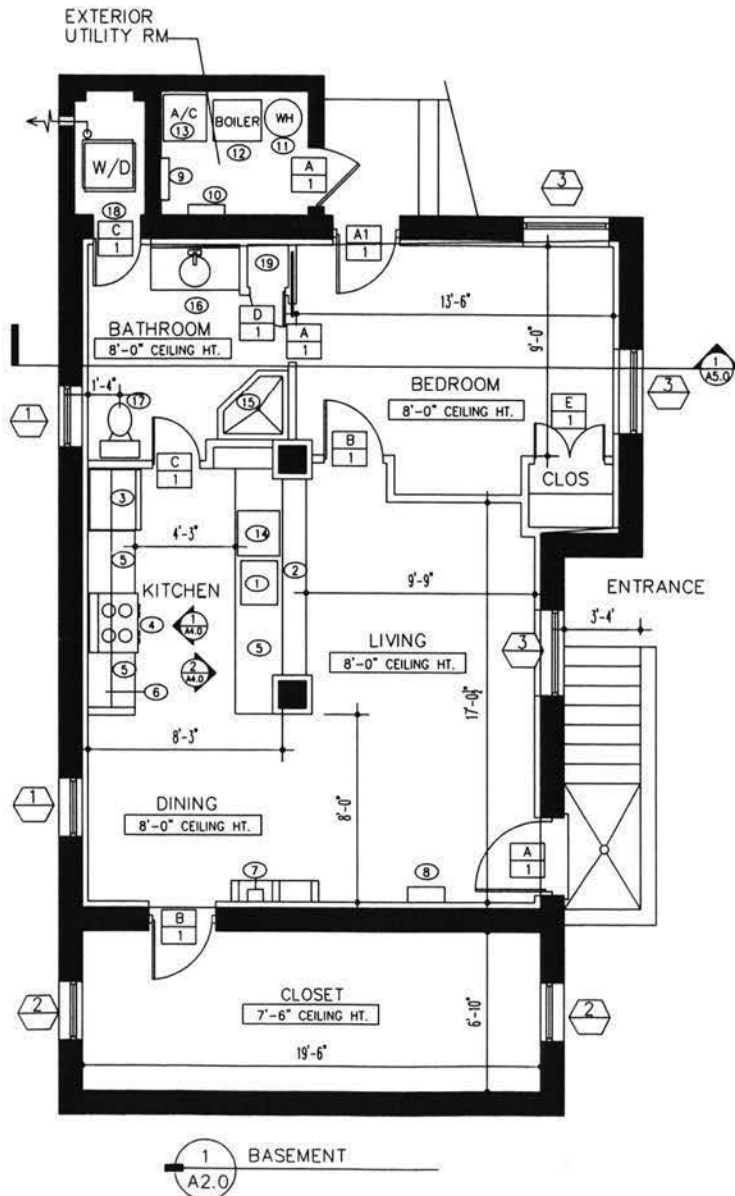
Job No: _____ Scale: 3/16" = 1'-0"

NOTES & SCHEDULES

Sheet Title: _____

Sheet No: _____

AN-1



1 BASEMENT
A2.0

3/16" = 1'-0"

CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED AND SANDED SMOOTH.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS' OF ALL WALL FINISHES, U.O.N.
- NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION OF THE LAYOUT, NOTIFY THE ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION
- ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF SILL, U.O.N.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.

BASEMENT INDICATED NOTES

- SINK/DISPOSAL
- GRANITE COUNTERS
- NEW LOW PROFILE 36"W FRIGERATOR
- ELEC STOVE
- GRANITE COUNTER TOP
- 36"H WALL HUNG KITCHEN CABINETS
- WATER METER LOCATION
- GAS METER LOCATION
- EXISTING ELECTRICAL PANEL
- NEW 150A ELECTRICAL PANEL
- EXISTING WATER HEATER TO REMAIN
- EXISTING BROILER TO 2nd & 3rd FLOOR
- EXISTING 2 TON A/C 2nd & 3rd FLOOR
- EXISTING DISHWASHER
- EXISTING CORNER SHOWER
- EXISTING 48" SINK/CABINET
- EXISTING TOILET
- EXISTING STACKABLE WASHER/DRYING
- NEW 40 GALLON WATER HEATER

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
SITRA IBRAHIM
Structural Engr. Section

Date

1/3-3-13

KELLY RESIDENCE
1205 DECATUR ST NW
WASHINGTON, DC

GOVERNMENT OF THE DISTRICT OF
COLUMBIA PERMIT OPERATIONS
DIVISION

PLANS APPROVED: Permit No:

The plans shown are not approved in accordance with the District of Columbia Building Code. The building permit is issued subject to the provisions of the District of Columbia Building Code and the provisions of the District of Columbia Building Code do not prevent field inspections from being conducted to meet codes when issues are raised during the process.

Signature: [Signature]
Date: JAN 29 2013

ADS-LLC
WALDORF, MARYLAND
301-535-7119

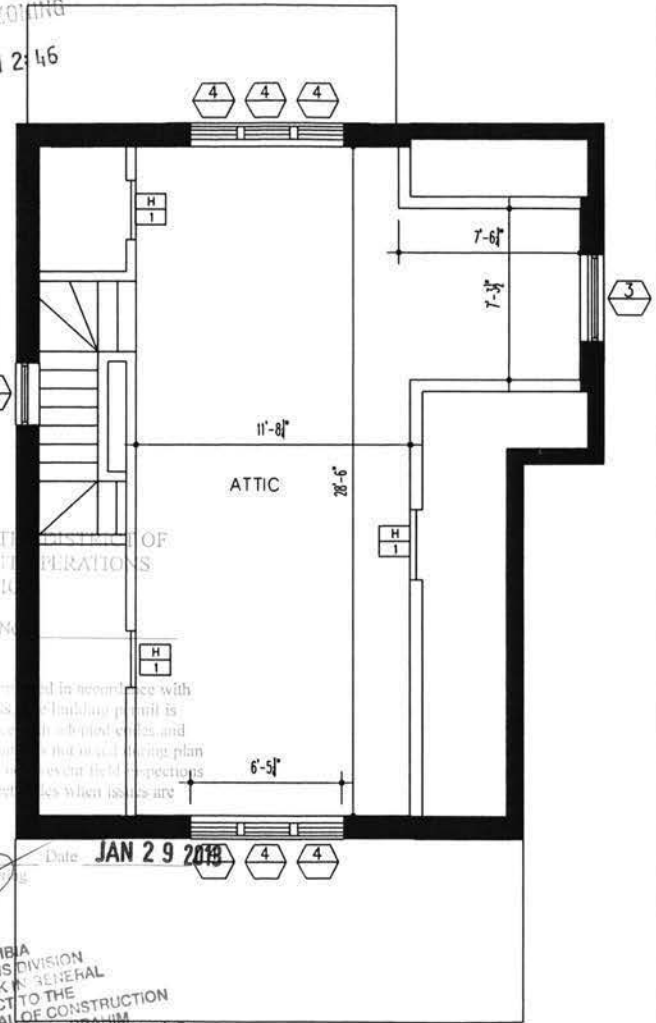
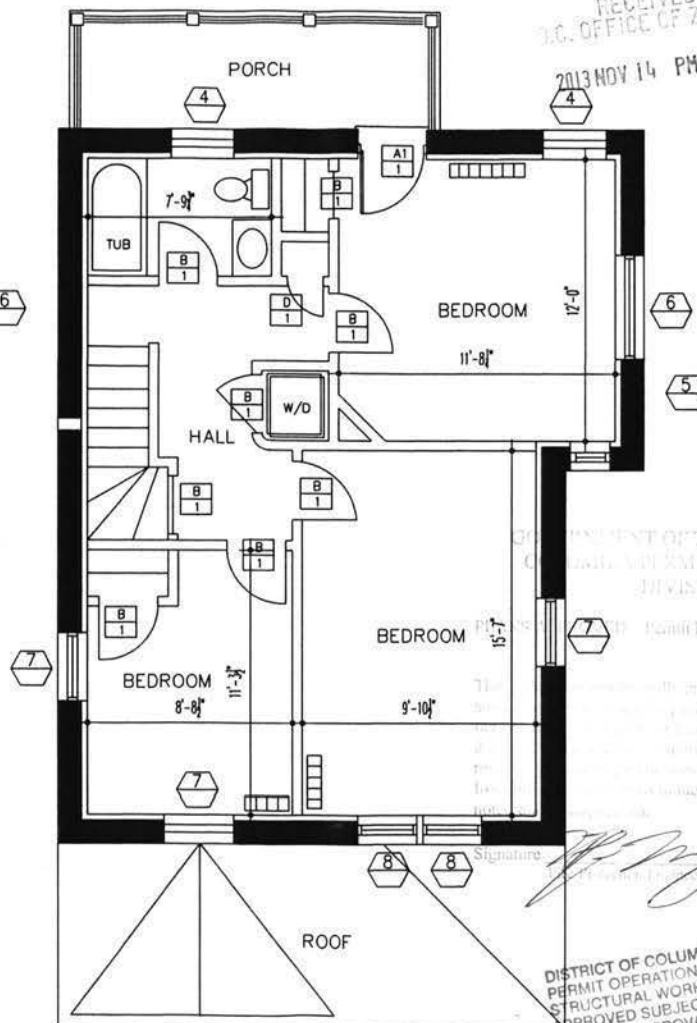
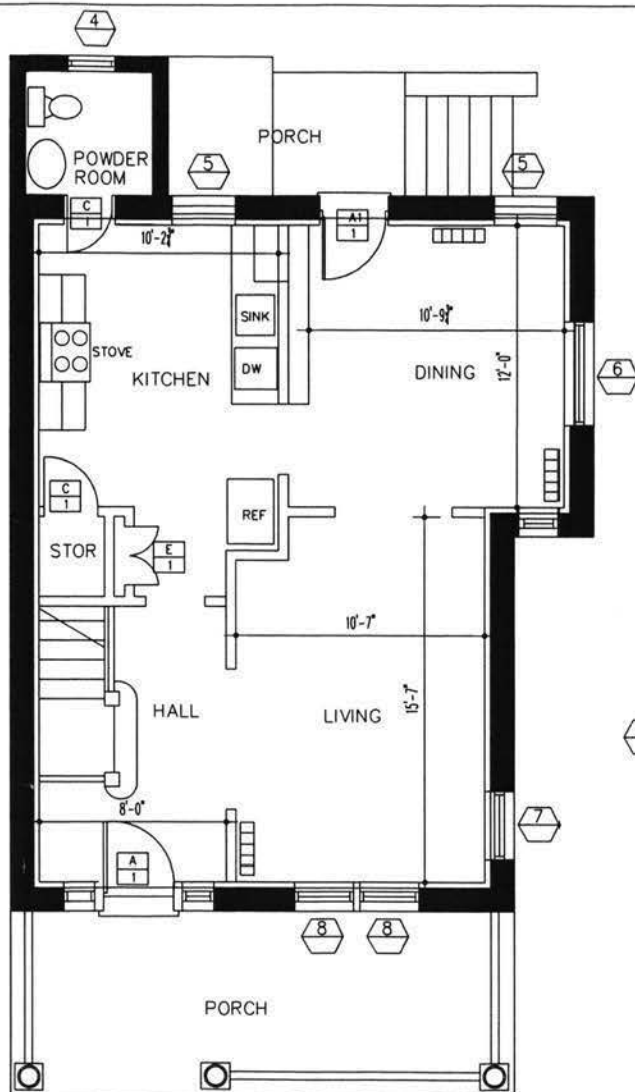
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EXISTING BASEMENT
DWELLING #1

