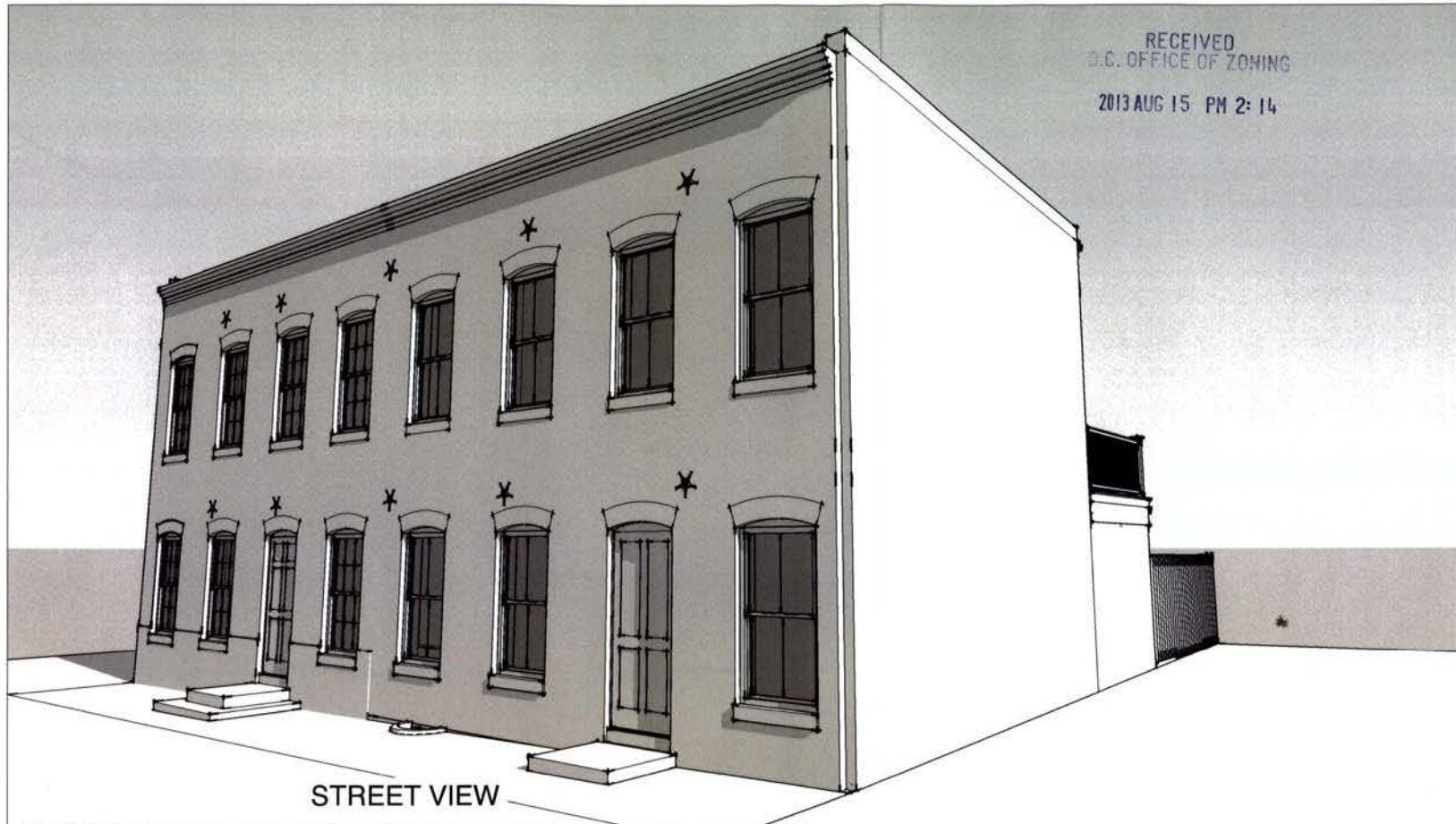


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LIST OF DRAWINGS

COVER SHEET
D1 1ST FLOOR DEMO PLAN
D2 2ND FLOOR DEMO PLAN
L1 1ST FLOOR LANDSCAPE PLAN
A1 1ST FLOOR PLAN
A2 2ND FLOOR PLAN
A3 NORTH ELEVATION
A4 WEST ELEVATION
A5 SOUTH ELEVATION
A6 BUILDING SECTION
A7 BUILDING SECTION
SP1 FINISH SCHEDULE
E1 1ST FLOOR CEILING PLANS
E2 2ND FLOOR CEILING PLANS



STREET VIEW

PROJECT INFORMATION:

JURISDICTION / GOVERNING CODES:

DISTRICT OF COLUMBIA / 2006 IBC AND ALL ADDENDA AND SUPPLEMENT

DESCRIPTION OF BUILDING:

EXISTING 2 STORY SINGLE FAMILY RESIDENCE, LOT: 0824 SQUARE 1287

LOT AREA = 1,056 SF, EXISTING BUILDING AREA = 720 SF, PROPOSED BUILDING AREA = 720 SF

LOT COVER = 615 SF (68%)

ZONING: R4 (HPRB = OLD GEORGETOWN BOARD)

DESCRIPTION OF WORK:

INTERIOR RENOVATION WITH 1ST FLOOR INFILL OF COVERED PORCH AND REBUILDING EXISTING 2ND FLOOR DECK

LOCATION MAP

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18652

EXHIBIT NO. 9

CLIENT
STEPHANIE FUNK
2516 MILL RD NW
WASHINGTON DC
20007

PROJECT
HOME RENOVATION

PROJECT NO.
12-016

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COVER SHEET

Board of Zoning Adjustment
District of Columbia
CASE NO. 18652
EXHIBIT NO. 9



DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., April 26, 2013

Plat for Building Permit of: SQUARE 1287 LOT 824

Scale: 1 inch = 10 feet Recorded in Book A & T Page 3411 - C

Receipt No. 13-03969

Furnished to: ERIC PETERSON

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

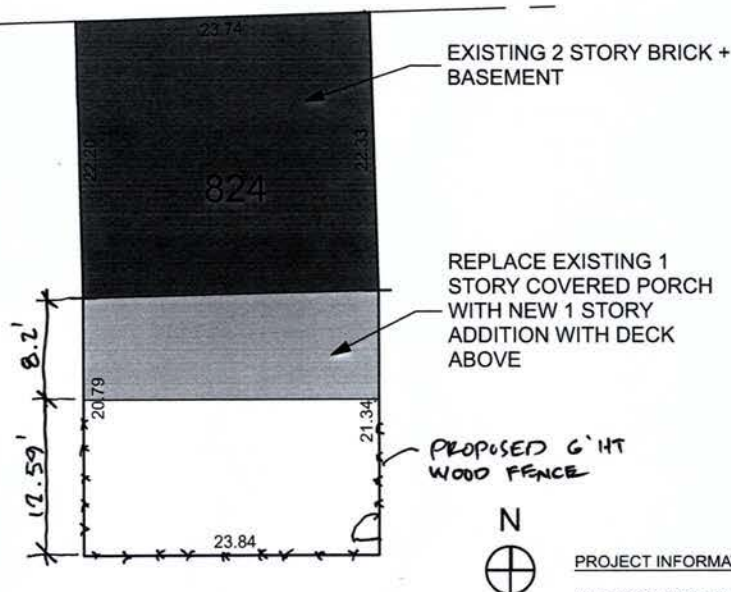
Bob My
Surveyor, D.C.

