

SULLIVAN & BARROS, LLP

Real Estate | Zoning | Land Use

Martin P. Sullivan, Partner
Direct: (202) 503-1704
Fax: (888) 318-2443
msullivan@sullivanbarros.com

RECEIVED
D.C. OFFICE OF ZONING

October 8, 2013

2013 OCT -8 PM 2:54

By Hand Delivery

Lloyd Jordan, Chairman
Board of Zoning Adjustment
441 4th Street, NW
Suite 210S
Washington, DC 20001

Re: BZA Application No. 18658; Expedited § 223 Special Exception Application for 1421 Swann Street, NW; Square 206, Lot 115

Dear Chairman Jordan and Members of the Board:

Enclosed please find an original and ten (10) copies of revised architectural plans. The Surveyor's Plat is also included, although the footprint of the proposed addition has not changed from the original application and there have been no changes to any aspect of the requested relief.

Sincerely,



Martin P. Sullivan

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 18658
EXHIBIT NO. 28

Board of Zoning Adjustment
District of Columbia
CASE NO. 18658
www.sullivanbarros.com

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., July 2, 2013

Plat for Building Permit of SQUARE 206 LOT 115

Scale: 1 inch = 20 feet Recorded in Book H.D.C. Page 54

Receipt No.: 13-05352

Furnished to: CHRISTINA LEMLEY

I hereby certify that all existing improvements shown hereon, are correct and are correctly platted; that all proposed buildings or construction, or proposed covered porches, are correctly dimensioned and platted and agree with the application; that the foundation plans as shown hereon is correct and accurately to the same scale as the property lines shown on this plat; and that proposed improvements to be erected as shown hereon the size of premises is not decreased to an area less than is required by the Zoning Regulations; and it is further certified and agreed that access to the premises required by the Zoning Regulations will be reserved in accordance with the Regulations, and that this area has been correctly drawn and dimensioned; and further agreed that the elevation of the accessible parking area with the Department approved curb and alley grade will not result in a rate of driveway at any point on private property in excess of 20% for single-lane or in excess of 12% at any point for other buildings. (The policy of the Department permits a maximum driveway grade of 12% across the public restricted property.)

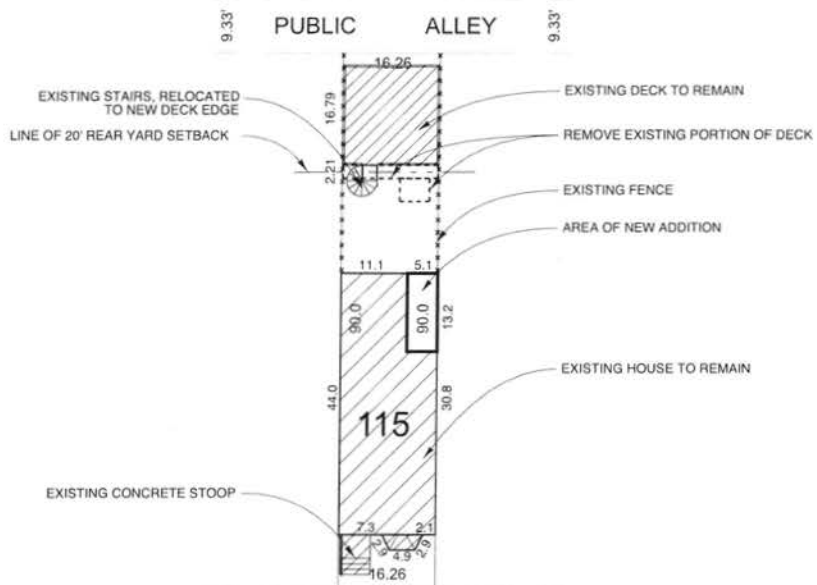
Date: 10/8/13

Surveyor, D.C.

By: A.S.

Christina Lemley
(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.



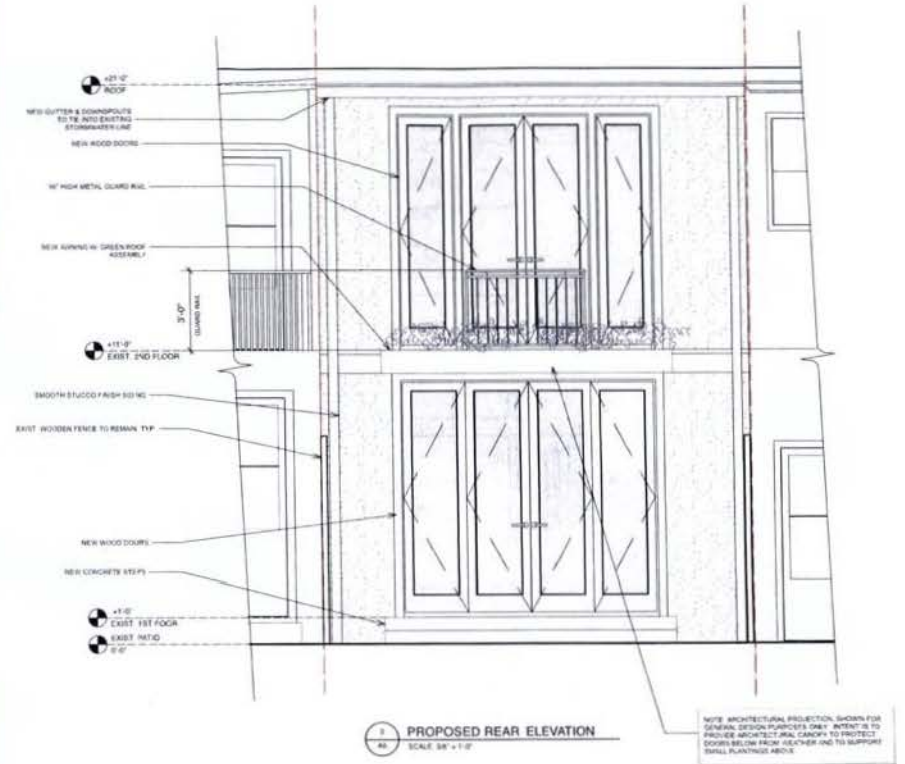
SWANN STREET, N.W.