Sheet Title:

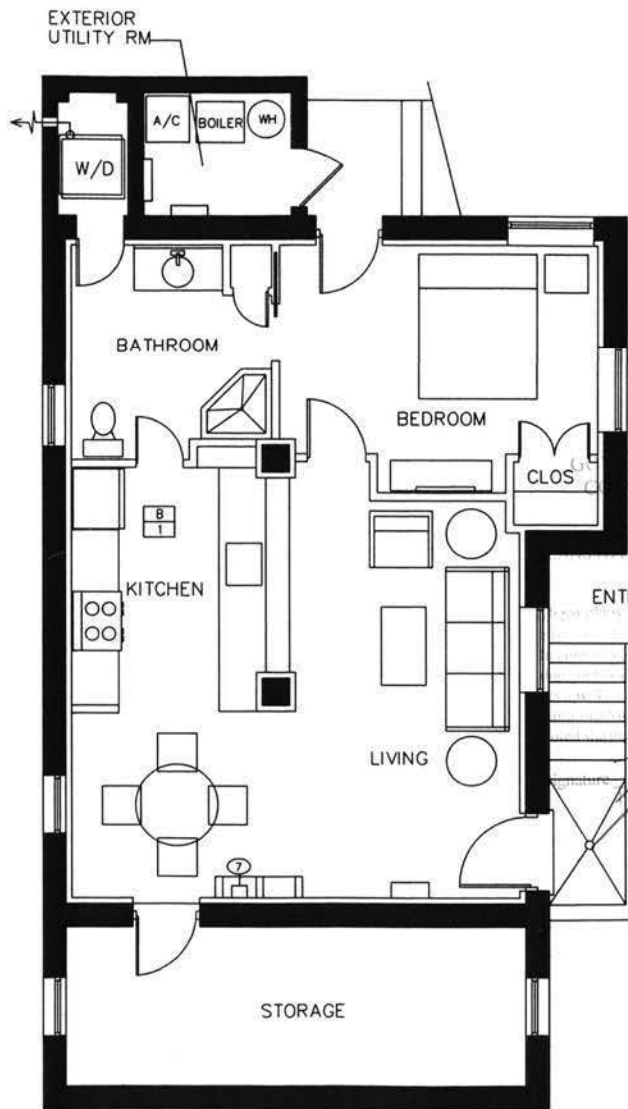
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A1-0

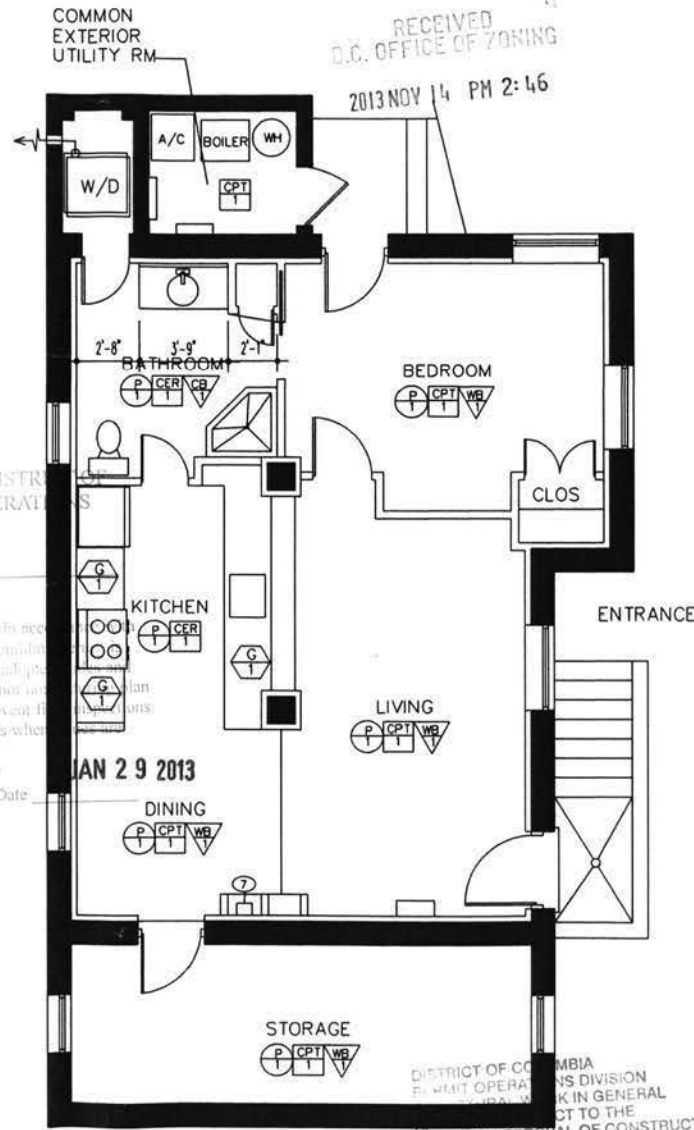


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EXISTING FIRST, SECOND & ATTIC



1 FURNITURE PLAN
A2.0 3/16"=1'-0"



2 FINISH PLAN
A2.0

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
SITRA IBRAHIM
Structural Engr. Section

Date 5-3-13

KELLY RESIDENCE
1205 DECATUR ST NW
WASHINGTON, DC

EXISTING FINISHES

- P PAINT:
STYLE/NO.:
- CPT
1 CARPET:
EXISTING
- CER
1 CERAMIC TILE
EXISTING
- CER
2 CERAMIC TILE
EXISTING
- WB WOOD BASE:
EXISTING
- CB CERAMIC BASE:
EXISTING
- G GRANITE:
EXISTING

ADS-LLC
WALDORF, MARYLAND
301-535-7119

Job No: Scale: 3/16"=1'-0"

EXISTING BASEMENT FINISH PLAN

Sheet Title:

A3.0

Sheet No:

3/16"=1'-0"

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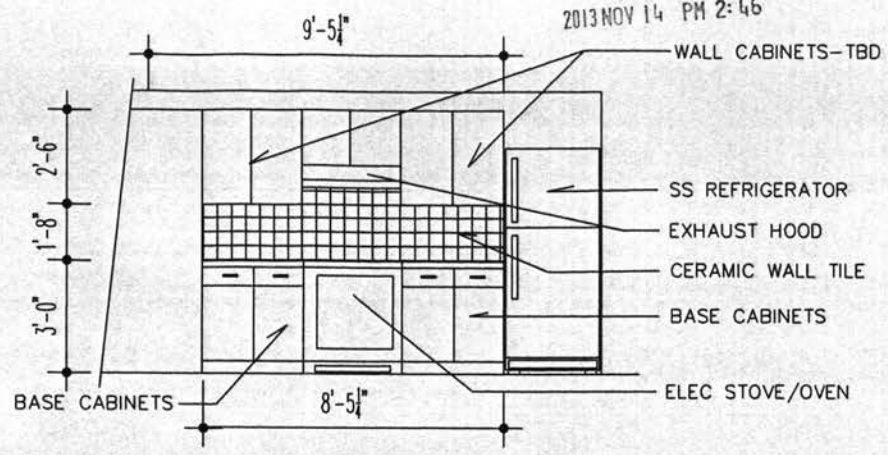
KELLY RESIDENCE
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GOVERNMENT OF THE DISTRICT OF
COLUMBIA PERMIT OPERATIONS
DIVISION