By: A.S. 137

Date: 3 MAY 2013
EP
(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

MILL ROAD, N.W.



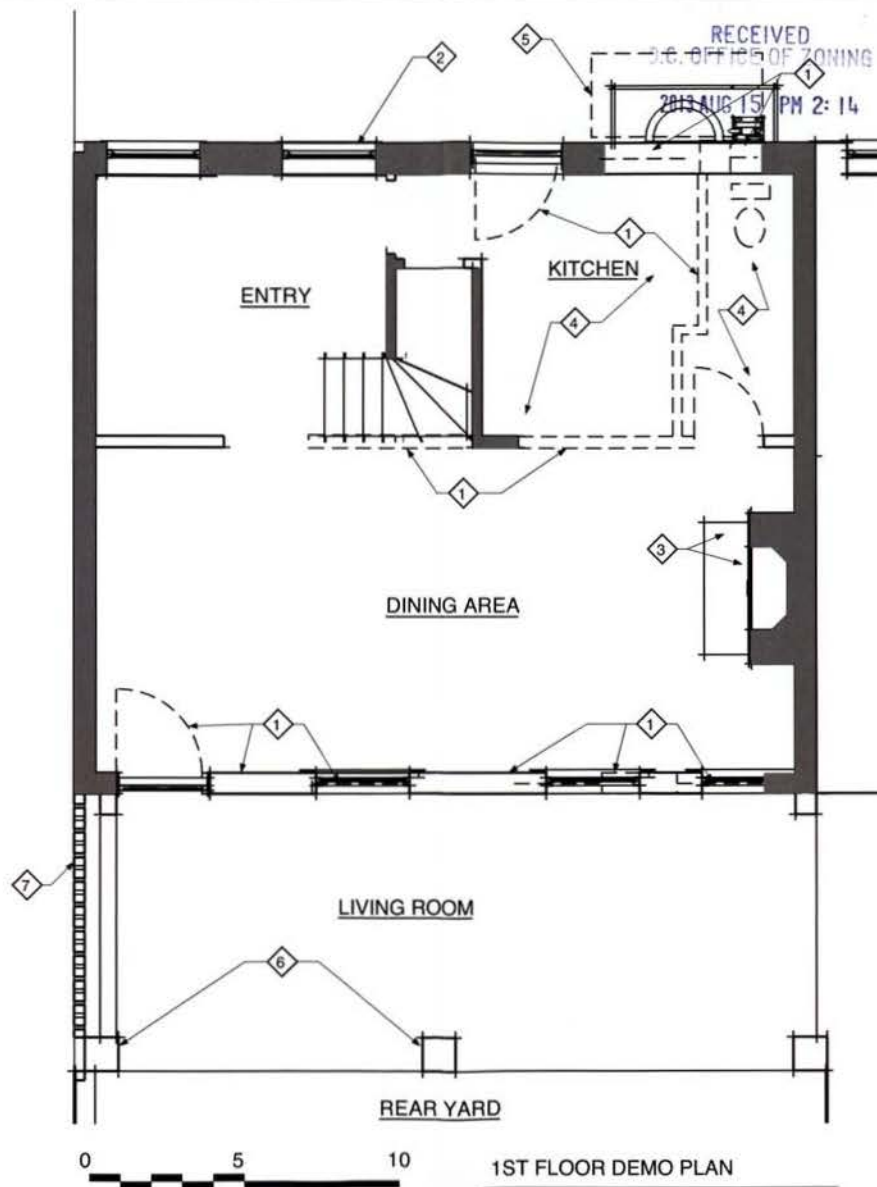
PROJECT INFORMATION

ADDRESS: 2516 MILL RD NW

LOT AREA: 1,032 SF
EXISTING BUILDING AREA: 522.5 SF
PROPOSED ADDITION AREA: 200 SF
EXISTING LOT OCCUPANCY: 722 SF (70%)
PROPOSED LOT OCCUPANCY 722 SF (70%)

ZONING: R-5-B
REAR YARD SET BACK: 15 FT MIN

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SHEET NOTES

- 1 DEMO EXISTING CONSTRUCTION, PATCH SURFACES TO MATCH ADJACENT
- 2 DEMO EXISTING WINDOW, CUT SILL FOR NEW DOOR OPENING
- 3 DEMO FIREPLACE MANTLE, SURROUND AND HEARTH
- 4 DEMO ALL BATHROOM AND KITCHEN APPLIANCES, FIXTURES AND FINISHES
- 5 DEMO METAL FENCING
- 6 DEMO DECK AND DECK FRAMING
- 7 DEMO BRICK SCREEN WALL

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE

WALL TYPES

- EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED
- NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER
- EXISTING PARTITION OR BUILDING ELEMENT



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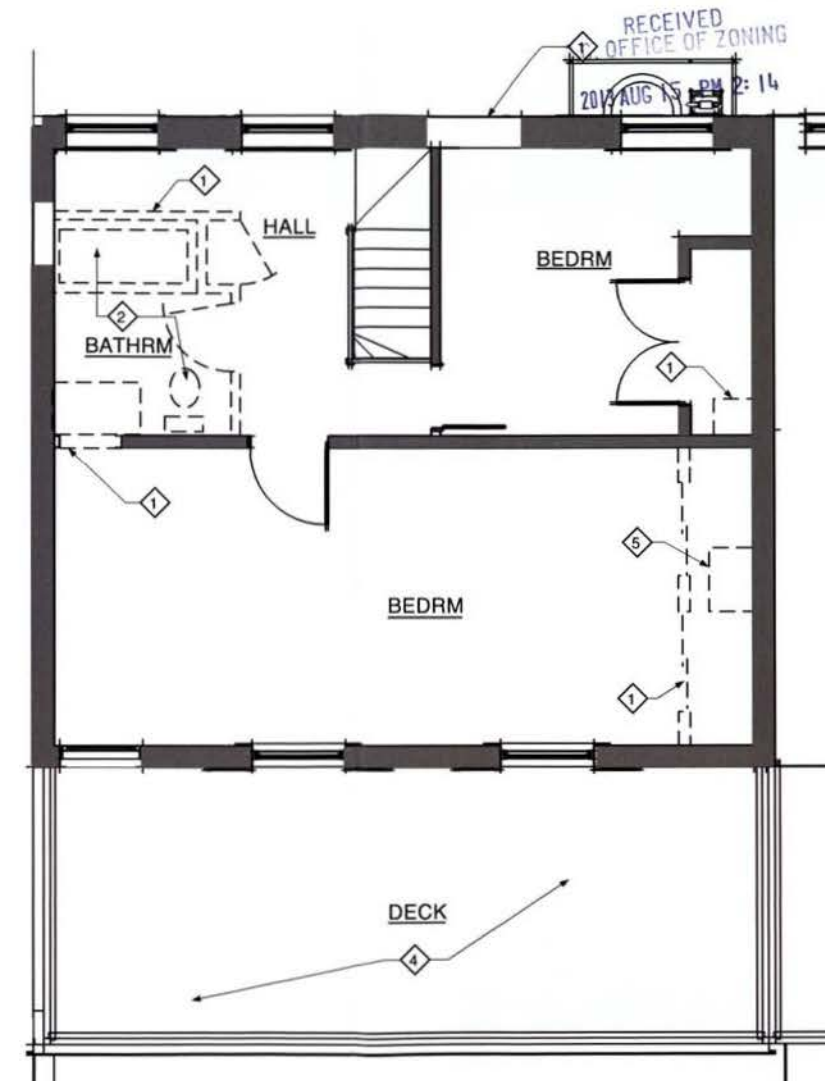
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PROJECT NO.
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1ST FLOOR
DEMO PLAN

