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D.C. OFFICE OF ZONING

2015 JUL 21 PM 1:53

JACKSON RESIDENCE

761 10TH STREET SE
WASHINGTON, DC 20002

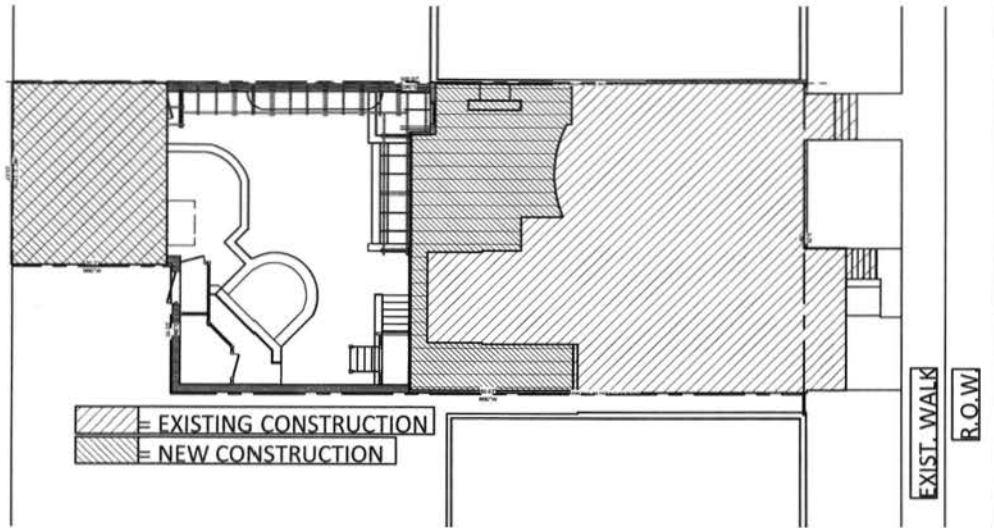
PROPERTY:

HISTORIC DISTRICT: CAPITOL HILL
ZONE: R-4
LOT AREA: 3705 SQ. FT.
LOT: 94
SQUARE: 950

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ALLEY WAY



PROPOSED SITE PLAN
SCALE: 1/16"=1'0"

JACKSON RESIDENCE HISTORIC PLAN CHANGES

Board of Zoning Adjustment
District of Columbia
CASE NO.18640A
EXHIBIT NO.5

SHEET TITLE

JACKSON RESIDENCE
HISTORIC CHANGES

PROJECT DESCRIPTION

JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

DRAWINGS PROVIDED BY:

BOB BERRIZ,
CONTRACTOR

DATE:

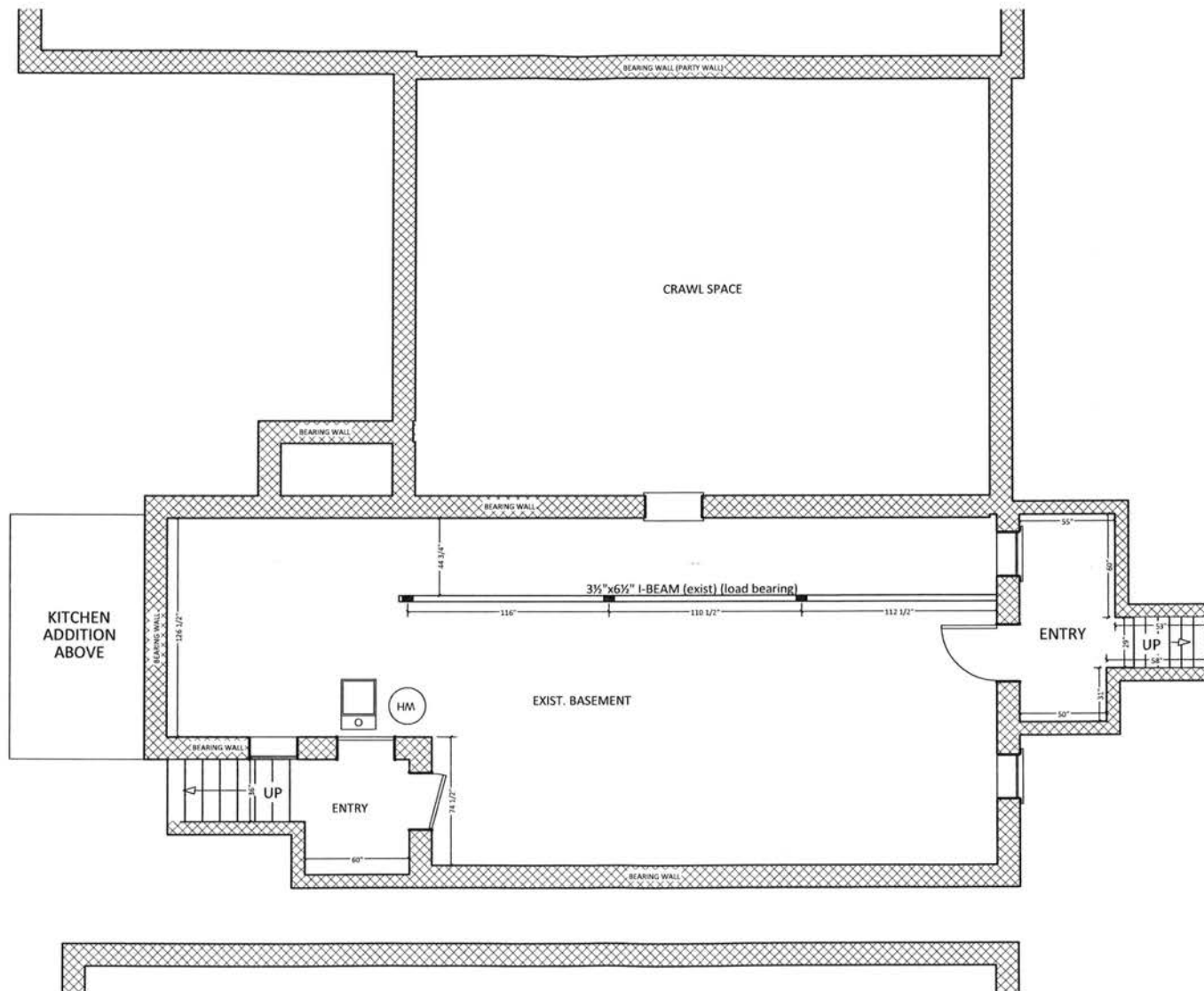
7/30/2015

SCALE:

NOTED

SHEET:

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EXISTING LOWER LEVEL FLOOR PLAN

SCALE: 3/16"=1'0"



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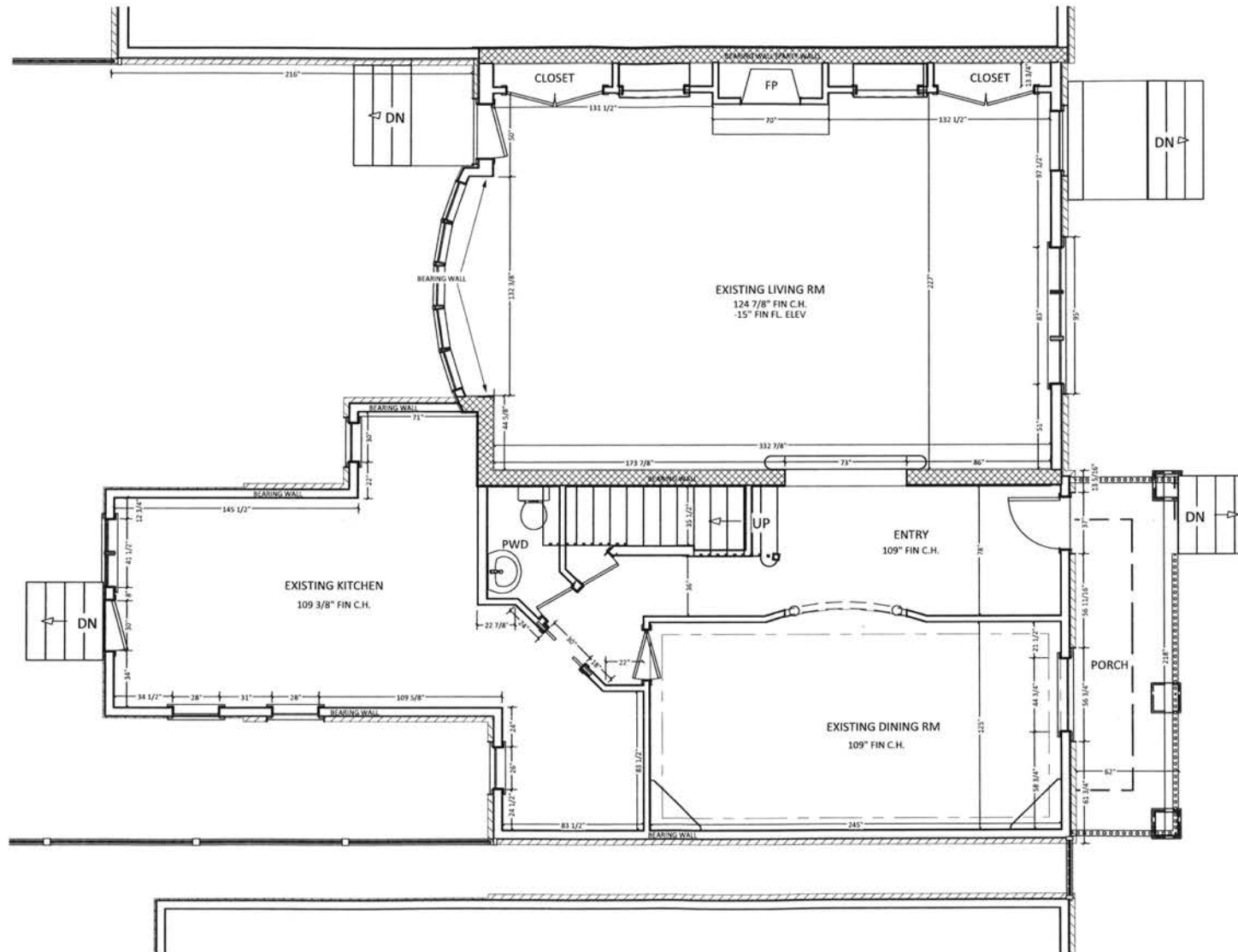
7/30/2015

SCALE:

NOTED

SHEET:

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EXISTING FIRST LEVEL FLOOR PLAN

SCALE: 3/16"=1'0"