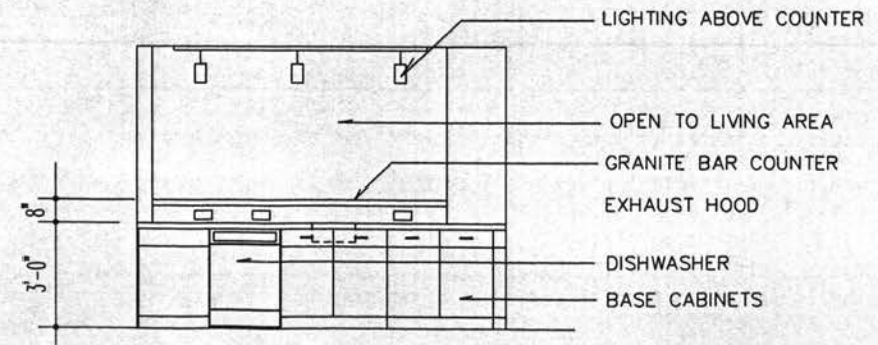
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Signature  Date **JAN 29 2013**
Fire Protection Engineering



1 ELEVATION AT HALL
A4.0 3/16" = 1'-0"



2 KITCHEN ELEVATION
A4.0 3/16" = 1'-0"

DISTRICT OF COLUMBIA
PERMIT OPERATIONS DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
SITRA IBRAHIM
Structural Engr. Section
Date *NS* 5.3.13

ADS-LLC
WALDORF, MARYLAND
301-535-7119

Job No: _____ Scale: 3/16" = 1'-0"

KITCHEN ELEVATIONS

Sheet Title: _____

A4.0
Sheet No: _____

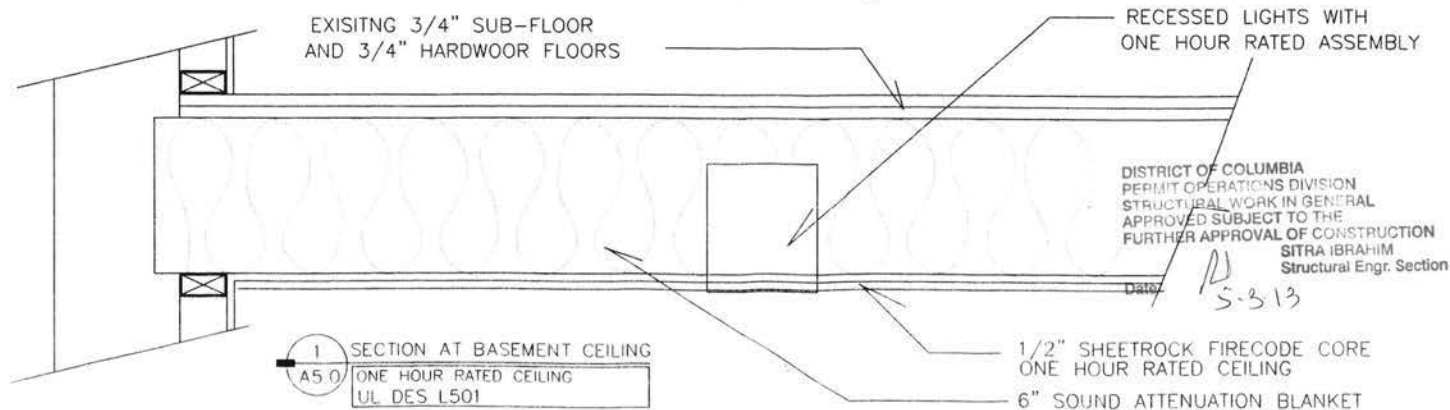
KELLY RESIDENCE
1205 DECATUR ST NW
WASHINGTON, DC



These planning conditions are approved in accordance with the existing conditions of the site. The existing conditions are based on the information provided to the District of Columbia Department of Planning and the District of Columbia Department of Public Works. The District of Columbia Department of Planning and the District of Columbia Department of Public Works do not warrant the accuracy of the information provided. The District of Columbia Department of Planning and the District of Columbia Department of Public Works do not warrant the accuracy of the information provided. The District of Columbia Department of Planning and the District of Columbia Department of Public Works do not warrant the accuracy of the information provided.

Signature: *[Signature]* Date: JAN 29 2013
Title: Protection Engineering

1 BASEMENT SECTION
A5.0 BASEMENT



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301-535-7119

Job No. Scale: 3/16" = 1'-0"

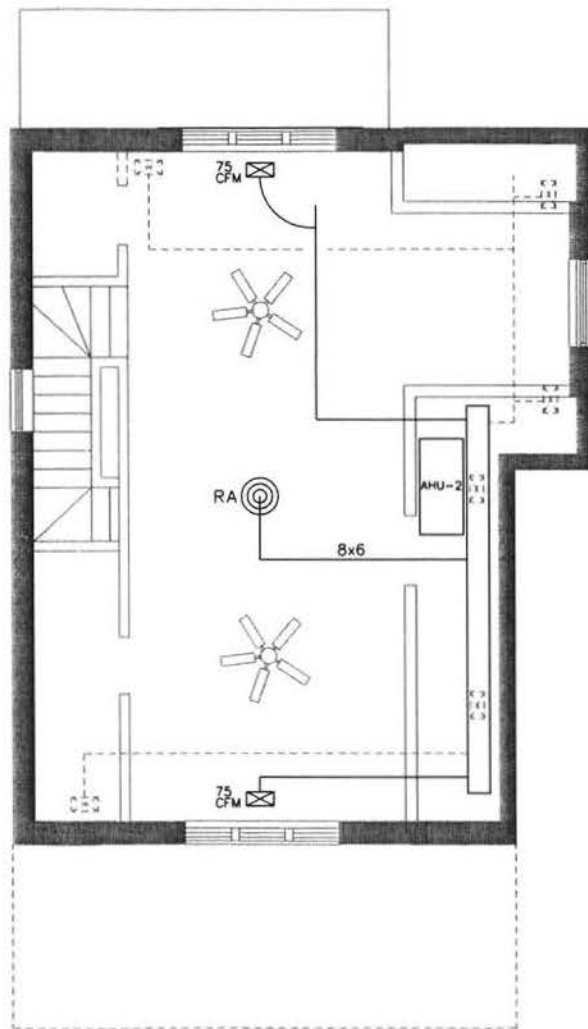
BASEMENT SECTION

Sheet Title:

A5.0

Sheet No.

M-1



1 MECHANICAL PLAN
M-1 ATTIC

3/16" = 1'-0"

EXISTING BASEMENT UNIT

AHU #1 AIR HANDING UNIT

MANUFACTURE	GOODMAN
MODEL #	GPG1324070M41
COOLING EFFICIENCY	13 SEER
COOLING CAPACITY	24,000
HEATING CAPACITY	70,000
COOLING CFM	650 CFM
EFFICIENCY	80% AFUE
POWER	120-1 VOLT- PHASE
MAX. OVERCURRENT PROTECTION	20 AMPS
SIZE	47"W x 27" H
WEIGHT	352 LBS
CHASSIS/UNIT TYPE	VERTICAL

CU-1 UNIT

MANUFACTURE	GOODMAN
MODEL #	GSX130181
COOLING CAPACITY	18,000
NOMINAL COOLING CAPACITY	1.5 TON
COOLING EFFICIENCY	13 SEER
REFRIGERANT	R410A
VOLTAGE	208/230V (1 PHSAE)
MAX BREAKER SIZE	20 AMP
COMPRESSOR TYPE	SCROLL
SUCTION LINE SIZE	3/4"
LIQUID LINE SIZE	3/8"
TXV REQUIREMENT	N/A
PAD SIZE	30"x30"
WEIGHT	178 LBS

MECHANICAL LEDEND

AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDING UNIT
BTU/HR	BRITISH THERMAL UNIT PER HOUR
CU	CONDENSING UNIT
CFM	CUBIC FEET PER MINUTE
EF	EXHAUST FAN
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HP	HORSE POWER
⊗	AIR SUPPLY OUTLET (6X8 DIFUSSER)
FR	FLOOR REGISTER
CR	CEILING REGISTER

AHU #2 AIR HANDING UNIT

MANUFACTURE	GOODMAN
MODEL #	GPG1324070M41
COOLING EFFICIENCY	13 SEER
COOLING CAPACITY	24,000
HEATING CAPACITY	70,000
COOLING CFM	600 CFM
EFFICIENCY	80% AFUE
POWER	120-1 VOLT- PHASE
MAX. OVERCURRENT PROTECTION	20 AMPS
SIZE	47"W x 27" H
WEIGHT	210 LBS
CHASSIS/UNIT TYPE	HORIZONTAL