D1



1 2ND FLOOR DEMO PLAN
Scale: 1/4" = 1'-0"

SHEET NOTES	
1	DEMO EXISTING CONSTRUCTION, PATCH SUFACES TO MATCH ADJACENT
2	DEMO ALL BATHROOM AND KITCHEN APPLIANCES, FIXTURES AND FINISHES
3	DEMO METAL FENCING
4	DEMO DECK AND DECK FRAMING
5	DEMO BRICK CHIMNEY

WALL TYPES	
	EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED
	NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER
	EXISTING PARTITION OR BUILDING ELEMENT



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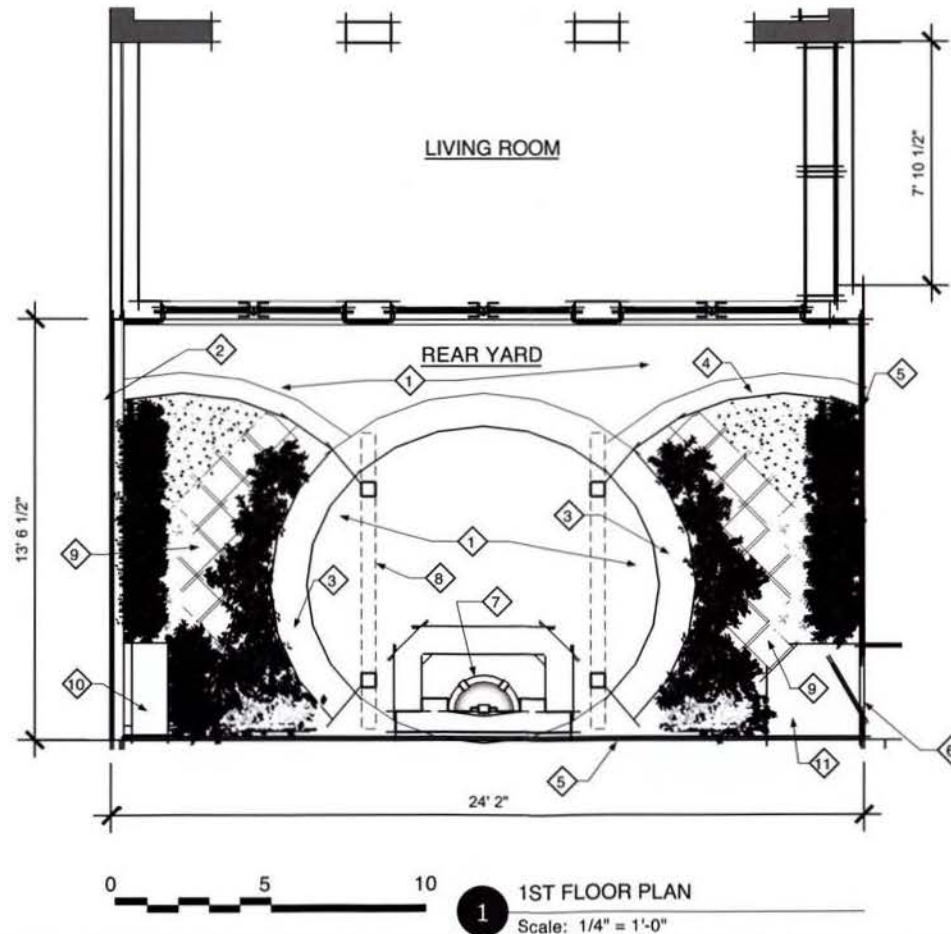
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2ND FLOOR
DEMO PLAN

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SHEET NOTES

- 1 DEMO EXISTING PAVING AND PLANTING AND INSTALL NEW BRICK PAVING
- 2 NEW PAINTED WOOD FENCE
- 3 NEW RAISED BRICK SEAT WALL WITH A STONE CAP STONE
- 4 NEW RAISED BRICK EDGED PLANTING BEDS
- 5 EXISTING WOOD FENCE
- 6 EXISTING WOOD FENCE GATE
- 7 NEW CUSTOM FOUNTAIN STUCCO FINISH AND TILE ACCENTS
- 8 NEW PAINTED WOOD TRELLIS
- 9 PRECAST PAVING STONES
- 10 A/C CONDENSING UNIT
- 11 TEXTURED CONC PAD