1
60
EXISTING REAR ELEVATION VIEW 1



2
60
EXISTING REAR ELEVATION - VIEW 2



LEGEND

— EXIST WALL TO REMAIN

----- EXIST WALL TO BE REMOVED

===== NEW PARTITION WALL

Studio: CrowleyHall, plc

2017 Park Road, NW
Washington, DC 20010
P: 202.587.3033 F: 202.518.4313

DAVIES / QUINONES RESIDENCE

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



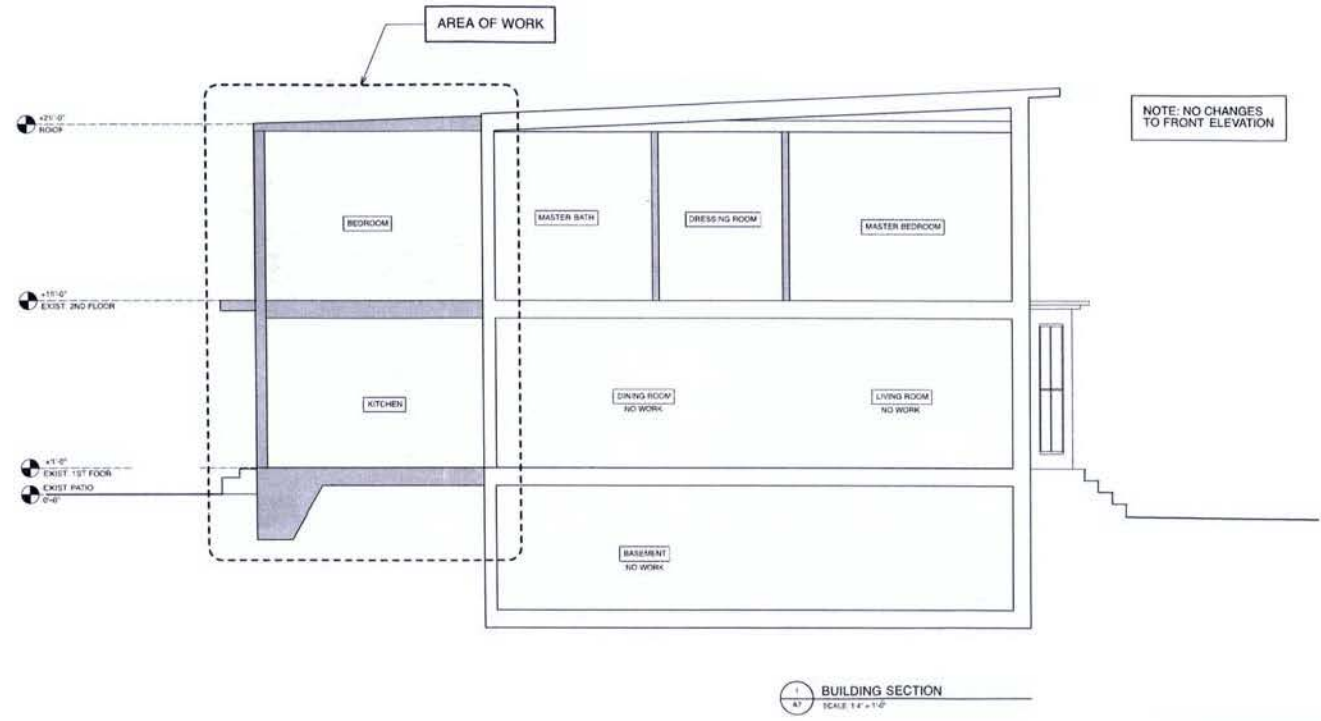
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The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

08/08/13 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
08/20/13 HYBRID CONCEPT DESIGN
08/01/13 B2A / ANC UPDATES