CU-2 UNIT

MANUFACTURE	GOODMAN
MODEL #	GSX130181
COOLING CAPACITY	18,000
NOMINAL COOLING CAPACITY	1.5 TON
COOLING EFFICIENCY	13 SEER
REFRIGERANT	R410A
VOLTAGE	208/230V (1 PHSAE)
MAX BREAKER SIZE	20 AMP
COMPRESSOR TYPE	SCROLL
SUCTION LINE SIZE	3/4"
LIQUID LINE SIZE	3/8"
TXV REQUIREMENT	N/A
PAD SIZE	30"x30"
WEIGHT	178 LBS

RETURN AIR DIFUSSER

6" FLEX DUCT (NOT TO EXCEED 6'-0")

EXHAUST FAN SCHEDULE

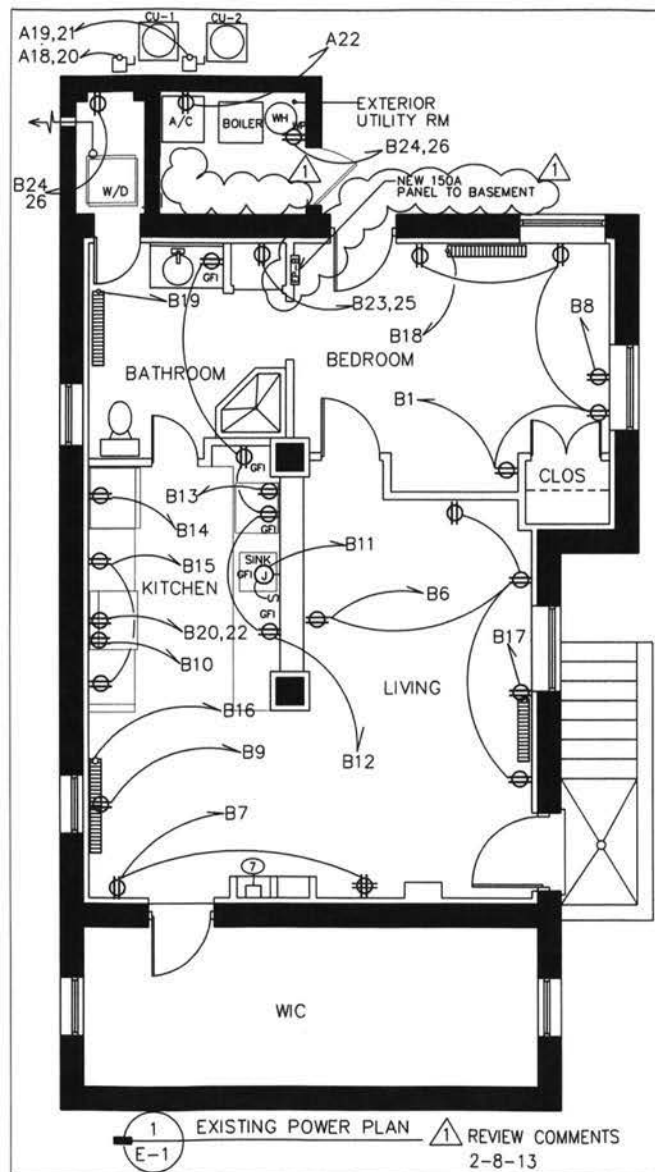
NO	CFM	S.P.	MOTOR	RPM	MODEL	COMMENTS
EF-1	50	0.25	70 WATTS	1000	679 - BROAD	

MECH NOTES/SCHEDULE

1205 DECATUR ST NW
WASHINGTON, DC

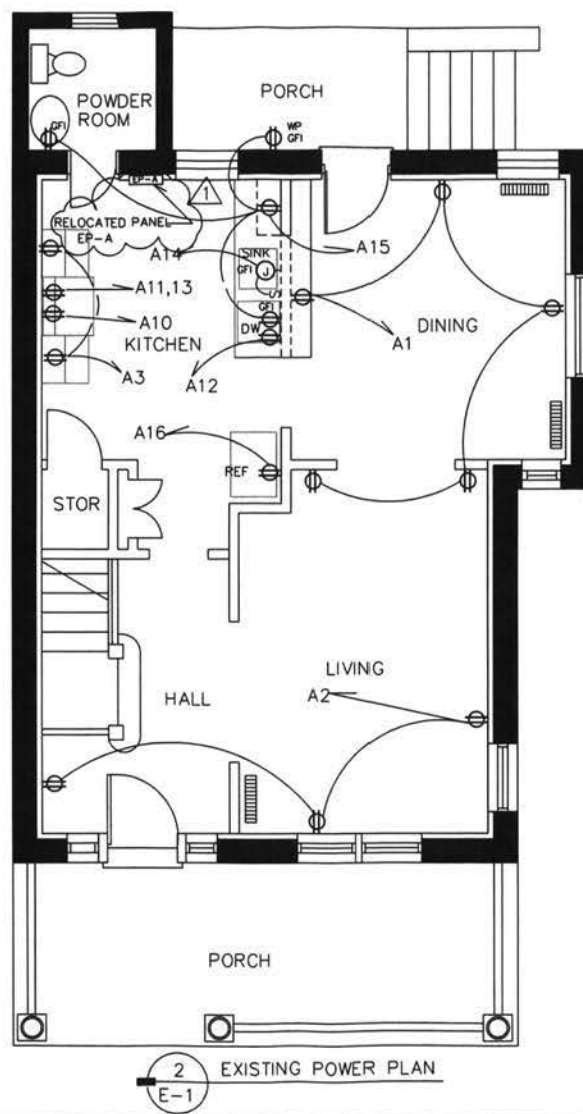
M-2

EXISTING FIRST & SECOND UNIT



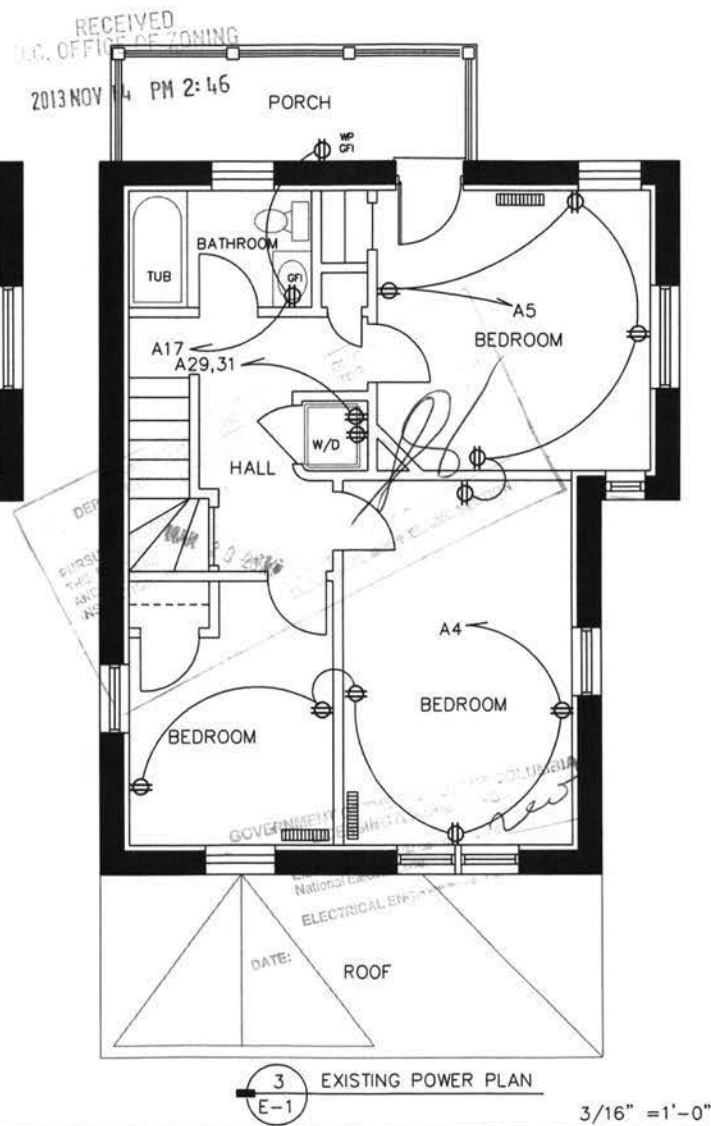
EXISTING BASEMENT UNIT

NOTE:
ALL OUTLETS AT BASEMENT ARE TO REMAIN IN THEIR EXISTING LOCATIONS. SEPARATE ALL POWER BETWEEN THE BASEMENT AND UPPER FLOORS. REWIRE AND CONNECT TO THE NEW 150A ELEC. PANEL IN COMMON UTILITY ROOM. (EP-2)