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE

WALL TYPES

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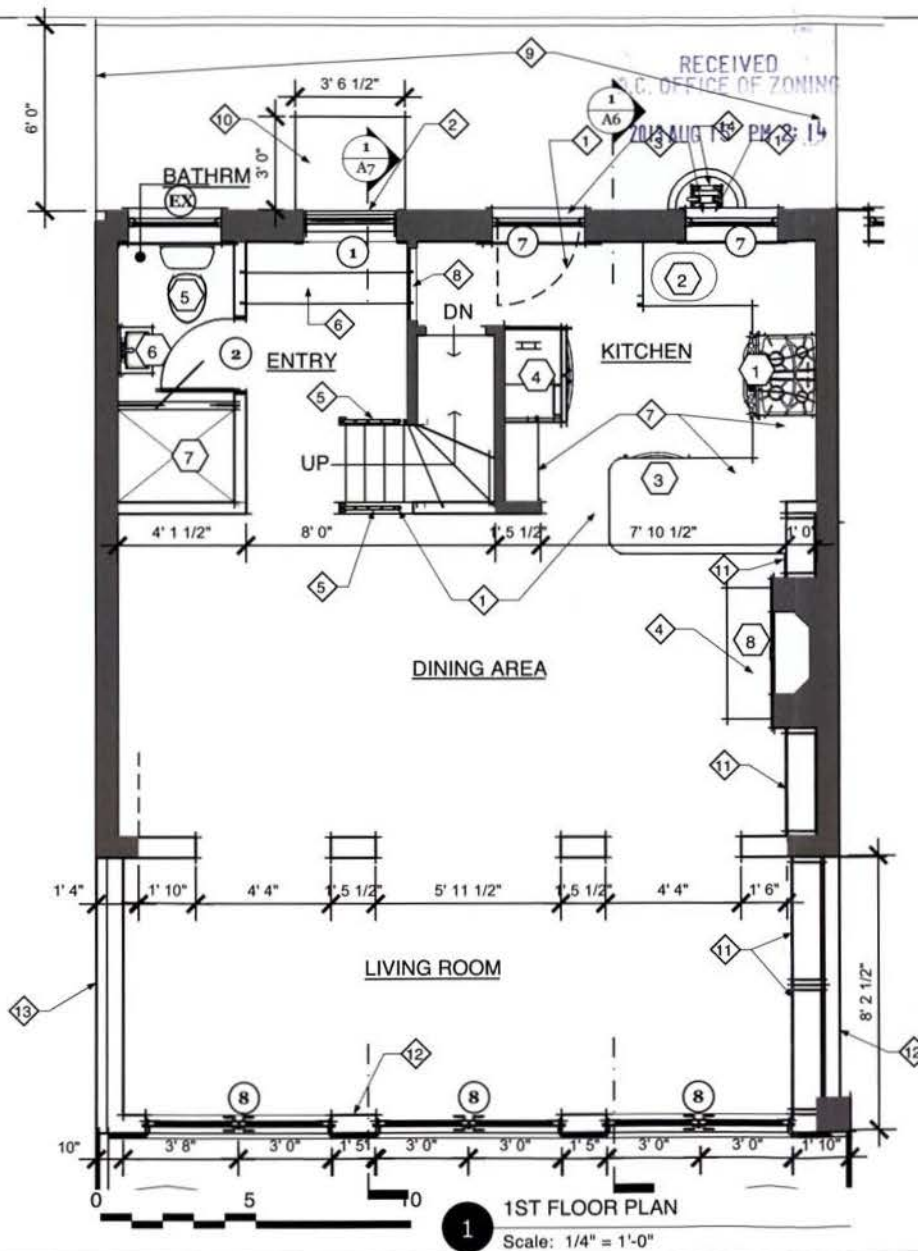
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1ST FLOOR
LANDSCAPE PLAN

L1



1 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"

DOOR AND WINDOW SCHEDULE

- (EX) EXISTING DOOR AND / OR WINDOW
- (ER) EXISTING RELOCATED DOOR AND / OR WINDOW
- (1) NEW MTL ENTRY DOOR - OPENING 2'10" W X 6'8" H
- (2) NEW INTERIOR DOOR - OPENING 2'4" W X 6'8" H
- (3) NEW INTERIOR DOOR - OPENING 2'0" W X 6'8" H
- (4) NEW INTERIOR DOOR - OPENING 2'6" W X 6'8" H
- (5) NEW INTERIOR DBL BI-FOLD DOOR - OPENING 3'0" W X 6'8" H
- (6) NEW INTERIOR CASED OPENING 2'8" W X 6'8" H
- (7) NEW EXTERIOR DBL HUNG WINDOW - OPENING 3'0" W X 7'0" H
- (8) NEW DBL EXTERIOR GLASS DOOR - OPENING 6'0" W X 6'8" H

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE

WALL TYPES

- EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED
- NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER
- EXISTING PARTITION OR BUILDING ELEMENT

SHEET NOTES

- 1 DEMO EXISTING CONSTRUCTION, PATCH SURFACES TO MATCH ADJACENT
- 2 DEMO EXISTING WINDOW, CUT SILL FOR NEW DOOR OPENING
- 3 NEW WINDOW OPENING THAT MATCHES ADJACENT WINDOW OPENING
- 4 NEW FIREPLACE MANTLE, SURROUND AND HEARTH
- 5 NEW MTL BALUSTRADE AND HANDRAIL
- 6 NEW HARD WOOD STEPS
- 7 NEW BASE AND WALL CABINETS
- 8 NEW INFILL CUSTOM SHELVING
- 9 REPLACE BRICK PAVERS WITH NEW BRICK PAVERS IN FRONT OF RESIDENCE
- 10 NEW BRICK PAVER STOOP IN FRONT OF RESIDENCE
- 11 NEW CUSTOM MILLWORK WITH BASE CABINETS AND OPEN SHELVING ABOVE
- 12 NEW EXTERIOR WALL SYSTEM: *2X6 STUDS @16" OC W/ R-19 INSULATION *5/8" EXTERIOR SHEATHING *FIBER CEMENT SIDING OVER SEALED WATER BARRIER *1 HR RATED PARTITION AT PARTY WALL
- 13 NEW EXTERIOR WALL SYSTEM: *4" PAINTED FACE BRICK *2X6 STUDS @16" OC W/ R-19 INSULATION *5/8" EXTERIOR SHEATHING *15 LB BUILDING PAPER 1/2" INTERIOR DRYWALL
- 14 RELOCATE EXISTING GAS METER INTO EXISTING AREAWAY



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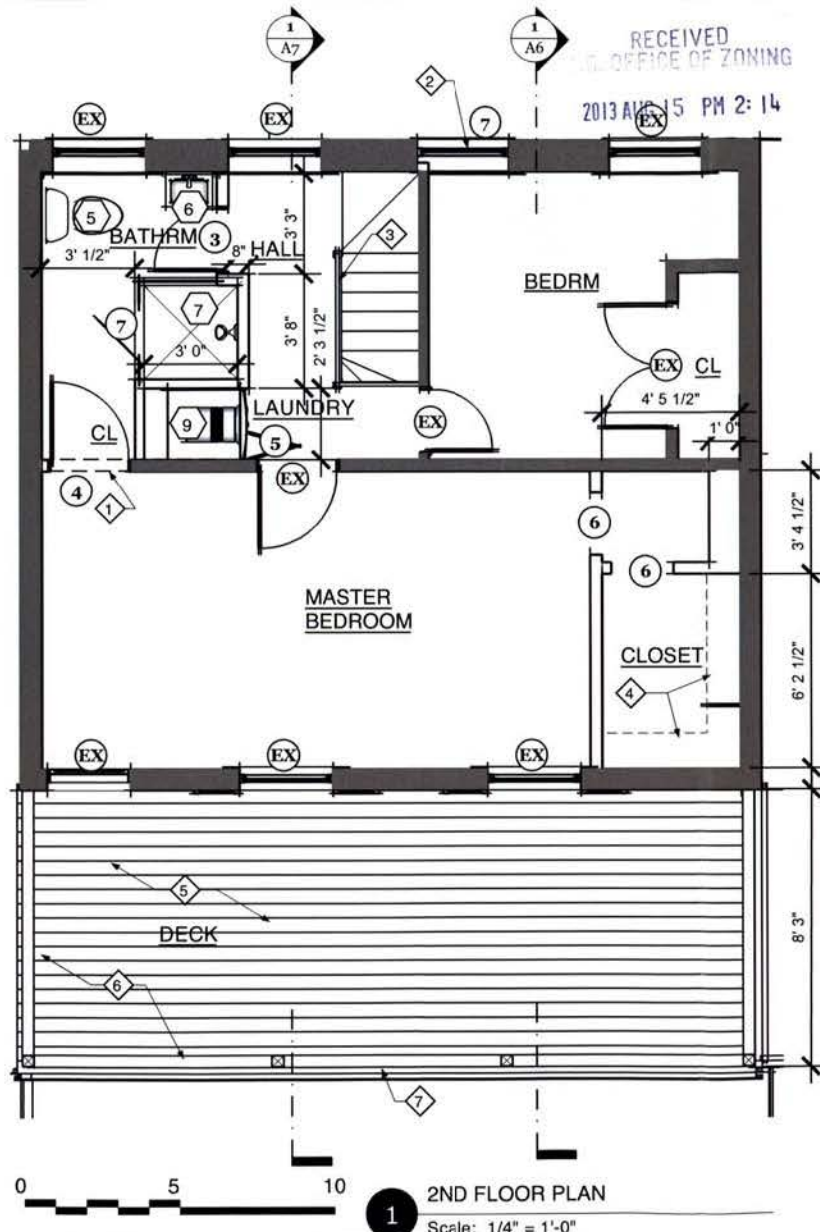
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1ST FLOOR
PLAN