JACKSON RESIDENCE
HISTORIC CHANGES

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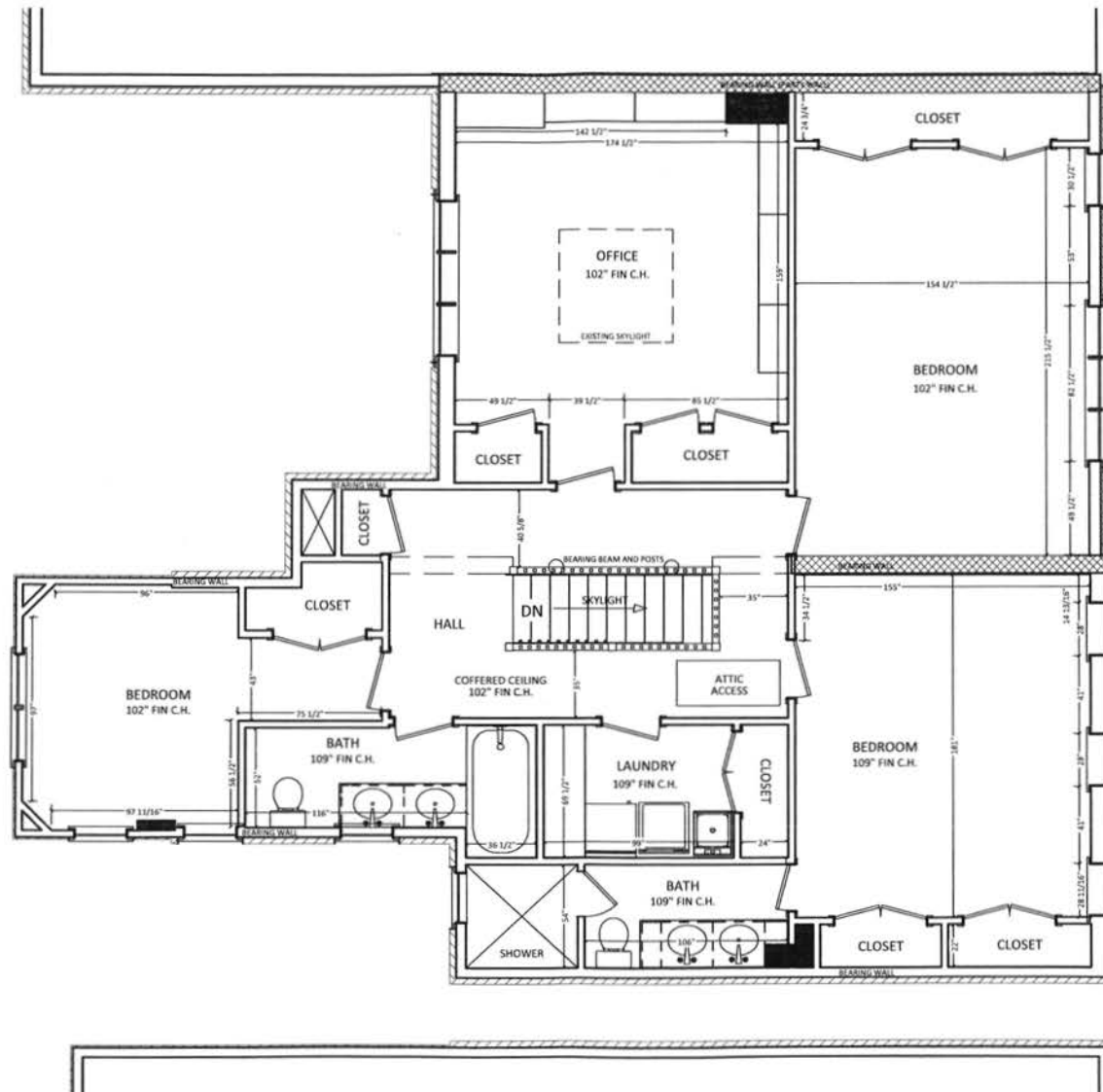
7/30/2015

SCALE:

NOTED

SHEET:

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EXISTING SECOND LEVEL FLOOR PLAN

SCALE: 3/16"=1'0"



**JACKSON RESIDENCE
HISTORIC CHANGES**

JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

**BOB BERRIZ,
CONTRACTOR**

DATE:

7/30/2015

SCALE:

NOTED

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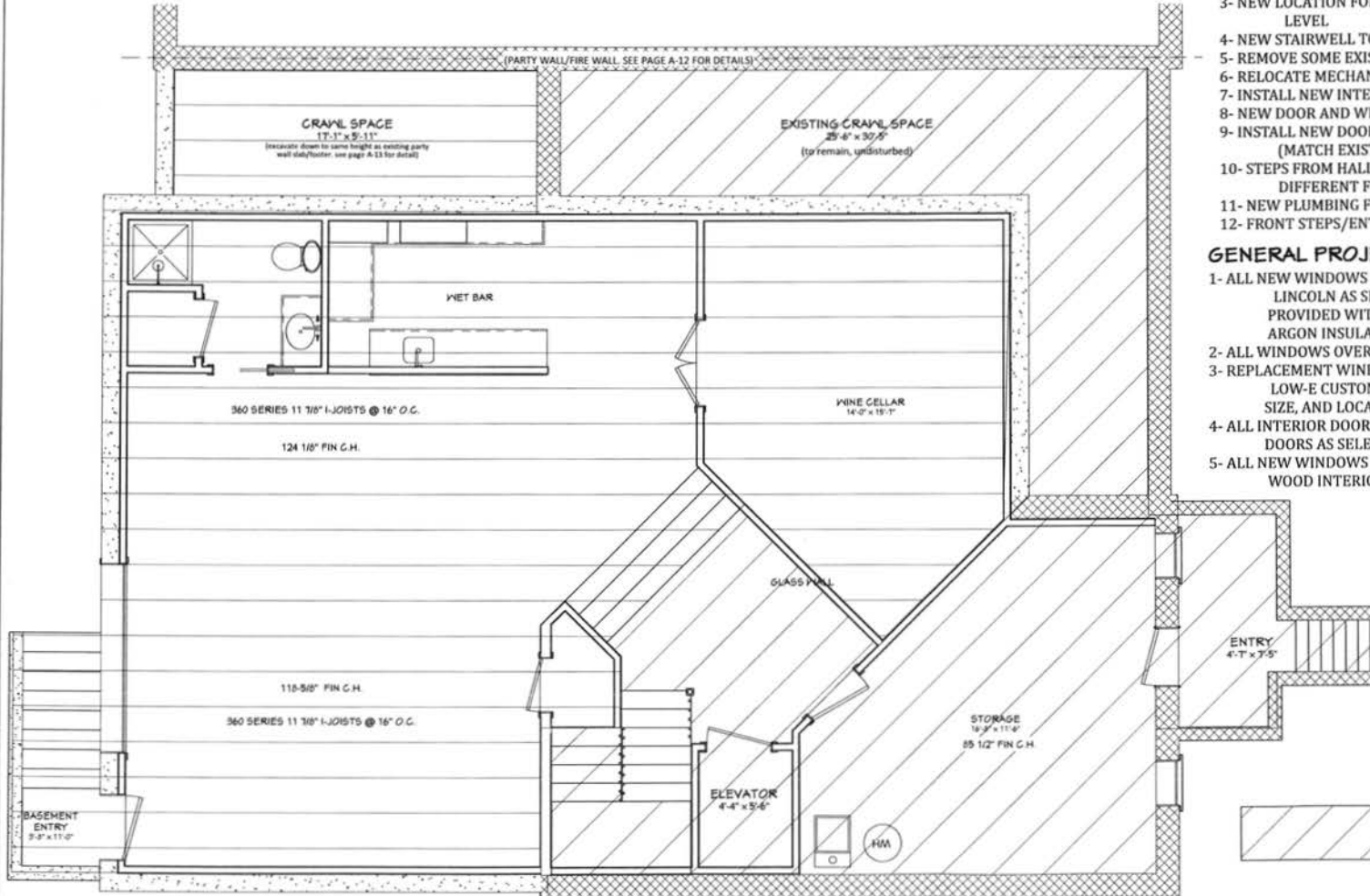
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BASEMENT LEVEL SCOPE OF WORK