EXISTING FIRST & SECOND

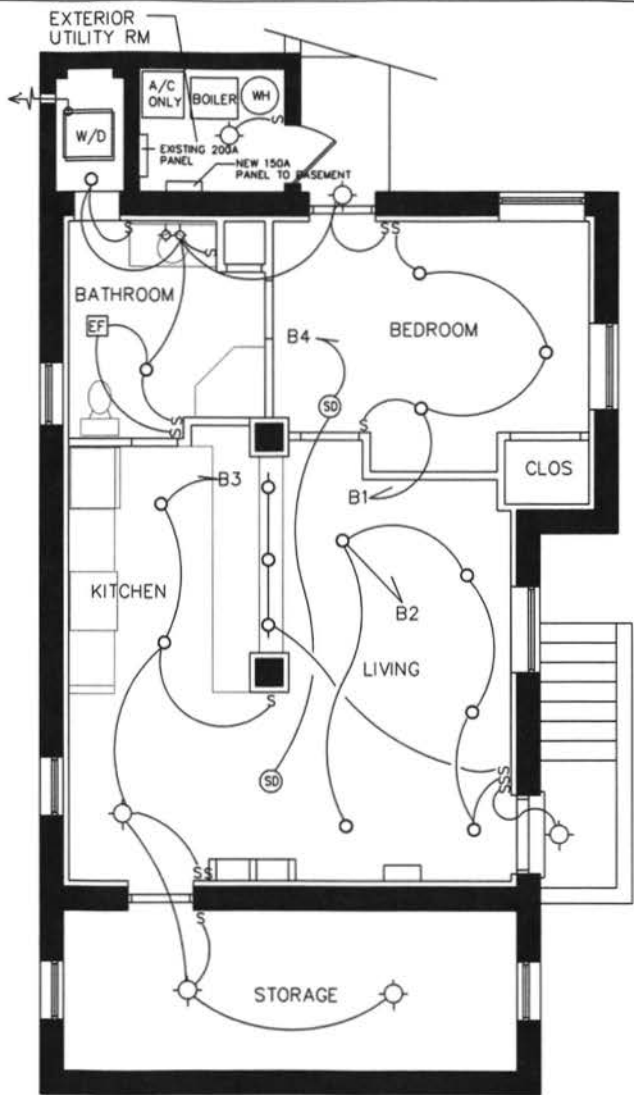
NOTE:
ALL OUTLETS AT THE 1st, 2nd AND ATTIC FLOORS ARE TO REMAIN IN THEIR EXISTING LOCATIONS. SEPARATE ALL POWER BETWEEN THE UPPER FLOORS AND BASEMENT. CONNECT TO THE EXISTING 200A ELEC. PANEL IN COMMON UTILITY ROOM. (EP-1)



POWER PLANS

1205 DECATUR ST NW
WASHINGTON, DC

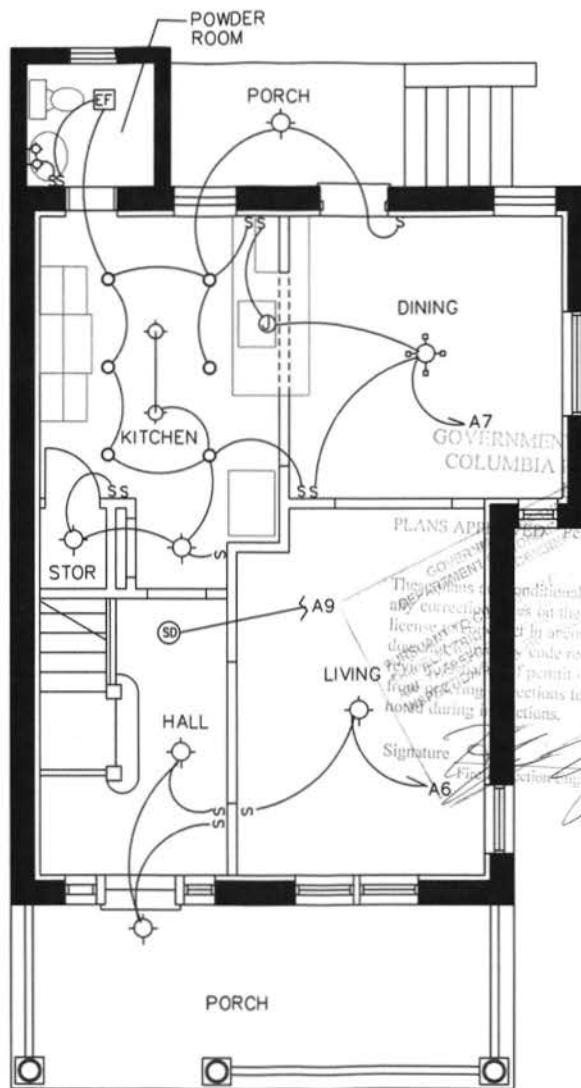
E-1



1 EXISTING LIGHTING PLAN
E-2

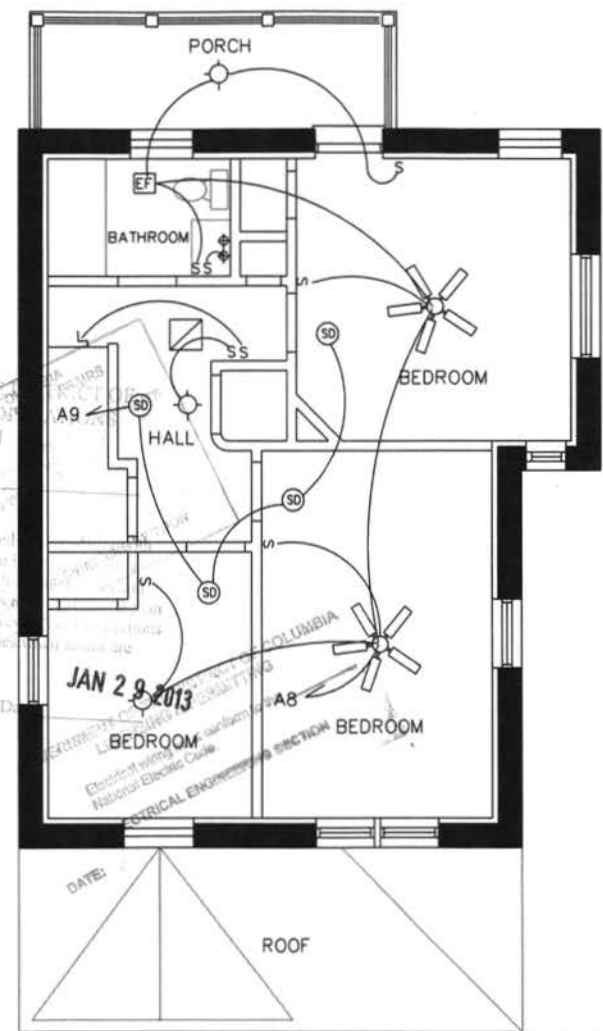
3/16" = 1'-0"

EXISTING BASEMENT UNIT



2 EXISTING LIGHTING PLAN
E-2

EXISTING FIRST & SECOND



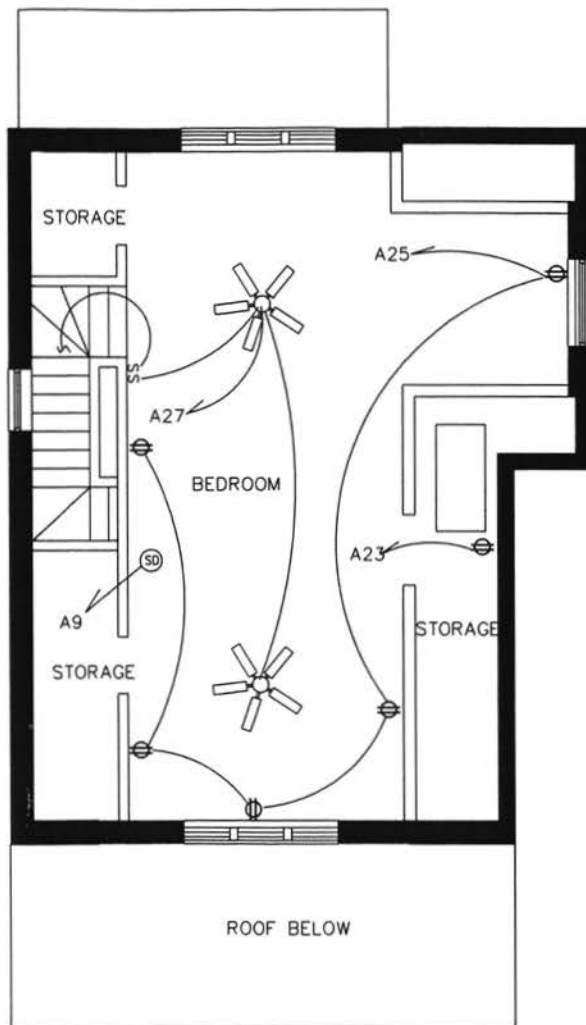
3 EXISTING LIGHTING PLAN
E-2

ALL SMOKE DETECTORS SHALL BE INTER-CONNECTED TO PANEL WITH AN INTERNAL BATTERY BACK-UP PER R313 - IRC 2006 EDITION

LIGHTING PLANS

1205 DECATUR ST NW
WASHINGTON, DC

E-2



1 POWER/LIGHTING PLAN
E-1 ATTIC

3/16" = 1'-0"