A1



EQUIPMENT SCHEDULE

- | | |
|----|-----------------------------------|
| 1 | NEW STOVE BY OWNER |
| 2 | NEW SINK BY OWNER |
| 3 | NEW DISHWASHER BY OWNER |
| 4 | NEW REFRIG BY OWNER |
| 5 | NEW TOILET BY OWNER |
| 6 | NEW LAVATORY BY OWNER |
| 7 | NEW SHOWER CONTROLS BY OWNER |
| 8 | NEW GAS FIREPLACE INSERT BY OWNER |
| 9 | NEW WASHER/DRYER BY OWNER |
| EX | EXISTING EQUIPMENT |

SHEET NOTES

- | | |
|---|--|
| 1 | DEMO EXISTING CONSTRUCTION, PATCH SURFACES TO MATCH ADJACENT |
| 2 | NEW WINDOW OPENING THAT MATCHES ADJACENT WINDOW OPENING |
| 3 | NEW MTL BALUSTRADE AND HANDRAIL |
| 4 | NEW CLOSET STORAGE SYSTEM |
| 5 | DEMO EXISTING DECK STRUCTURAL SYSTEM AND INSTALL NEW DECK SET ON SLEEPERS OVER NEW ROOF SYSTEM |
| 6 | DEMO EXISTING METAL RAIL AND INSTALL NEW PAINTED WOOD GUARD RAIL |
| 7 | NEW PAINTED WOOD HANDRAIL |

GENERAL NOTES

- | | |
|---|---|
| # | SEE SHEET A2 FOR EQUIPMENT SCHEDULE |
| # | SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE |

WALL TYPES

- | | |
|-----|---|
| --- | EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED |
| --- | NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER |
| --- | EXISTING PARTITION OR BUILDING ELEMENT |



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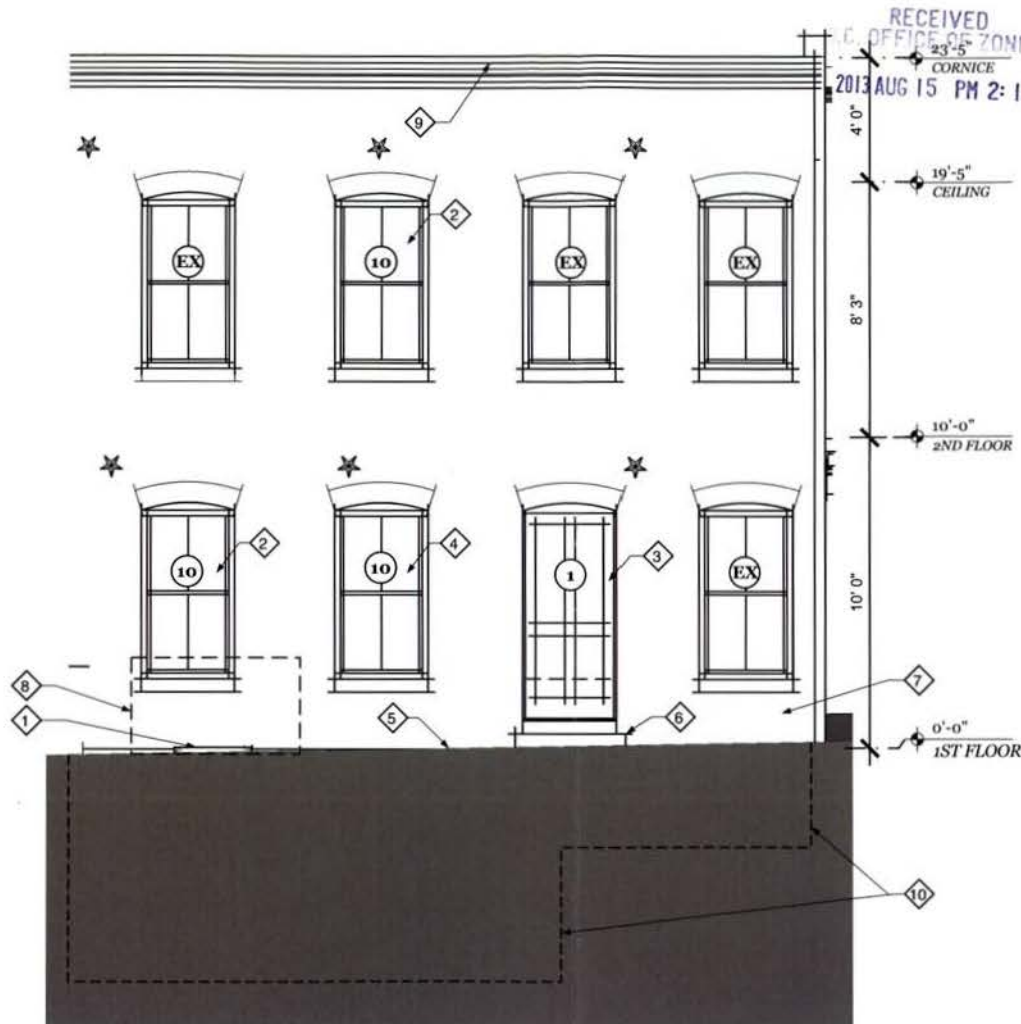
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2ND FLOOR
PLAN

A2



0 5 10

1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

SHEET NOTES

- 1 RELOCATE EXISTING GAS METER INTO EXISTING AREAWAY
- 2 NEW WINDOW OPENING THAT MATCHES ADJACENT WINDOW OPENING
- 3 DEMO EXISTING WINDOW, CUT SILL FOR NEW DOOR OPENING
- 4 DEMO DOOR AND BUILD NEW SILL FOR A NEW WINDOW
- 5 REPLACE BRICK PAVERS WITH NEW BRICK PAVERS IN FRONT OF RESIDENCE
- 6 NEW BRICK PAVER STOOP IN FRONT OF RESIDENCE
- 7 REMOVE ALL LOOSE PAINT AND RE-PAINT FACE BRICK
- 8 DEMO EXISTING METAL RAILING
- 9 REPLACE METAL ROOF TERMINATION WITH NEW
- 10 EXISTING FOUNDATION TO REMAIN