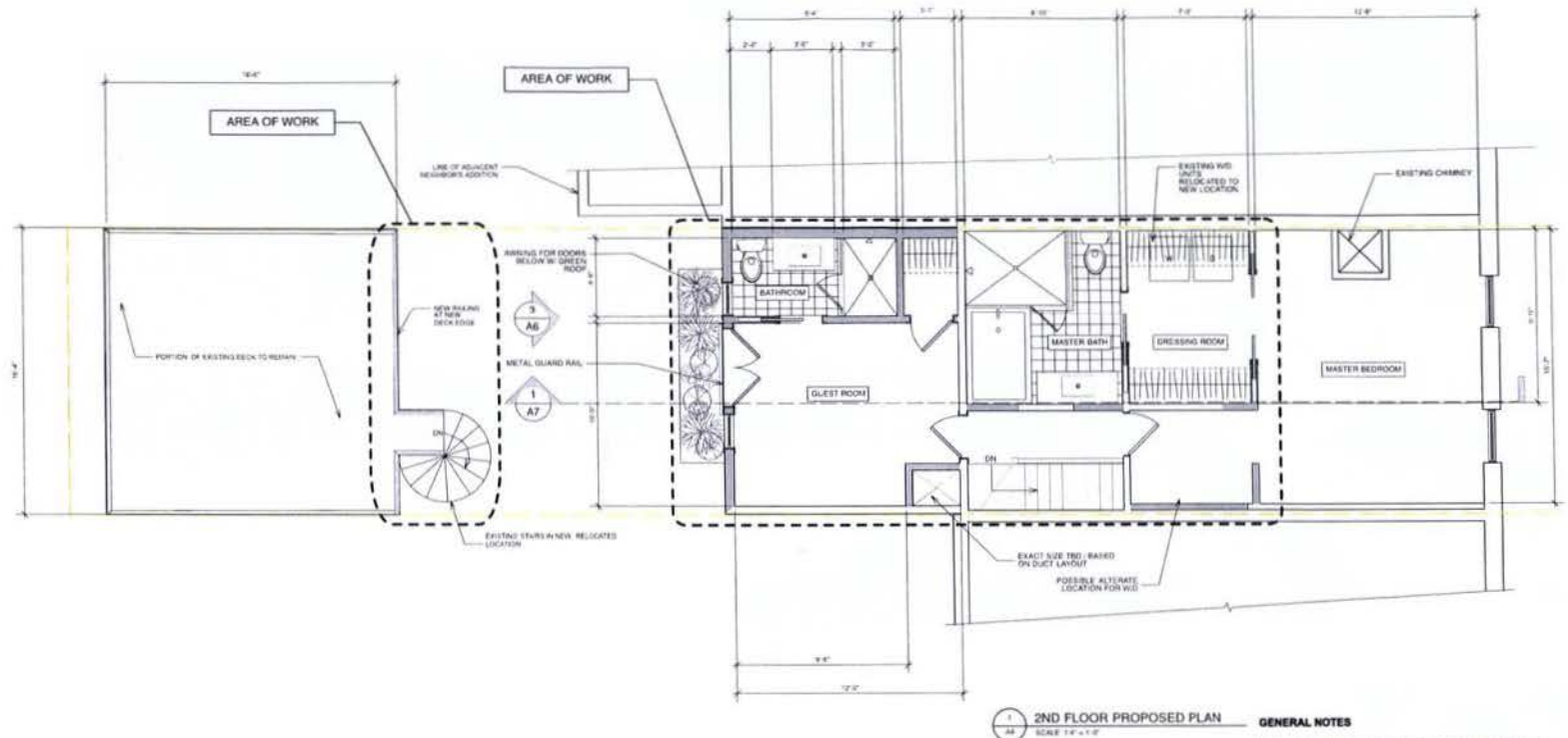
EXISTING & PROPOSED EXTERIOR ELEVATIONS

A6



- LEGEND**
- EXIST. WALL TO REMAIN
 - - - - - EXIST. WALL TO BE REMOVED
 - ▬ NEW PARTITION WALL

Studio: CrowleyHall, pllc 2017 Park Road, NW Washington, DC 20036 P: 202.387.3000 F: 202.316.4317	DAVIES / QUINONES RESIDENCE Scott Davies & Edel Quinones 1421 Swann Street NW Washington, DC 20009	Copyright 2013 Studio: CrowleyHall, pllc The drawings and specifications, and the ideas, designs and arrangements represented thereby, are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.	08/06/13 CONCEPT DESIGN 06/14/15 DESIGN UPDATES 06/22/15 HPWB CONCEPT DESIGN 10/27/15 B2A-AVC UPDATES	A7
		BUILDING SECTION		



1 2ND FLOOR PROPOSED PLAN
A4 SCALE 1/4" = 1'-0"

LEGEND

- EXIST. WALL TO REMAIN
- EXIST. WALL TO BE REMOVED
- NEW PARTITION WALL

GENERAL NOTES

1. Remove existing interior doors as noted, save for re-use
2. Plan dimensions are to finished face of existing and new walls, unless otherwise noted.
3. Typical interior walls, unless otherwise noted, are 2x4 wood stud walls with 1/2" G.W.B. each side.
4. Sand, prep, and paint all existing walls, ceilings, wood trim, handrails, and radiators in areas affected by new construction.
5. Patch, sand, stain, and finish existing wood floors throughout, unless otherwise noted.
6. New base trim shall be 1x6 painted wood, unless otherwise noted, verify with Architect. New door/window casing shall be 1x4 painted wood, unless otherwise noted, verify with Architect.