- 1- EXCAVATE IN ORDER TO OBTAIN PROPER CEILING HEIGHT PER APPROVED PLANS
- 2- ELEVATOR SHAFT TO EXTEND UP TO SECOND LEVEL
- 3- NEW LOCATION FOR REA EXT. STAIRS LEADING UP TO GRADE LEVEL
- 4- NEW STAIRWELL TO FIRST LEVEL
- 5- REMOVE SOME EXISTING INTERIOR WALLS
- 6- RELOCATE MECHANICAL EQUIPMENT
- 7- INSTALL NEW INTERIOR AND EXTERIOR WALLS PER PLAN
- 8- NEW DOOR AND WINDOWS ON BACK OF HOUSE
- 9- INSTALL NEW DOOR AND WINDOWS ON FRONT OF HOUSE (MATCH EXISTING SIZE, STYLE, AND LOCATION)
- 10- STEPS FROM HALL TO ENTERTAINMENT LEVEL DUE TO DIFFERENT FLOOR HEIGHTS
- 11- NEW PLUMBING FOR BATH AND WET BAR
- 12- FRONT STEPS/ENTRY TO GRADE TO REMAIN UNALTERED

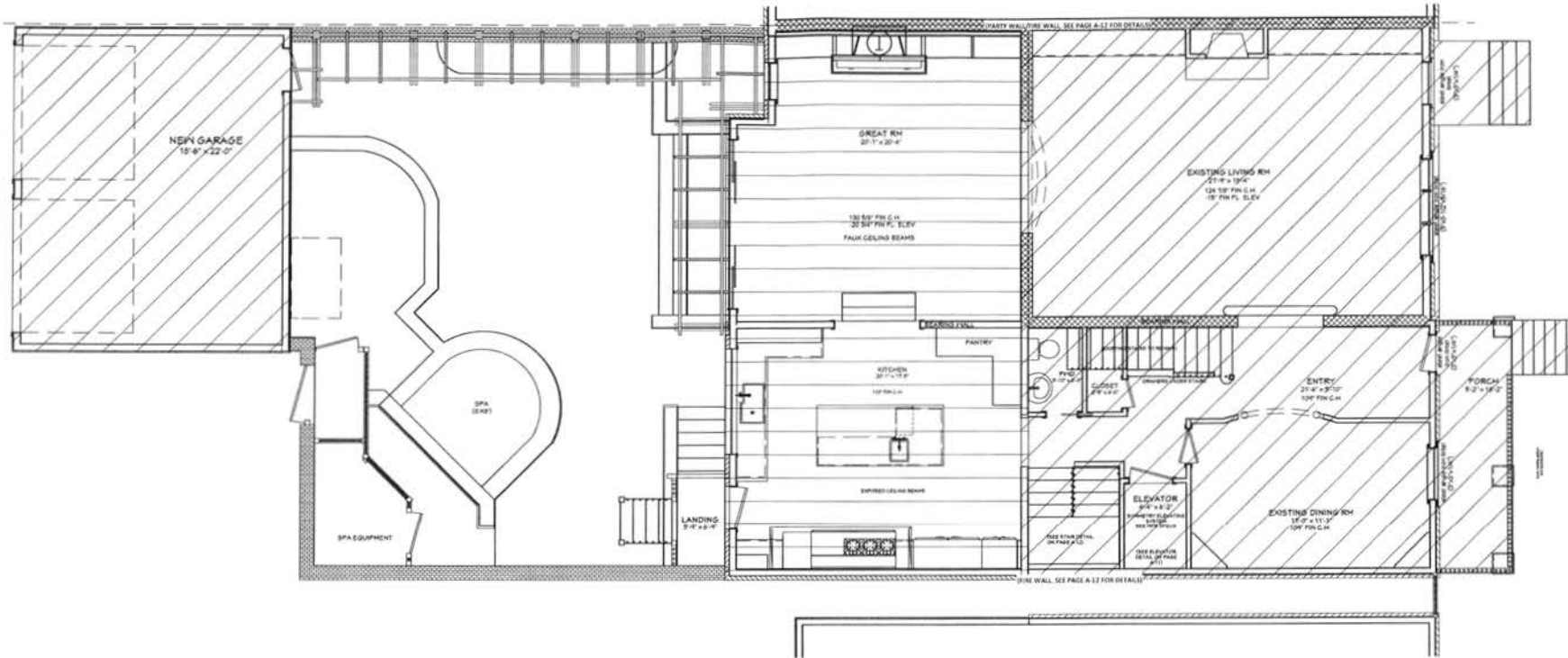
GENERAL PROJECT NOTES:

- 1- ALL NEW WINDOWS AND DOORS SHALL BE MANUFACTURED BY LINCOLN AS SIZED ON THE PLANS OR EQUAL AND SHALL BE PROVIDED WITH DOUBLE GLAZED HIGH PERFORMANCE LOW E3 ARGON INSULATED GLASS W/ U-VALUE @ .31 AND R-VALUE @ 3.23
- 2- ALL WINDOWS OVER 6'0" TALL TO BE TEMPERED GLASS
- 3- REPLACEMENT WINDOWS ON THE FRONT OF THE HOUSE TO BE LOW-E CUSTOM LINCOLN WINDOWS TO MATCH EXISTING STYLE, SIZE, AND LOCATION FOR HISTORIC
- 4- ALL INTERIOR DOORS TO BE SOLID CORE MASONITE PANEL DOORS AS SELECTED BY OWNER
- 5- ALL NEW WINDOWS ALONG FRONT AND REAR OF HOUSE WILL BE WOOD INTERIORS AND ALUMINUM CLAD EXTERIOR



PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 3/16"=1'0"



PROPOSED FIRST LEVEL FLOOR PLAN

SCALE: 1/8"=1'0"

FIRST LEVEL SCOPE OF WORK

- 1- INSTALL ELEVATOR SHAFT
- 2- EXISTING FRONT FOYER STAIRS TO REMAIN
- 3- INSTALL NEW WINDOWS ALONG FRONT OF HOUSE TO MATCH EXISTING SIZE, STYLE, AND LOCATION
- 4- FRONT PORCH AND STOOP TO REMAIN UNALTERED
- 5- REMOVE BACK PORCH AND STEPS AND RELOCATED AS PER DESIGN
- 6- BUILD NEW INTERIOR AND EXTERIOR WALLS AS PER PLANS
- 7- ADD NEW GAS FIREPLACE IN GREAT ROOM AND LIVING ROOM
- 8- INSTALL NEW DOORS AND WINDOWS ON REAR OF HOUSE AND ON GARAGE AS PER PLAN
- 9- INSTALL NEW DOOR AND WINDOWS ON FRONT OF HOUSE (MATCH EXISTING SIZE, STYLE, AND LOCATION)
- 10- INSTALL NEW STAIRWELL TO THE LOWER LEVEL
- 11- INSTALL CEDAR STAINED TRELLIS CONNECTING MAIN HOUSE TO GARAGE
- 12- INSTALL 72" BRICK FENCE

GENERAL PROJECT NOTES:

- 1- ALL NEW WINDOWS AND DOORS SHALL BE MANUFACTURED BY LINCOLN AS SIZED ON THE PLANS OR EQUAL AND SHALL BE PROVIDED WITH DOUBLE GLAZED HIGH PERFORMANCE LOW E3 ARGON INSULATED GLASS W/ U-VALUE @ .31 AND R-VALUE @ 3.23
- 2- ALL WINDOWS OVER 6/0" TALL TO BE TEMPERED GLASS
- 3- REPLACEMENT WINDOWS ON THE FRONT OF THE HOUSE TO BE LOW-E CUSTOM LINCOLN WINDOWS TO MATCH EXISTING STYLE, SIZE, AND LOCATION FOR HISTORIC
- 4- ALL INTERIOR DOORS TO BE SOLID CORE MASONITE PANEL DOORS AS SELECTED BY OWNER
- 5- ALL NEW WINDOWS ALONG FRONT AND REAR OF HOUSE WILL BE WOOD INTERIORS AND ALUMINUM CLAD EXTERIOR



EXISTING STRUCTURE



PROPOSED ADDITION

B **P** **G**
JACKSON RESIDENCE
HISTORIC CHANGES

JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

BOB BERRIZ,
CONTRACTOR

DATE:

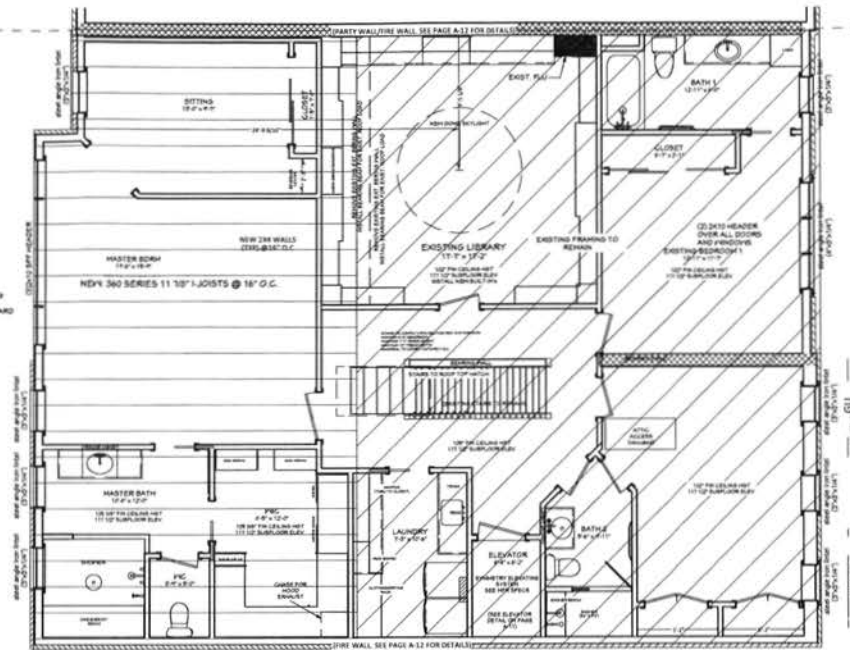
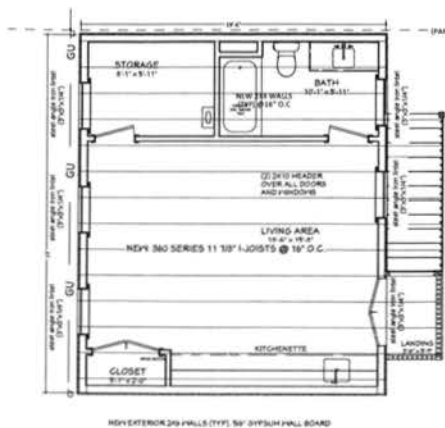
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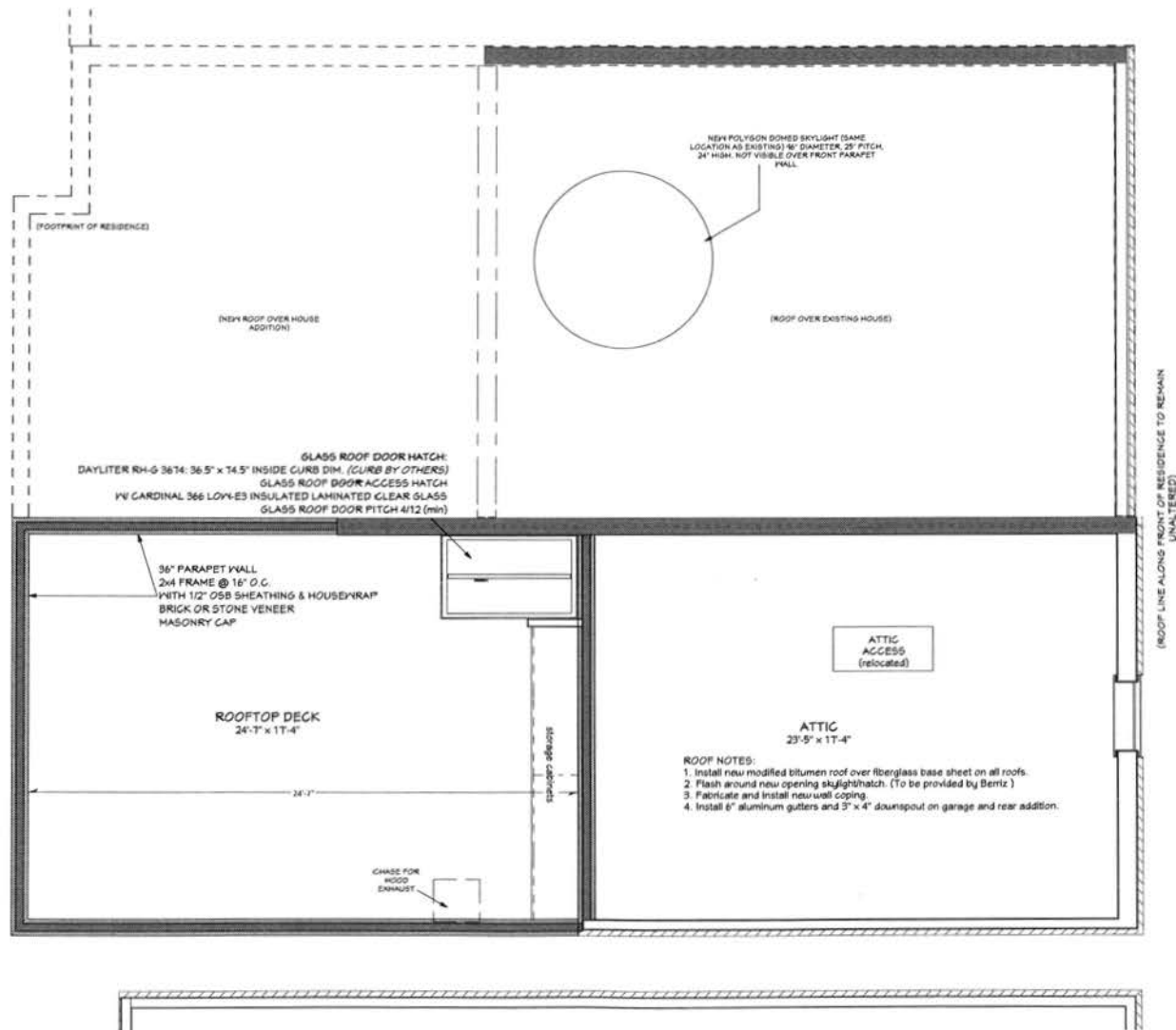
NOTED

SHEET:

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PROPOSED ROOF TOP DECK PLAN

SCALE: 3/16"=1'0"



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REMOVE EXISTING SKYLIGHT AND REPLACE WITH POLYGON DOMED SKYLIGHT IN SAME LOCATION (NOT VISIBLE OVER FRONT PARAPET WALL)

REMOVE PROPOSED WINDOW AND REPLACE WITH NEW WINDOW (DIFFERENT STYLE). LOCATION AND WIDTH REMAIN THE SAME.

POLYGON DOMED SKYLIGHT (SAME LOCATION AS EXISTING) 18" DIAMETER, 25 DEGREE PITCH, 24" HIGH, NOT VISIBLE OVER FRONT PARAPET WALL.



EXTERIOR FINISHES:

- 1- EXTERIOR SIDING SHALL BE HARDI PLANK CONCRETE SIDING AND BRICK TO MATCH EXISTING
- 2- ALL METAL FLASHING SHALL BE ALUMINUM
- 3- ALL EXTERIOR FASCIA BOARDS SHALL BE PRIMED CEDAR OR PINE WITH ALUMINUM GLADDING ON EXPOSED SIDES TO MATCH EXISTING WHERE POSSIBLE
- 4- ROOFING SHALL BE MINIMUM 20 YEAR WARRANTY 6 MIL RUBBER MEMBRANE, INSTALLED AS PER MANUFACTURER SPECIFICATIONS OVER 2" RIGID FOAM
- 5- ROOF TOP DECK MATERIAL TO BE GREATMATS ROOFTOP DECK TILES
- 6- BRICK VENEER LINTELS OVER DOORS AND WINDOWS TO MATCH EXISTING ON FRONT OF HOUSE
- 7- FRONT OF RESIDENCE WILL REMAIN UNALTERED (EXCEPT FOR NEW WINDOWS AND DOORS ALL TO REMAIN IN SAME LOCATION AND HAVE SAME SIZE AND STYLE)
- 8- ALL WINDOWS AND DOORS WILL BE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR