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE



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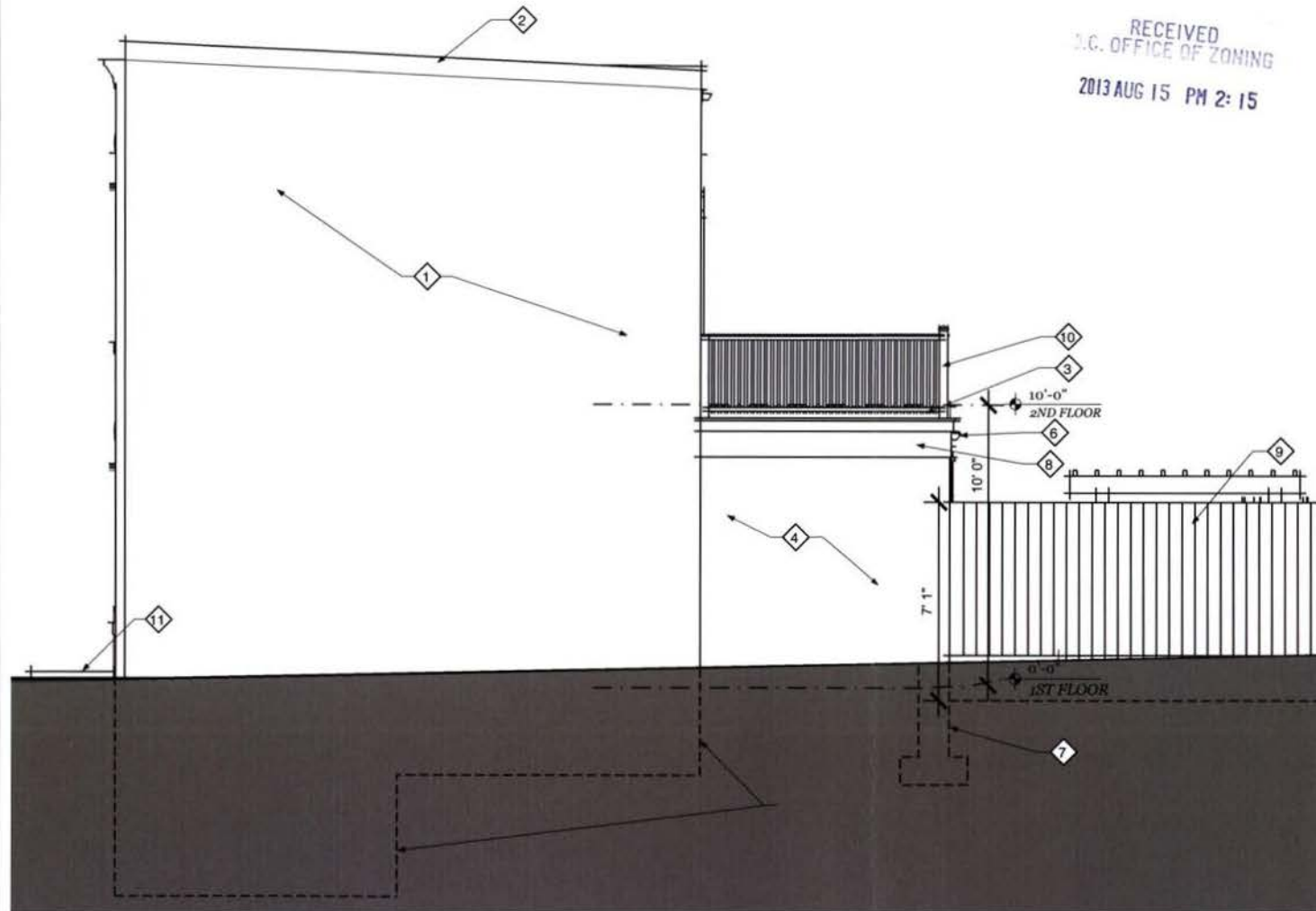
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NORTH ELEVATION

A3



0 5 10

1 WEST ELEVATION
Scale: 1/4" = 1'-0"

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SHEET NOTES

- 1 REMOVE ALL LOOSE PAINT AND RE-PAINT FACE BRICK
- 2 REPLACE METAL ROOF TERMINATION WITH NEW
- 3 NEW LOW SLOPE MEMBRANE ROOFING OVER NEW WOOD ROOF SYSTEM:
*2X10 RAFTERS @16" OC W/ R-30 INSULATION
*5/8" EXTERIOR SHEATHING
*MEMBRANE ROOFING
*PLASTIC WOOD DECKING ON WATERPROOFED SLEEPERS
- 4 NEW EXTERIOR WALL SYSTEM:
*4" PAINTED FACE BRICK
*2X6 STUDS @16" OC W/ R-19 INSULATION
*5/8" EXTERIOR SHEATHING
*15 LB BUILDING PAPER
1/2" INTERIOR DRYWALL
- 5 DEMO EXISTING METAL RAIL AND INSTALL NEW PAINTED WOOD GUARD RAIL
- 6 NEW MTL GUTTER AND RAIN LEADER TIED INTO EXISTING SEWER SYSTEM
- 7 NEW PERIMETER CONT CONCRETE FOOTING AND FOUNDATION
- 8 NEW PAINTED WD FASCIA BD
- 9 NEW PAINTED FENCE
- 10 NEW PAINTED WOOD GUARD RAIL
- 11 NEW BRICK PAVER STOOP IN FRONT OF RESIDENCE