Studio: CrowleyHall, pllc

2017 Park Road, NW
Washington, DC 20036
P: 202.387.3020 F: 202.318.4317

DAVIES / QUINONES RESIDENCE

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



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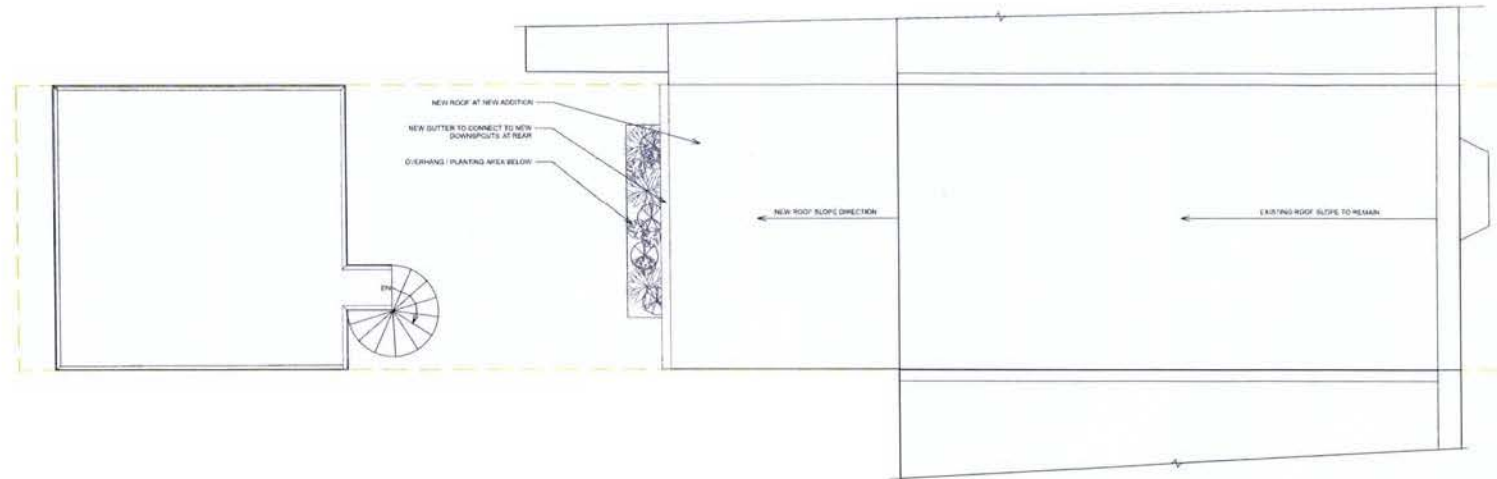
The drawings and specifications, and the design, designs and arrangements represented thereby, are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

2ND FLOOR PROPOSED PLAN

04/04/13 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
08/22/13 HPMB CONCEPT DESIGN
10/27/13 B2A - ANC UPDATES



A4



1 ROOF PLAN - PROPOSED
SCALE: 1/8" = 1'-0"

LEGEND

- EXIST. WALL TO REMAIN
- - - EXIST. WALL TO BE REMOVED
- NEW PARTITION WALL

GENERAL NOTES

1. Remove existing interior doors as noted; save for re-use.
2. Plan dimensions are to finished face of existing and new walls, unless otherwise noted.
3. Typical interior walls, unless otherwise noted, are 2x4 wood stud walls with 1/2" G.W.B. each side.
4. Sand, prep, and paint all existing walls, ceilings, wood trim, handrails, and radiators in areas affected by new construction.
5. Patch, sand, stain, and finish existing wood floors throughout, unless otherwise noted.
6. New base trim shall be 1x6 painted wood, unless otherwise noted, verify with Architect. New door/window casing shall be 1x4 painted wood, unless otherwise noted, verify with Architect.

Studio: CrowleyHall, pllc

2017 Park Road, NW,
Washington, DC 20010
P: 202.387.3003 F: 202.319.4317

DAVIES / QUINONES RESIDENCE

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



Copyright 2013 Studio: CrowleyHall, pllc

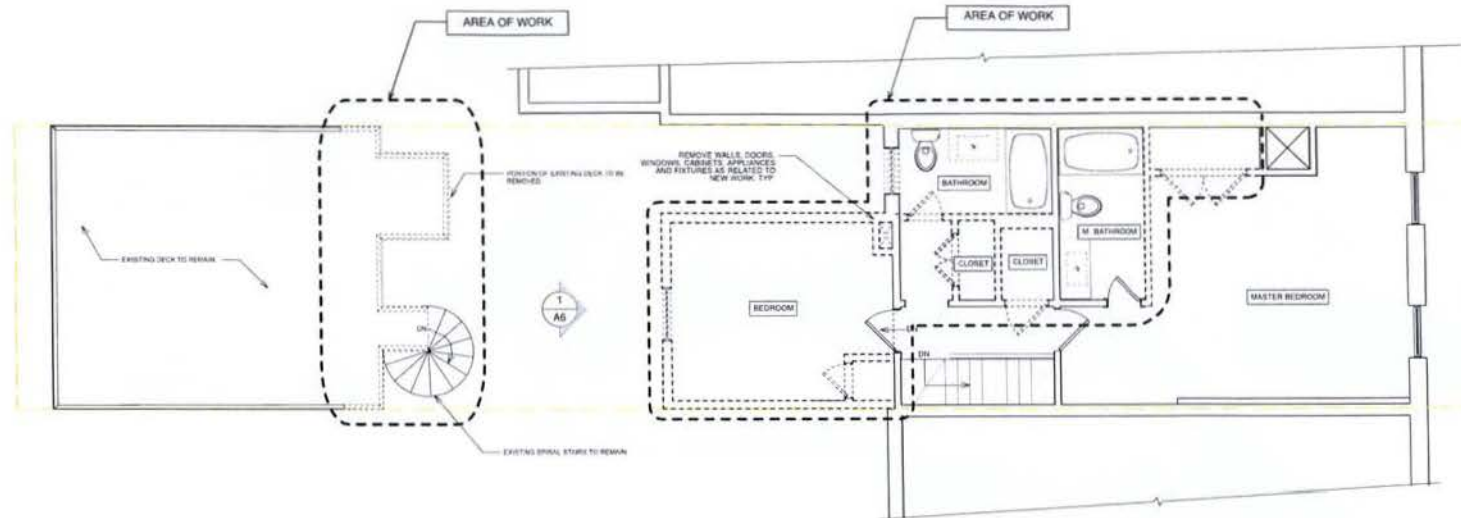
The drawings and specifications—and the ideas, designs and arrangements represented thereby—are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Verbal contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Assent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a non-transferable, non-exclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