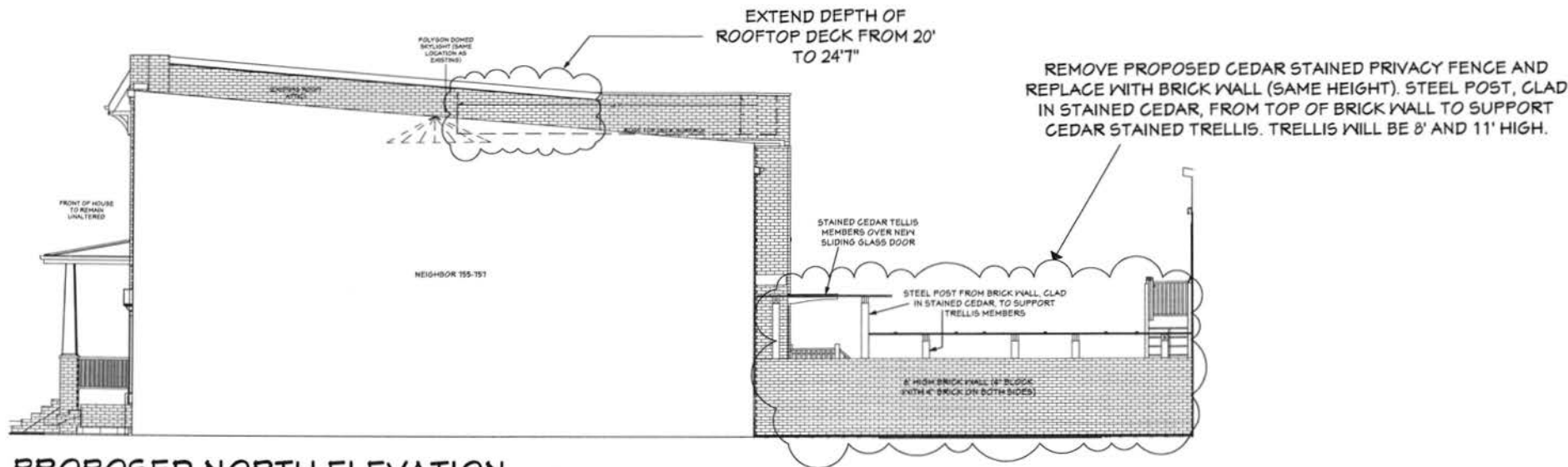
TWO PROPOSED WINDOWS REPLACED WITH SINGLE WINDOW (HEIGHT AND LOCATION REMAIN THE SAME). WIDTH OF NEW WINDOW WILL BE 7'6".

REMOVE PROPOSED TRELLIS OVER DECK (TRELLIS IS MOVED TO LEFT SIDE OF HOUSE)

- 1- REMOVE PROPOSED DOOR AND REPLACE WITH SINGLE WINDOW (SAME WIDTH AND LOCATION)
- 2- REMOVE LARGE WINDOW AND REPLACE WITH 4 PANEL SLIDING GLASS DOOR (SAME WIDTH AND LOCATION)
- 3- ADD STEPS FROM SLIDING DOOR DOWN TO GRADE (BRICK RISERS WITH FLAGSTONE TREADS)
- 4- ADD PLANTER BED WALL (FLAGSTONE CAP AND BRICK FACADE)
- 5- ADD CEDAR STAINED TRELLIS OVER NEW SLIDING GLASS DOOR.
- 6- REMOVE STAINED CEDAR PRIVACY FENCE AND ADD BRICK WALL (SAME HEIGHT), WITH CEDAR CLAD STEEL BEAMS SUPPORTING CEDAR TRELLIS (CONNECTING HOUSE TO GARAGE). TRELLIS HAS A HEIGHT OF 8' AND 11'.

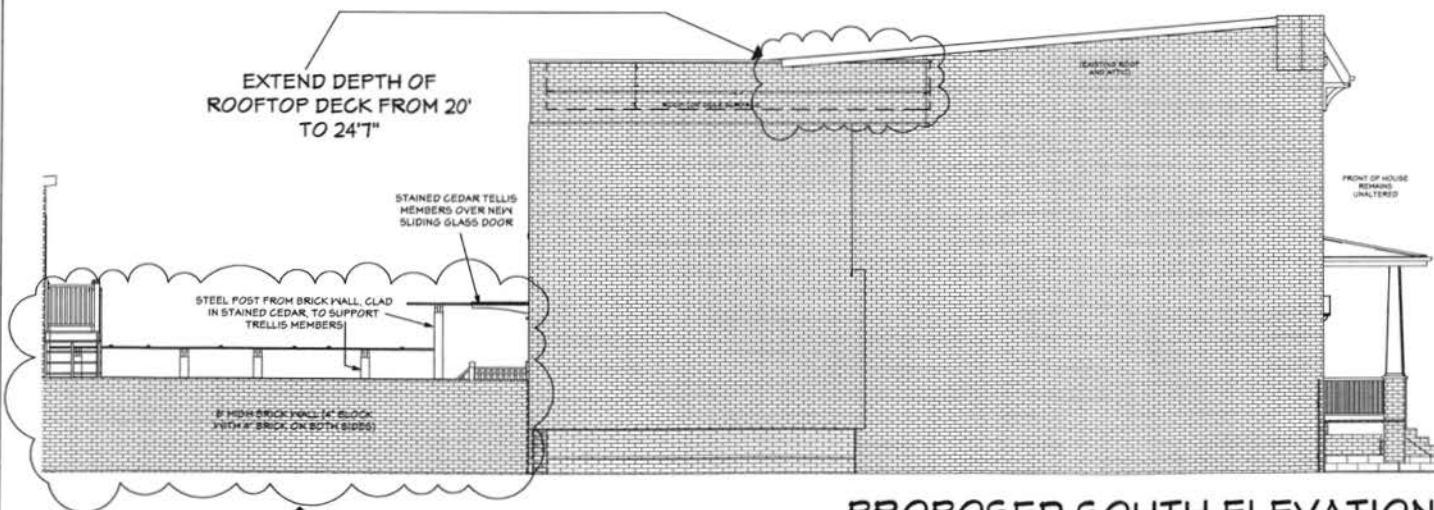
PROPOSED REAR ELEVATION

SCALE: 3/16"=1'0"



PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'0"