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE



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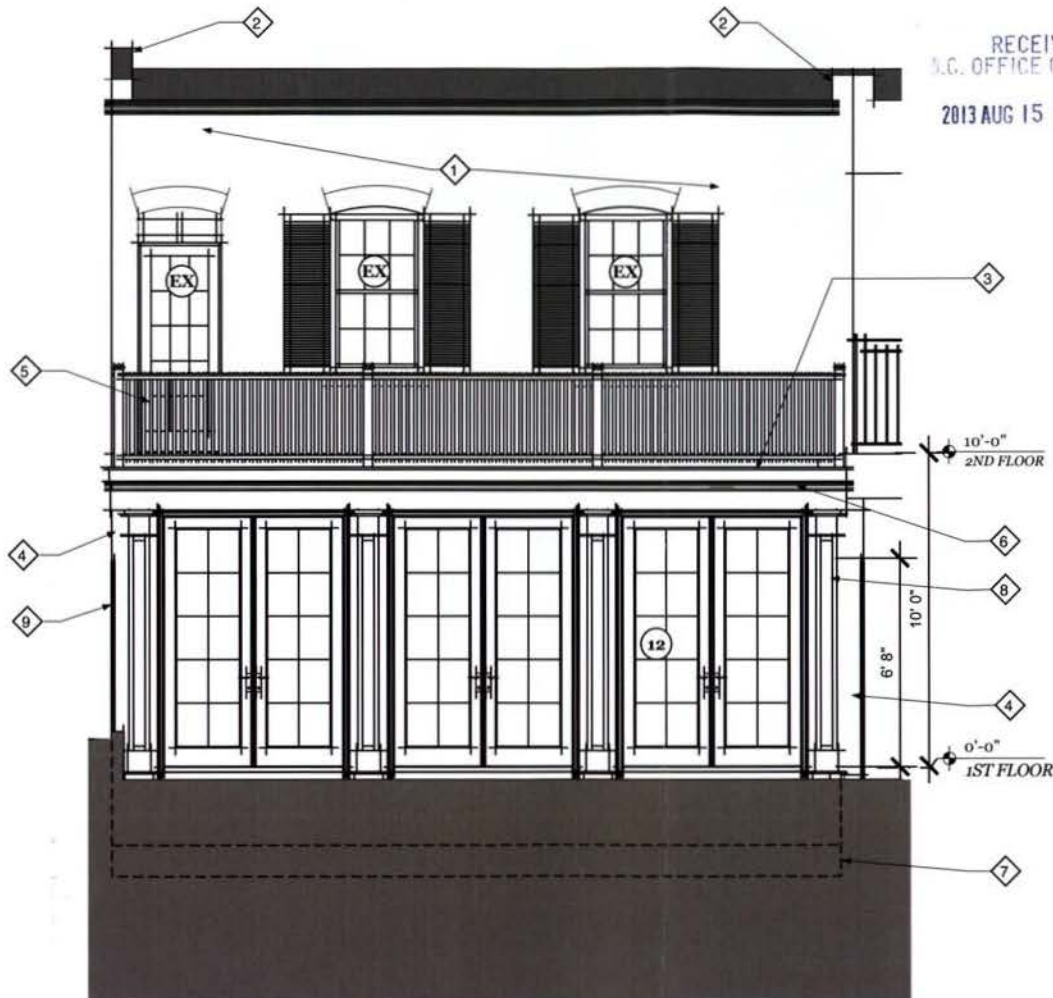
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HOME RENOVATION
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WEST ELEVATION

A4



0 5 10

1

NORTH ELEVATION

Scale: 1/4" = 1'-0"

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SHEET NOTES

- 1 REMOVE ALL LOOSE PAINT AND RE-PAINT FACE BRICK
- 2 REPLACE METAL ROOF TERMINATION WITH NEW
- 3 NEW LOW SLOPE MEMBRANE ROOFING OVER NEW WOOD ROOF SYSTEM:
*2X10 RAFTERS @16" OC W/ R-30 INSULATION
*5/8" EXTERIOR SHEATHING
*MEMBRANE ROOFING
*PLASTIC WOOD DECKING ON WATERPROOFED SLEEPERS
- 4 NEW EXTERIOR WALL SYSTEM:
*4" FACE PAINTED BRICK
*2X6 STUDS @16" OC W/ R-19 INSULATION
*5/8" EXTERIOR SHEATHING
*15 LB BUILDING PAPER
1/2" INTERIOR DRYWALL
- 5 DEMO EXISTING METAL RAIL AND INSTALL NEW PAINTED WOOD GUARD RAIL
- 6 NEW MTL GUTTER AND RAIN LEADER TIED INTO EXISTING SEWER SYSTEM
- 7 NEW PERIMETER CONT CONCRETE FOOTING AND FOUNDATION
- 8 NEW PAINTED WD BUILT-UP PILASTER
- 9 NEW PAINTED FENCE

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE



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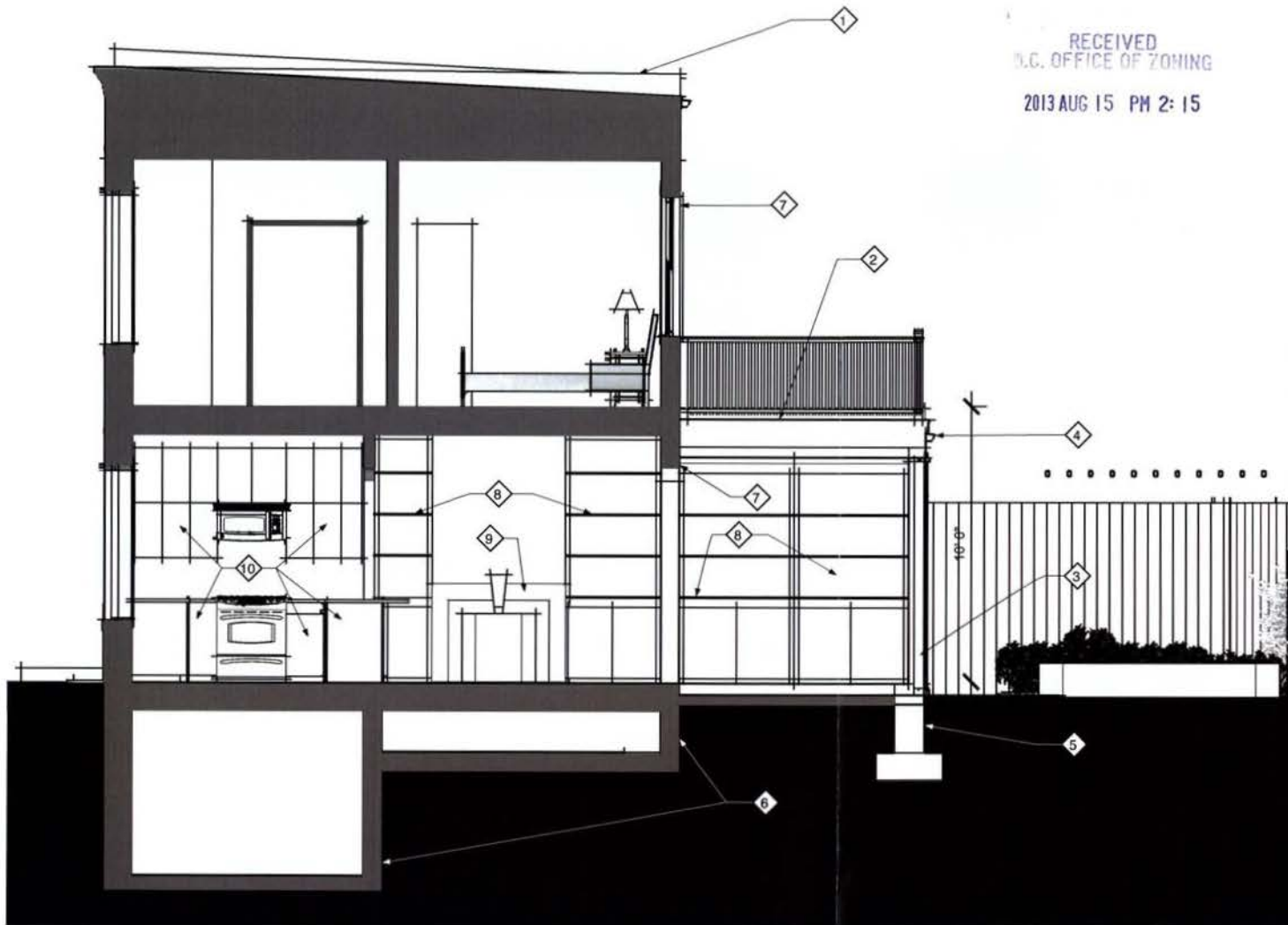
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SOUTH ELEVATION