ROOF PLAN

08/06/13 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
08/20/13 HPB8 CONCEPT DESIGN
10/07/13 SZA / ANC UPDATES



A5



GENERAL DEMOLITION NOTES

1. Debris resulting from demolition work, except as noted to be re-used, becomes the property of the contractor and shall be disposed of per applicable laws and on a regular basis.
2. Remove wood doors, hardware, and trim, and, to extent possible, save for re-use.
- 2a. Remove all light & plumbing fixtures, window treatments, window air conditioners, etc. not specifically noted on drawings to remain. Prior to disposing of any of these items, review with Owner what should be salvaged or re-used.
3. Remove all pipes, ducts, conduits, etc. no longer connected or scheduled to be re-used.
4. Existing electrical and mechanical is not shown, unless otherwise noted. General Contractor is responsible for coordinating work with existing. Verify existing electrical and mechanical demolition relocation work in field with Architect and Owner. Secure all electrical, mechanical and plumbing affected by the demolition to protect the existing property systems.
5. General Contractor is responsible for all shoring and bracing related to removal of loaded bearing structural conditions scheduled for demolition. GC to notify Architect of an structural, hazardous or other conditions related to this demolition that are different from that conveyed in these drawings.
6. All partitions indicated to be removed are non-load bearing unless otherwise noted.
7. General Contractor to remove all debris on material from site in a prompt and timely manner. No storing of demolition debris on site. GC is responsible for coordination of demolition activity with local neighborhood and OSHA requirements.
8. General contractor is responsible for securing site and adjacent property during demolition from weather, security, and structural integrity.

SELECTIVE DEMOLITION NOTES

PART 1 GENERAL

1.1 SUMMARY

- A. Selective Demolition
- B. Selective demolition of exterior facade, structures, and components designated to be removed
- C. Protection of portions of buildings adjacent to or affected by selective demolition
- D. Removal of abandoned utilities and wiring systems
- E. Notification to Owner of schedule of shut-off of utilities which serve occupied structure

1.2 SCOPE

- A. Pollution control during selective demolition, including noise control
- B. Removal and legal disposal of materials
- C. Hazardous Materials: Address and hazardous materials demolition or removal work is not part of this contract. Removal of materials containing asbestos and other hazardous materials is work of a prior separate contract.

1.3 SUBMITTALS

- A. Schedule: Submit for approval selective demolition schedules, including schedule and methods for shoring utilities to be abandoned and maintaining existing utility service

1.4 QUALITY ASSURANCE

- A. Codes and Regulations: Comply with governing codes and regulations. Use experienced workers

1.5 PROJECT CONDITIONS

- A. Occupancy: Immediate areas of work will not be occupied during selective demolition. The public, including children, may occupy adjacent areas
- B. Existing Conditions: No responsibility for building or structures to be demolished will be assumed by the Owner

PART 2 EXECUTION

2.1 SELECTIVE DEMOLITION

- A. Demolition Operations: Do not damage building elements and improvements indicated to remain. Items of salvage value, not included on schedule of salvage items to be returned to Owner shall be removed from structure. Storage or sale of items at project site is prohibited.
- B. Utilities: Locate, identify, disconnect, and seal or cap off utilities in buildings to be demolished.
- C. Shoring and Bracing: Provide and maintain interior and exterior shoring and bracing.
- D. Occupied Spaces: Do not close or obstruct streets, walks, drives, or other occupied or used spaces or facilities without the written permission of the Owner and the authorities having jurisdiction. Do not interrupt utilities serving occupied or used facilities without the written permission of the Owner and authorities having jurisdiction. If necessary, provide temporary facilities.
- E. Operations: Close operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
- F. Security: Provide adequate protection against accidents trespassing. Secure project after work hours.
- G. Restoration: Restore finished or patched areas.