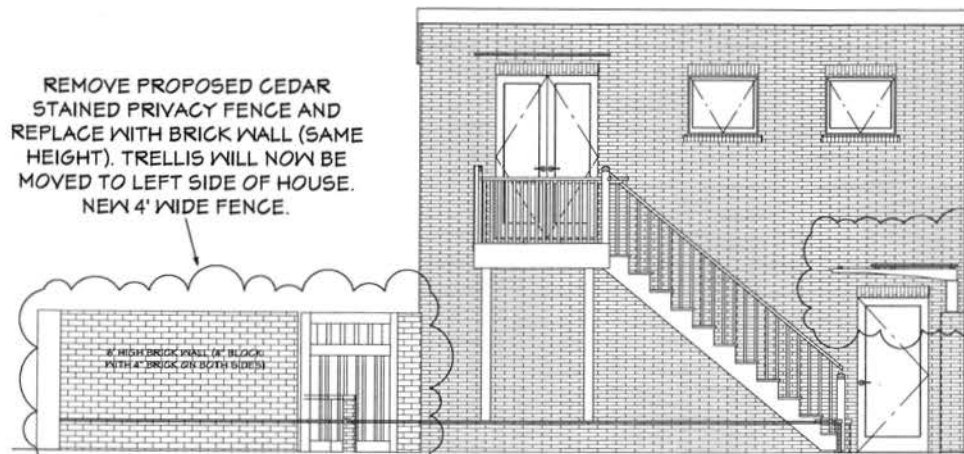


PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'0"

EXTERIOR FINISHES:

- 1- EXTERIOR SIDING SHALL BE HARDI PLANK CONCRETE SIDING AND BRICK TO MATCH EXISTING
- 2- ALL METAL FLASHING SHALL BE ALUMINUM
- 3- ALL EXTERIOR FASCIA BOARDS SHALL BE PRIMED CEDAR OR PINE WITH ALUMINUM CLADDING ON EXPOSED SIDES TO MATCH EXISTING WHERE POSSIBLE
- 4- ROOFING SHALL BE MINIMUM 20 YEAR WARRANTY 6 MIL RUBBER MEMBRANE, INSTALLED AS PER MANUFACTURER SPECIFICATIONS OVER 2" RIGID FOAM
- 5- ROOF TOP DECK MATERIAL TO BE GREATMATS ROOFTOP DECK TILES
- 6- BRICK VENEER LINTELS OVER DOORS AND WINDOWS TO MATCH EXISTING ON FRONT OF HOUSE
- 7- FRONT OF RESIDENCE WILL REMAIN UNALTERED (EXCEPT FOR NEW WINDOWS AND DOORS ALL TO REMAIN IN SAME LOCATION AND HAVE SAME SIZE AND STYLE)
- 8- ALL WINDOWS AND DOORS WILL BE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR



PROPOSED FRONT ELEVATION

SCALE: 3/16"=1'0"

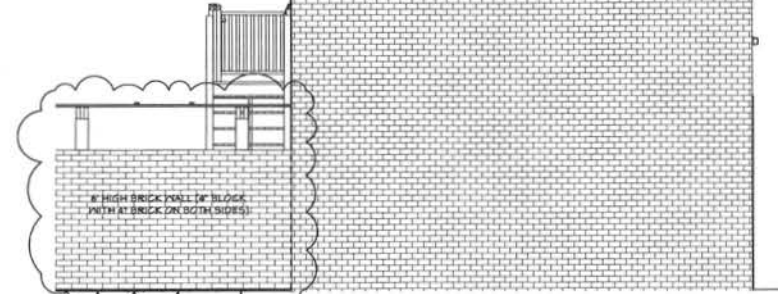


PROPOSED REAR ELEVATION

SCALE: 3/16"=1'0"

REMOVE PROPOSED CEDAR STAINED PRIVACY FENCE AND REPLACE WITH BRICK WALL (SAME HEIGHT). TRELLIS WILL NOW BE MOVED TO LEFT SIDE OF HOUSE. NEW 4' WIDE FENCE.

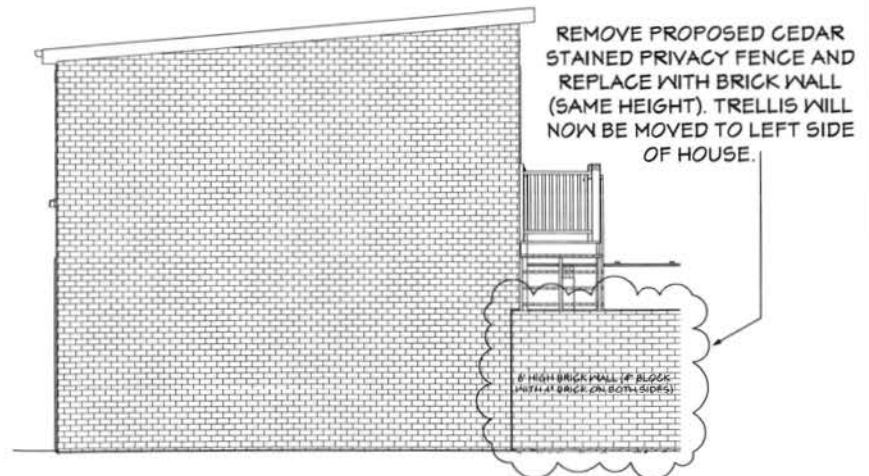
STAINED CEDAR TELLIS MEMBERS EXTEND OVER GARAGE DOOR



REMOVE PROPOSED CEDAR STAINED PRIVACY FENCE AND REPLACE WITH BRICK WALL (SAME HEIGHT). STEEL POST, CLAD IN STAINED CEDAR, FROM TOP OF BRICK WALL TO SUPPORT CEDAR STAINED TRELLIS. TRELLIS WILL BE 8' AND 11' HIGH.

PROPOSED NORTH ELEVATION

SCALE: 3/16"=1'0"



PROPOSED SOUTH ELEVATION

SCALE: 3/16"=1'0"

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