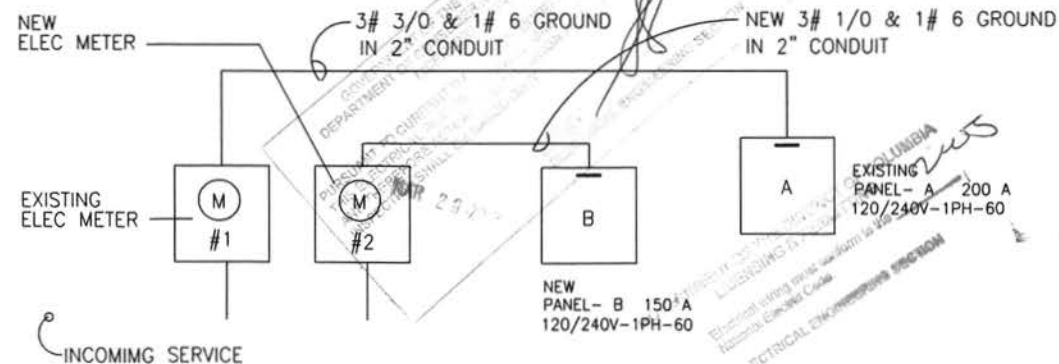
EXISTING ATTIC UNIT

LEGEND

- S TOGGLE SWITCH
- WALL MOUNTED DUPLEX RECEPTACLE
- TELEPHONE OUTLET
- GFI GROUND FAULT INTERRUPTER
- WP WEATHER PROOF
- A AMP
- (E) EXISTING WORK TO REMAIN
- (R) REMOVE EXISTING WORK
- AHU AIR HANDING UNIT
- CU CONDENSING UNIT
- HOME RUN TO PANELBOARD INCLUDES PHASE, NEUTRAL AND EQUIPMENT GND WIRES - ARROWS INDICATE NUMBER OF CIRCUITS - HASHMARKS INDICATE NUMBER OF CONDUCTORS.
- MG MOISTURE GASKET
- (M) ELECTRICAL METER
- EF EXHAUST FAN
- SAFETY DISCONNECT SWITCH
- JUNCTION BOX
- CEILING MOUNTED FIXTURE
- PENDANT LIGHT FIXTURE
- LIGHT SCONCE
- DIMMER SWITCH
- INCANDESCENT DOWN LIGHT
- SMOKE DETECTOR
- ELECTRICAL PANEL
- CEILING FAN W/ LIGHT KIT
- CHANDELIER

ALL SMOKE DETECTORS SHALL BE INTER-CONNECTED TO PANEL WITH AN INTERNAL BATTERY BACK-UP PER R313 - IRC 2006 EDITION

ELECTRICAL RISER DIAGRAM - N.T.S.



ELECT NOTES AND DETAILS

1205 DECATUR ST NW
WASHINGTON, DC

E-3

RECEIVED
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PANELBOARD SCHEDULE									
PANEL:	A	EQUIP. GND. BUS:	<input checked="" type="checkbox"/>	VOLTAGE:	120/240 VOLT, 1PH, 3W				
LOCATION:	SEE PLAN	ISOLATED GND BUS:	<input type="checkbox"/>	MAIN CIRCUIT BKR:	200A				
MOUNTING:	SURFACE	NEUTRAL BUS:	100% <input checked="" type="checkbox"/> 200% <input type="checkbox"/>	MLO:	<input type="checkbox"/>				
FED FROM:		A.I.C.:	10K	BUS RATING:	200A				
LOAD DESCRIPTION	BKR. AMPS	BKR. POLE	CTY. NO.	LOAD - V.A.	CTY. NO.	BKR. POLE	BKR. AMPS	LOAD DESCRIPTION	
RECEPTACLES	20	1	1	900				RECEPTACLES	
				540					
RECEPTACLES	20	1	3		380	2	1	20	
					900				
RECEPTACLES	20	1	5	900					
				1,440					
LIGHTING	20	1	7		700	6	1	20	
					1,000				
SMOKE DETECTOR	20	1	9	100					
				700					
DOUBLE OVEN	40	2	11		4,000	10	1	20	
					1,500				
			13	4,000					
				700					
GFI RECEPTACLES	20	1	15		720	12	1	20	
					800				
GFI RECEPTACLES	20	1	17	360					
				1,400					
	15	2	19		1,400	14	1	20	
					1,400				
CONDENSING UNIT 2			21	1,400					
				700					
AIR HANDLING 2	20	1	23		700	16	1	20	
					2,250				
RECEPTACLES	20	1	25	900					
				2,250					
LIGHTING/FAN	20	1	27		500	18	2	15	
STACKED WASHER/DYER	30	2	29	2,500		20			
			31		2,500	22	1	20	
SPARE	20	1	33			24	2	30	
SPARE	20	1	35			26			
SPARE	20	1	37			28	1	20	
SPARE	20	1	39			30	1	20	
SPARE	20	1	41			32	1	20	
						34	1	20	
						36	1	20	
						38	1	20	
						40	1	20	
						42	1	20	
TOTAL VA				18,790				37.5	
TOTAL AMP/PHASE				157				156	
TOTAL KVA				157					
TOTAL AMP									
REMARKS:									

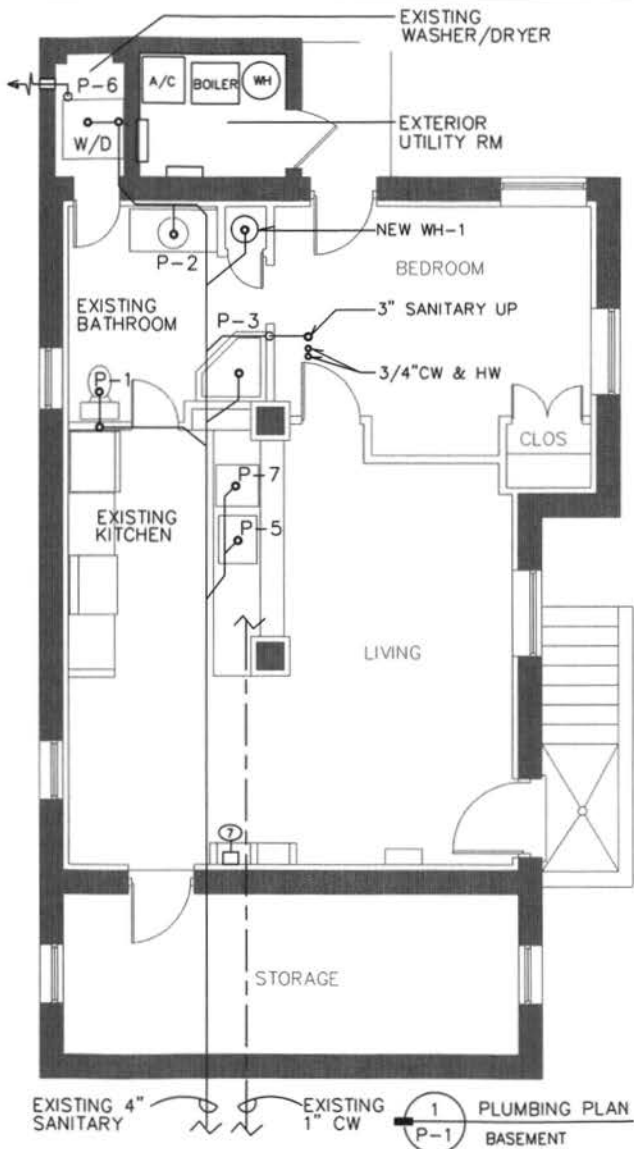
PANELBOARD SCHEDULE									
PANEL:	B	EQUIP. GND. BUS:	<input checked="" type="checkbox"/>	VOLTAGE:	120/240 VOLT, 1PH, 3W				
LOCATION:	SEE PLAN	ISOLATED GND BUS:	<input type="checkbox"/>	MAIN CIRCUIT BKR:	150A				
MOUNTING:	SURFACE	NEUTRAL BUS:	100% <input checked="" type="checkbox"/> 200% <input type="checkbox"/>	MLO:	<input type="checkbox"/>				
FED FROM:		A.I.C.:	10K	BUS RATING:	150A				
LOAD DESCRIPTION	BKR. AMPS	BKR. POLE	CTY. NO.	LOAD - V.A.	CTY. NO.	BKR. POLE	BKR. AMPS	LOAD DESCRIPTION	
LIGHTING	20	1	1	500				LIGHTING	
				100					
LIGHTING	20	1	3		450	2	1	20	
					50				
RECEPTACLES	20	1	5	720					
				720					
RECEPTACLES	20	1	7		540	4	1	20	
					1,000				
WINDOW AC UNIT	20	1	9	1,000					
				700					
GARBAGE DISPOSAL	20	1	11		700	6	1	20	
					720				
DISH WASHER	20	1	13	1,500					
				800					
RECEPTACLES	20	1	15		360	10	1	20	
					700				
WALL HEATER	20	1	17	700					
				700					
WALL HEATER	20	1	19		700	14	1	20	
					4,000				
SPARE	20	1	21		4,000	16	1	20	
WATER HEATER	30	2	23		2,250	18	1	20	
					2,500				
			25	2,250					
				2,500					
SPARE	20	1	27			20	2	40	
SPARE	20	1	29			22			
SPARE	20	1	31			24	2	30	
SPARE	20	1	33			26			
SPARE	20	1	35			28	1	20	
SPARE	20	1	37			30	1	20	
SPARE	20	1	39			32	1	20	
SPARE	20	1	41			34	1	20	
						36	1	20	
						38	1	20	
						40	1	20	
						42	1	20	
TOTAL VA				16,190				30.2	
TOTAL AMP/PHASE				135				126	
TOTAL KVA				135					
TOTAL AMP									
REMARKS:									