2ND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXIST. WALL TO REMAIN
- EXIST. WALL TO BE REMOVED
- NEW PARTITION WALL

Studio: CrowleyHall, PLLC

2017 Park Road, NW
Washington, DC 20210
P: 202.367.3000 / F: 202.818.4312

DAVIES / QUINONES RESIDENCE

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



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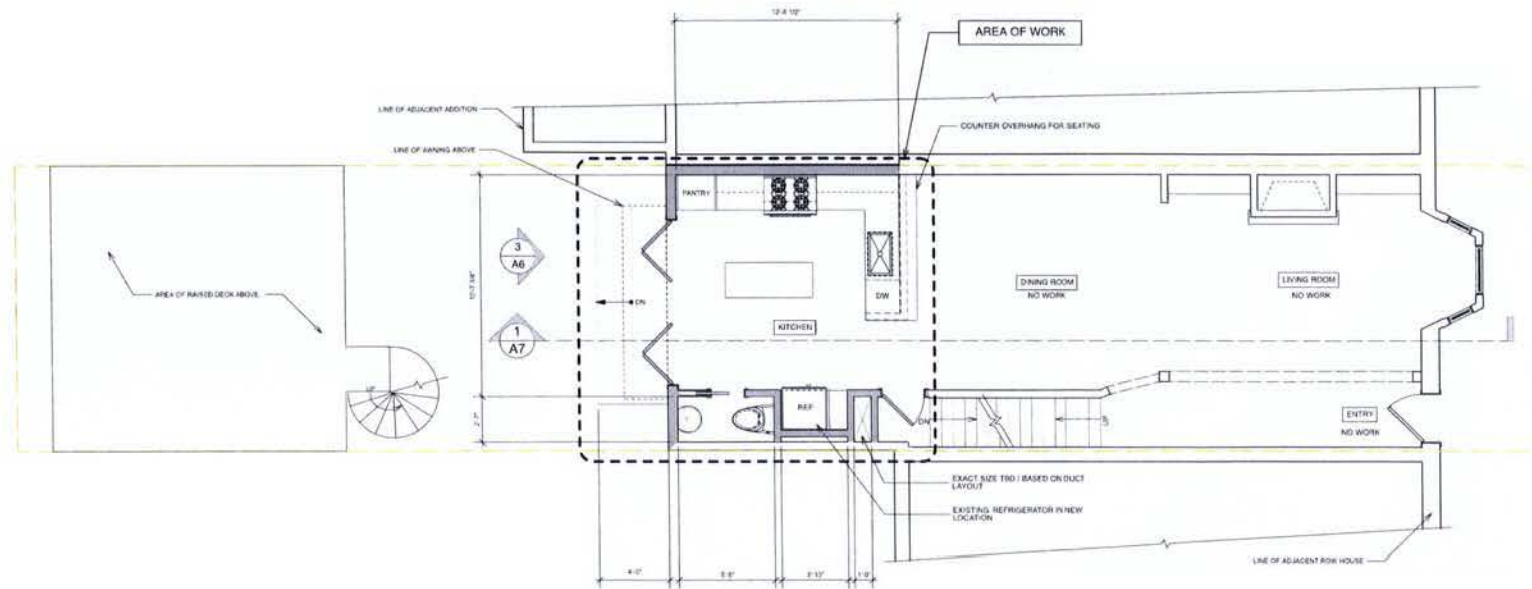
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2ND FLOOR DEMO PLAN

160613 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
08/25/13 HPAB CONCEPT DESIGN
12/07/13 BDA+ARC UPDATES



A2



1
A3
1ST FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXIST. WALL TO REMAIN
- - - - - EXIST. WALL TO BE REMOVED
- NEW PARTITION WALL

GENERAL NOTES

1. Remove existing interior doors as noted; save for re-use.
2. Plan dimensions are to finished face of existing and new walls, unless otherwise noted.
3. Typical interior walls, unless otherwise noted, are 2x4 wood stud walls with 1/2" G.W.B. each side.
4. Sand, prep, and paint all existing walls, ceilings, wood trim, handrails, and radiators in areas affected by new construction.
5. Patch, sand, stain, and finish existing wood floors throughout, unless otherwise noted.
6. New base trim shall be 1x6 painted wood, unless otherwise noted, verify with Architect. New door/window casing shall be 1x4 painted wood, unless otherwise noted, verify with Architect.

Studio: CrowleyHill, plc

2017 Pine Road, NW
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P: 202-387-2933 F: 202-318-4317

DAVIES / QUINONES RESIDENCE

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



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The drawings and specifications and the ideas, designs and arrangements represented thereby are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

1ST FLOOR PROPOSED PLAN

08/06/13 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
08/20/13 HPMB CONCEPT DESIGN
09/11/13 B2A / ANC UPDATES



A3

1421 Swann Street NW
Washington, DC 20009

[illegible]

Figure 1 illustrates various graphical symbols used in building information modeling. The symbols are organized into three columns, each representing a different type of building information.

- Column 1: Building Elevation**
 - Symbol: A circle with 'A1' inside.
 - Labels: ELEVATION NO., BUILDING ELEVATION, SHEET NO.
- Column 2: Structural Elevation**
 - Symbol: A circle with 'A1' inside.
 - Labels: STRUCTURAL NO., BUILDING ELEVATION, SHEET NO.
- Column 3: Level of Floor**
 - Symbol: A circle with 'A1' inside.
 - Labels: ELEVATION NO., DETAIL CALL OUT, SHEET NO.