A5

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0 5 10

1

BUILDING SECTION

Scale: 1/4" = 1'-0"

SHEET NOTES

- 1 REPLACE METAL ROOF TERMINATION WITH NEW
- 2 NEW LOW SLOPE MEMBRANE ROOFING OVER NEW WOOD ROOF SYSTEM:
"2X10 RAFTERS @16" OC W/ R-30 INSULATION
"5/8" EXTERIOR SHEATHING
"MEMBRANE ROOFING
"PLASTIC WOOD DECKING ON WATERPROOFED SLEEPERS
- 3 NEW EXTERIOR WALL SYSTEM:
"2X6 STUDS @16" OC W/ R-19 INSULATION
"5/8" EXTERIOR SHEATHING
"FIBER CEMENT SIDING OVER SEALED WATER BARRIER
- 4 NEW MTL GUTTER AND RAIN LEADER TIED INTO EXISTING SEWER SYSTEM
- 5 NEW PERIMETER CONT CONCRETE FOOT AND FOUNDATION BETWEEN EXISTING BRICK PIER FOOTERS
- 6 EXISTING FOUNDATION TO REMAIN
- 7 NEW BRICK ARCH
- 8 NEW CUSTOM MILLWORK WITH BASE CABINETS AND OPEN SHELVING ABOVE
- 9 NEW FIREPLACE MANTLE, SURROUND AND HEARTH
- 10 NEW BASE AND WALL CABINETS

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE



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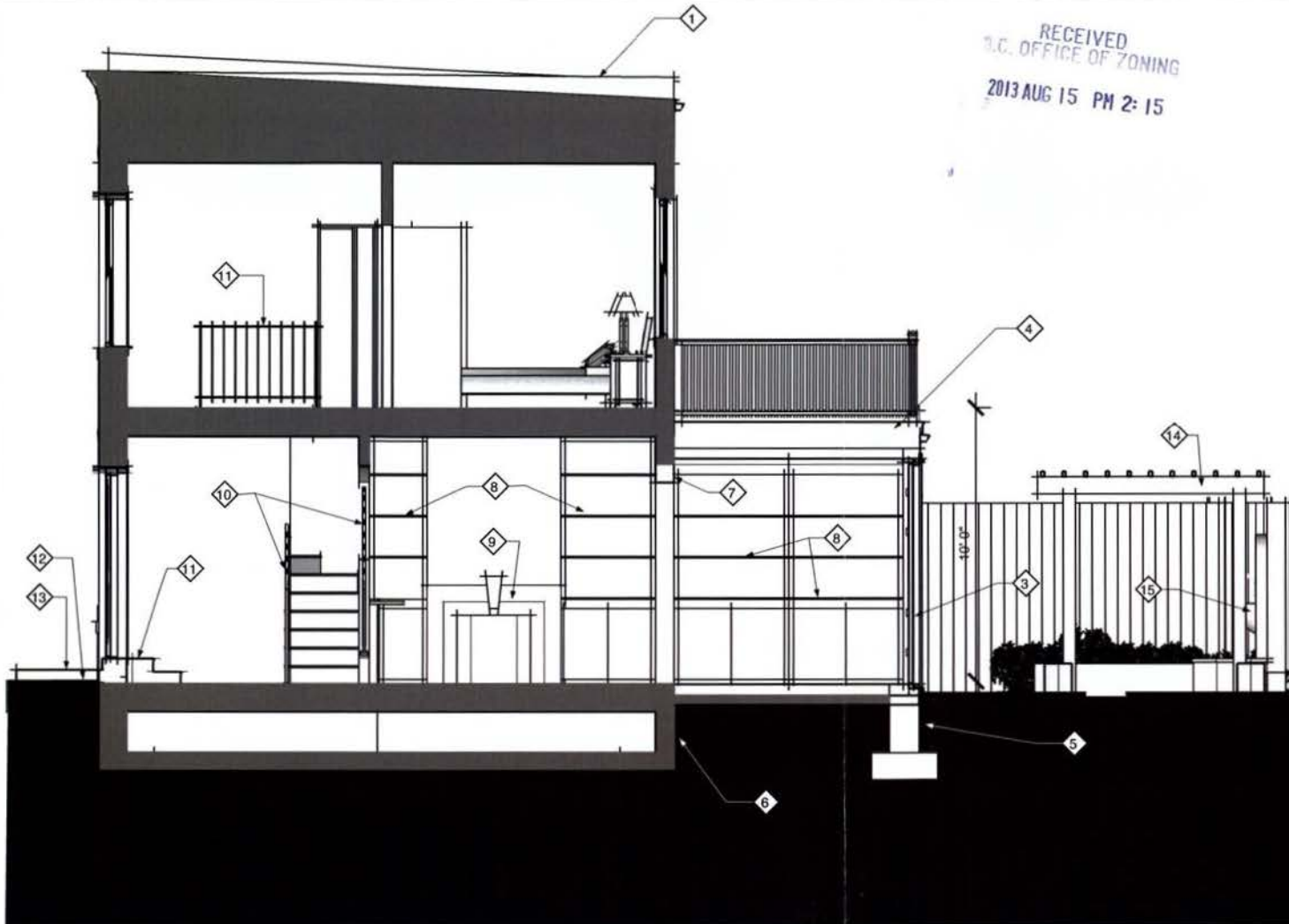
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BUILDING SECTION

A6



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SHEET NOTES

- 1 REPLACE METAL ROOF TERMINATION WITH NEW
- 2 NEW LOW SLOPE MEMBRANE ROOFING OVER NEW WOOD ROOF SYSTEM:
*2X10 RAFTERS @16" OC W/ R-30 INSULATION
*5/8" EXTERIOR SHEATHING
*MEMBRANE ROOFING
*PLASTIC WOOD DECKING ON WATERPROOFED SLEEPERS
- 3 NEW EXTERIOR WALL SYSTEM:
*2X6 STUDS @16" OC W/ R-19 INSULATION
*5/8" EXTERIOR SHEATHING
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- 4 NEW MTL GUTTER AND RAIN LEADER TIED INTO EXISTING SEWER SYSTEM
- 5 NEW PERIMETER CONT CONCRETE FOOT AND FOUNDATION BETWEEN EXISTING BRICK PIER FOOTERS
- 6 EXISTING FOUNDATION TO REMAIN
- 7 NEW BRICK ARCH
- 8 NEW CUSTOM MILLWORK WITH BASE CABINETS AND OPEN SHELVEING ABOVE
- 9 NEW FIREPLACE MANTLE, SURROUND AND HEARTH
- 10 NEW MTL HANDRAIL AND BALUSTRADE
- 11 NEW HARD WOOD STEPS
- 12 REPLACE BRICK PAVERS WITH NEW BRICK PAVERS IN FRONT OF RESIDENCE
- 13 NEW BRICK PAVER STOOP IN FRONT OF RESIDENCE
- 14 NEW PAINTED WOOD TRELLIS
- 15 NEW FOUNTAIN AND RAISED PLANTING BEDS

GENERAL NOTES

- # SEE SHEET A2 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE



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BUILDING SECTION

A7