PANEL BOARD SCHEDULES

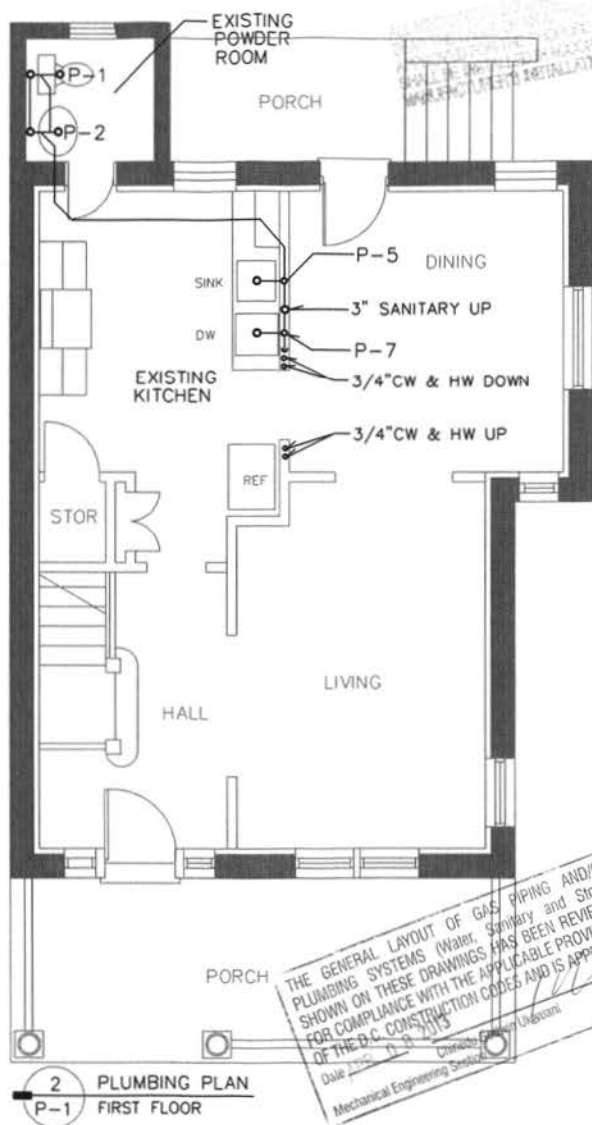
ELECT NOTES AND DETAILS

1205 DECATUR ST NW
WASHINGTON, DC

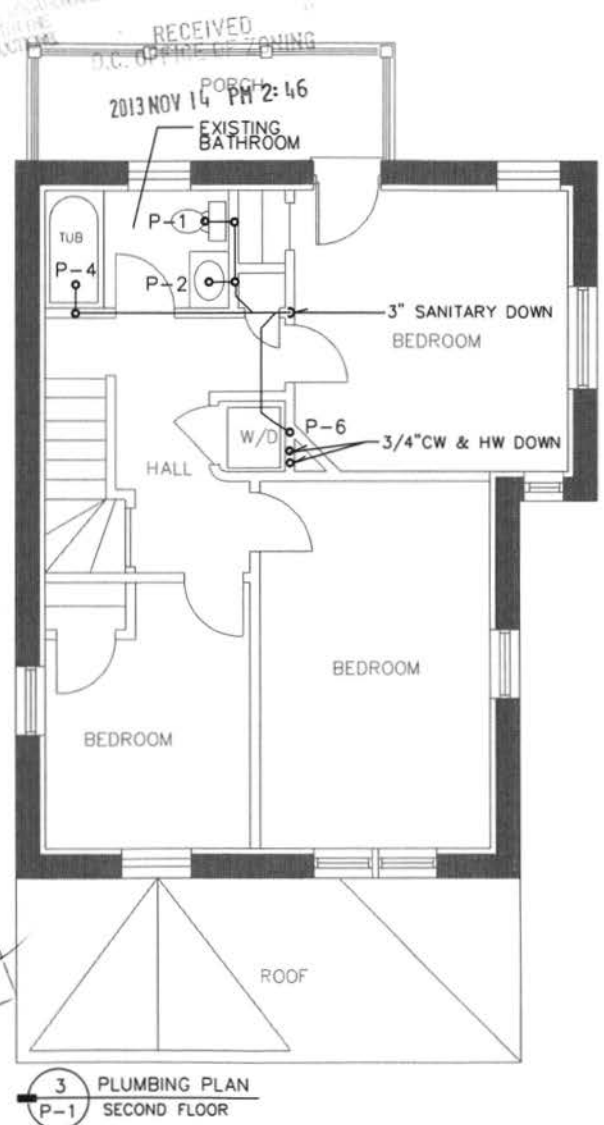
E-4



EXISTING BASEMENT UNIT

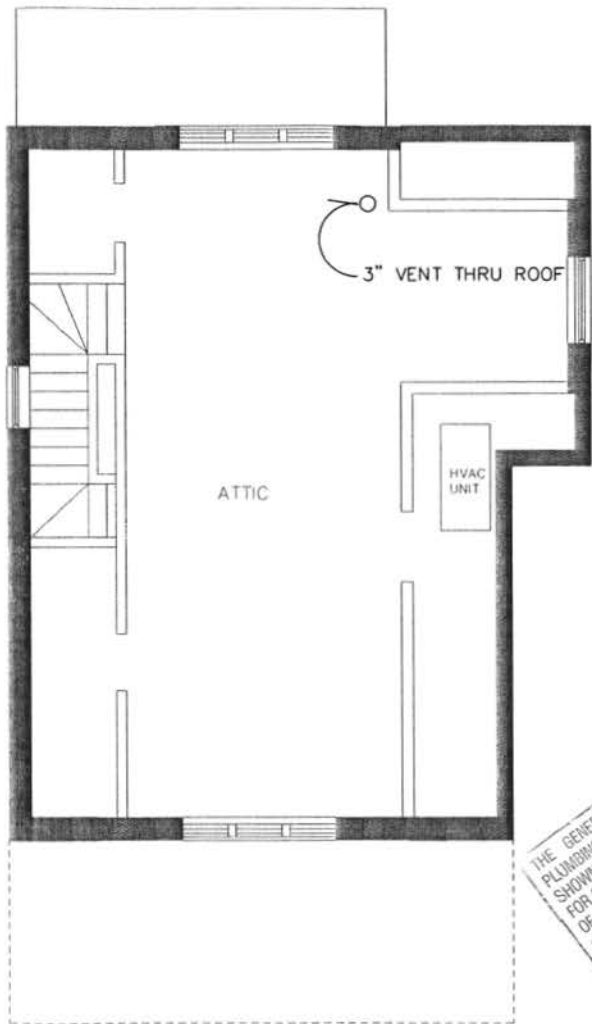


EXISTING FIRST & SECOND



PLUMBING PLAN

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WASHINGTON, DC



1 PLUMBING PLAN
M-1 ATTIC

3/16" = 1'-0"

EXISTING ATTIC

THE GENERAL LAYOUT OF GAS PIPING AND/OR PLUMBING SYSTEMS SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date: APR 08 2013
Catherine Gooden (Jawden)
Mechanical Engineering Section

PLUMBING FIXTURE SCHEDULE

RECEIVED
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MARK	FIXTURE	CW	HW	WASTE	VENT	REMARKS
P-1	WATER CLOSET	1/2"	—	3"	2"	
P-2	LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"	
P-3	SHOWER	1/2"	1/2"	2"	1 1/2"	NO SHOWER ADDED
P-4	TUB	1/2"	1/2"	2"	1 1/2"	
P-5	SINK	1/2"	1/2"	1 1/2"	1 1/2"	
P-6	WASHER	1/2"	1/2"	2"	1 1/2"	
P-7	DISHWASHER	—	1/2"	1"	—	

PLUMBING LEGEND

	SAN	SANITARY OR WASTE PIPE		P-TRAP
	VTR	VENT THRU ROOF		SHUT OFF VALVE
	V	VENT		FLOOR DRAIN
	CW	COLD WATER		CONNECT TO EXISTING
	HW	HOT WATER		REMOVE EXISTING WORK
	UNION	UNION		WATER HEATER
	PIPE UP	PIPE UP		
	PIPE DOWN	PIPE DOWN		

WATER HEATER SCHEDULE

EXISTING FLOOR MOUNTED, 40 GALLONS CAPACITY, 50,000 BTUH INPUT, APPROXIMATE WEIGHT 165 LB. 48 GPH AT 100 DEGREES FAHRENHEIT TEMPERATURE RISE, EQUAL TO A.O. SMITH MODEL BT-65.