The figure also includes a legend for building materials and construction types, represented by different patterns and colors:

- WOOD FRAMING
- WOOD BLOCKING OR SHIM
- PLYWOOD
- 2x4x8 WOOD
- INSULATION
- GLUE INSULATION
- GYPHUM
- BRICK
- CONCRETE MASSWY
- CONCRETE
- METAL
- TILE
- STONE
- NEW CONSTRUCTION (SHEAL STAB)

A0	COVER SHEET
A1	1ST FLOOR DEMOLITION PLAN
A2	2ND FLOOR DEMOLITION PLAN
A3	1ST FLOOR PROPOSED PLAN
A4	2ND FLOOR PROPOSED PLAN
A5	ROOF PLAN
A6	EXTERIOR ELEVATIONS
A7	BUILDING SECTION

1. All work and materials shall comply with all local and governing codes.
2. All work and materials shall be provided and installed by qualified personnel in a workmanlike manner.
3. Contractor shall be responsible for the removal of their kind and installed in accordance with manufacturer's instructions.
4. owner shall be responsible for permits and fees associated with this work. Contractor shall be responsible for the collection.
5. Contractor shall verify existing conditions in field prior to submitting a bid or beginning construction. Should the Contractor find any discrepancies, omissions, ambiguities or conflicts within the Contract Documents, or should he be in doubt as to their meaning or interpretation, he should immediately notify the Architect in writing prior to the contract to the beginning of work.
6. Contractor to coordinate all required utility work.
7. Contractor to maintain clean and secure premises at all times.
8. **Do not scale drawings. Written dimensions on these drawings have precedence over dimensions on drawings. Contact the Architect for dimensions and clarification.**
9. All dimensions are to finished face of walls unless otherwise noted.
10. All dimensions shall be checked and verified by the Contractor prior to beginning the work. Notify the Architect if you have any discrepancies.
11. Contractor to follow strictly all manufacturer's written directions and recommendations when using or installing products.

EXISTING USE:	R-4
PROPOSED USE:	R-4
MAXIMUM HEIGHT:	2 Stories plus basement
EXISTING HEIGHT:	No change / 2 stories
PROPOSED HEIGHT:	No change / 2 stories
MAXIMUM FAR:	None Prescribed
EXISTING LOT OCC:	69%
PROPOSED LOT OCC:	70% (Pending BZA approval)
MAXIMUM LOT OCC:	60%

CLIENT
Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009

ARCHITECT
Studio CrowleyHall, PLLC
2017 Park Road, NW
Washington, DC 20010
(202) 387 - 3003
(202) 318 - 4317 (fax)
info@studiocrowleyhall.com

INTERNATIONAL BUILDING CODE 2006
INTERNATIONAL RESIDENTIAL CODE 2009
with related D.C. addendum and Zoning Requirements

BUILDING: ICC/IBC 2006 & DCMR 12A-2008
EXIST BLDG: ICC/ABC 2006 & DCMR 12J-2008
MECH: ICC/IMC 2006 & DCMR 12E-2008
ELEC: NFPA NEC 2005 & DCMR 12C-2008
FIRE: IFC 2006 & DCMR 12H-2008
ENERGY: ICC/IECC 2006 & DCMR 12I-2008
FUEL GAS: IFGC 2006 & DCMR 12D-2008
PLUMB: ICC IPC 2006 & DCMR 12F-2008

PROPERTY LOCATION

RECEIVED
U.S. OFFICE OF TOLSON

2013 OCT -8 PM 2:55

Studio Crowley-Hall, pllc

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



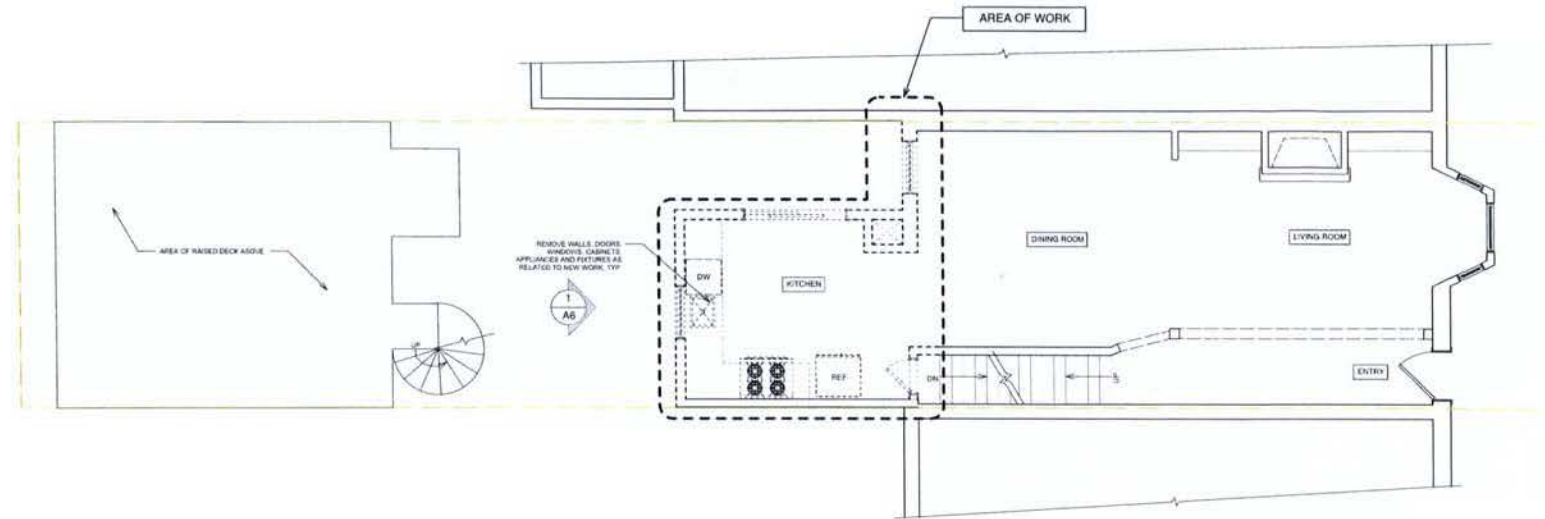
Copyright 2013 Stefan Corvazier, LLC

The drawings and specifications—and the ideas, designs and arrangements represented hereby—will and shall remain property of the architect. No part thereof shall be copied, duplicated or used in connection with any work or project or by any other person for any purpose other than that for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly confined to the full and entire payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to the client, the client grants to the architect a nonexclusive, nonexclusive license to construct the building depicted on the plans and/or site, and only on the site identified in the plans.