NEW FLOOR MOUNTED, 40 GALLONS CAPACITY, ELECTRIC CAPACITY 4.5 KW, 21 GPH RECOVERY AT 90 DEGREE TEMPERATURE RISE - EQUAL TO A.O. SMITH ECRT-40. PROVIDE AUXILIARY DRAIN PAN 240V-1 PHASE

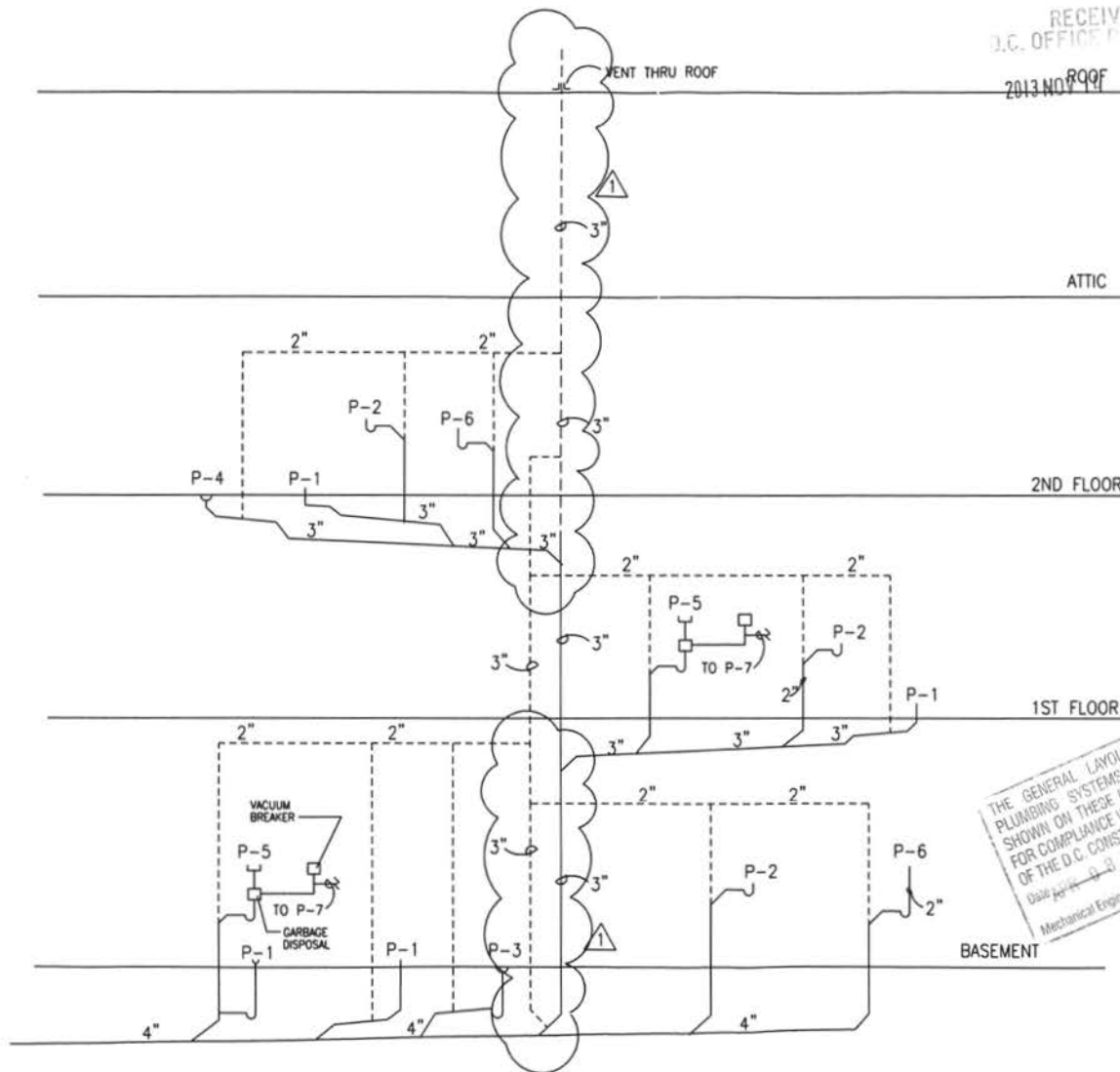
REMARKS:
GLASS LINED TANK (300 PSI TESTED, 150 PSI WORKING PRESSURE) STEEL JACKET, THERMOSTAT WITH OVER HEAT SAFETY CONTROL AND MANUAL RESET, SET WATER HEATER AT 110 DEGREES FAHRENHEIT. PROVIDE P&T RELIEF VALVE (ASME). PROVIDE DRAIN PAN AND DRAIN. HEATER SHALL COMPLY WITH ASHRAE 90A-85.

EXISTING FIRST & SECOND UNIT

PLUMBING NOTES/SCHEDULE

1205 DECATUR ST NW
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P-2



SANITARY RISER DIAGRAM

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KELLY RESIDENCE
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△ REVIEW COMMENTS
2-8-13

THE GENERAL LAYOUT OF GAS PIPING AND/OR
PLUMBING SYSTEMS (Water, Sanitary and Storm)
SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED
FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS
OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date: 11-13-2013
Chinela Gorman, Licensed
Mechanical Engineering Section

ADS-LLC
WALDORF, MARYLAND
301-535-7119

Job No: Scale: 3/16" = 1'-0"

SANITARY RISER
DIAGRAM

Sheet Title:

Sheet No: P-3

KELLY RESIDENCE
1205 DECATUR ST NW
WASHINGTON, DC

⚠ REVIEW COMMENTS
2-8-13

ADS-LLC
WALDORF, MARYLAND
301-535-7119

Job No: _____ Scale: 3/16" = 1'-0"

WATER RISER DIAGRAM

Sheet Title: _____

P-4

Sheet No: _____

ROOF

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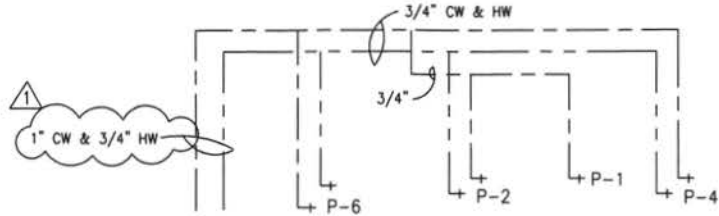
2013 NOV 14 PM 2:47

ALL MECHANICAL SYSTEMS SHALL BE APPROVED FOR THE PROPOSED USE AND LOCATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

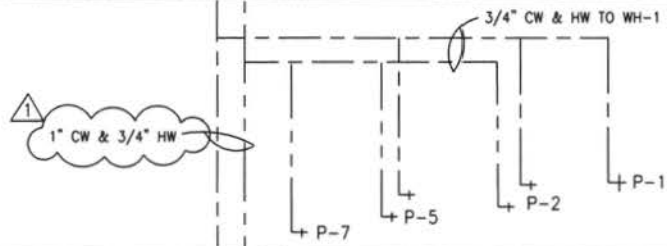
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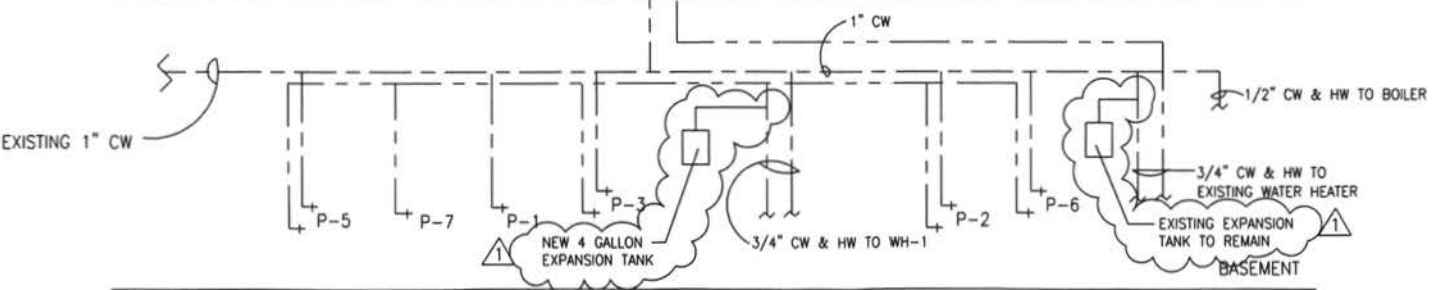


2ND FLOOR



1ST FLOOR

THE GENERAL LAYOUT OF GAS PIPING AND/OR PLUMBING SYSTEMS (Water, Sanitary and Storm) SHOWN ON THESE DRAWINGS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE D.C. CONSTRUCTION CODES AND IS APPROVED.
Date APR 08 2013
Chinedu Golden Okwudili
Mechanical Engineering Section



BASEMENT

WATER RISER DIAGRAM