06/06/13 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
08/22/13 HFRB CONCEPT DESIGN
10/01/13 BZA / ANC UPDATES

COVER SHEET

A0



GENERAL DEMOLITION NOTES

1. Debris resulting from demolition work, except as noted to be re-used, becomes the property of the contractor and shall be disposed of per applicable laws and on a regular basis.
2. Remove wood doors, hardware and trim, and, to extent possible, save for re-use.
2a. Remove all light & plumbing fixtures, window treatments, window air conditioners, etc. not specifically noted on drawings to remain. Prior to disposing of any of these items, review with Owner what should be salvaged or re-used.
3. Remove all pipes, ducts, conduits, etc. no longer connected or scheduled to be re-used.
4. Existing electrical and mechanical is not shown, unless otherwise noted. General Contractor is responsible for coordinating work with existing. Verify existing electrical and mechanical demolition / reparation work in field with Architect and Owner. Secure all electrical, mechanical, and plumbing affected by the demolition to protect the existing property systems.
5. General Contractor is responsible for all shoring and bracing related to removal of noted bearing structural conditions scheduled for demolition. GC to notify Architect of an structural, hazardous or other conditions related to this demolition that are different from that conveyed in these drawings.
6. All partitions indicated to be removed as non-load bearing unless otherwise noted.
7. General Contractor to remove all demolition material from site in a prompt and timely manner. No stunting of demolition debris on site. GC is responsible for coordination of demolition activity with local neighborhood and DCRA requirements.
8. General contractor is responsible for securing site and adjacent property during demolition from weather, security, and structural integrity.

SELECTIVE DEMOLITION NOTES

PART 1 GENERAL

1.1 SUMMARY

- A. Selective demolition of interior partitions, systems, and building components designated to be removed.
- B. Selective demolition of exterior facade, structures, and components designated to be removed.
- C. Protection of portions of buildings adjacent to or affected by selective demolition.
- D. Removal of abandoned utilities and wiring systems.
- E. Notification to Owner of schedule of shut-off of utilities which serve occupied spaces.
- F. Pollution control during selective demolition, including noise control.
- G. Removal and legal disposal of materials.
- H. Hazardous Materials: Asbestos and hazardous materials demolition or removal work is not part of this contract. Removal of materials containing asbestos and other hazardous materials is work of a prior separate contract.

1.2 SUBMITTALS

- A. Schedule: Submit for approval selective demolition schedules, including schedule and methods for capping utilities to be abandoned and maintaining existing utility service.
- B. Codes and Regulations: Comply with governing codes and regulations. Use experienced workers.
- C. PROJECT CONDITIONS
- D. Occupancy: Immediate areas of work will not be occupied during selective demolition. The public, including children, may occupy adjacent areas.
- E. Existing Conditions: No responsibility for building or structures to be demolished will be assumed by the Owner.

PART 2 EXECUTION

2.1 SELECTIVE DEMOLITION

- A. Demolition Operators: Do not damage building elements and improvements indicated to remain. Items of salvage value, not included on schedule of salvage items to be returned to Owner shall be removed from structure. Storage on site of items at project time is prohibited.
- B. Utilities: Locate, identify, disconnect, and seal or cap off utilities in buildings to be demolished.
- C. Shoring and Bracing: Provide and maintain interior and exterior shoring and bracing.
- D. Occupied Spaces: Do not close or obstruct stairs, walls, drives, or other occupied or used spaces or facilities without the written permission of the Owner and the authorities having jurisdiction. Do not interrupt utilities serving occupied or used facilities without the written permission of the Owner and authorities having jurisdiction. If necessary, provide temporary facilities.
- E. Operations: Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
- F. Security: Provide adequate protection against accidental trespassing. Secure project after work hours.
- G. Restoration: Restore finished or patched areas.

1 1ST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- EXIST. WALL TO REMAIN
- - - - - EXIST. WALL TO BE REMOVED
- ===== NEW PARTITION WALL

Studio: CroweysHall, pbc

2917 Park Road, NW
Washington, DC 20010
P: 202.397.3031 F: 202.319.4312

DAVIES / QUINONES RESIDENCE

Scott Davies & Edel Quinones
1421 Swann Street NW
Washington, DC 20009



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The drawings and specifications—and the ideas, designs and arrangements represented thereby—are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications that constitute constructive evidence and acceptance of these instructions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

1ST FLOOR DEMO PLAN

08/06/13 CONCEPT DESIGN
08/14/13 DESIGN UPDATES
06/22/14 HPB8 CONCEPT DESIGN
10/07/13 B2A / ANC UPDATES

A1