

JACKSON RESIDENCE

761 10TH STREET SOUTHEAST
WASHINGTON, DC 20002

GENERAL INFORMATION

OWNER INFORMATION:

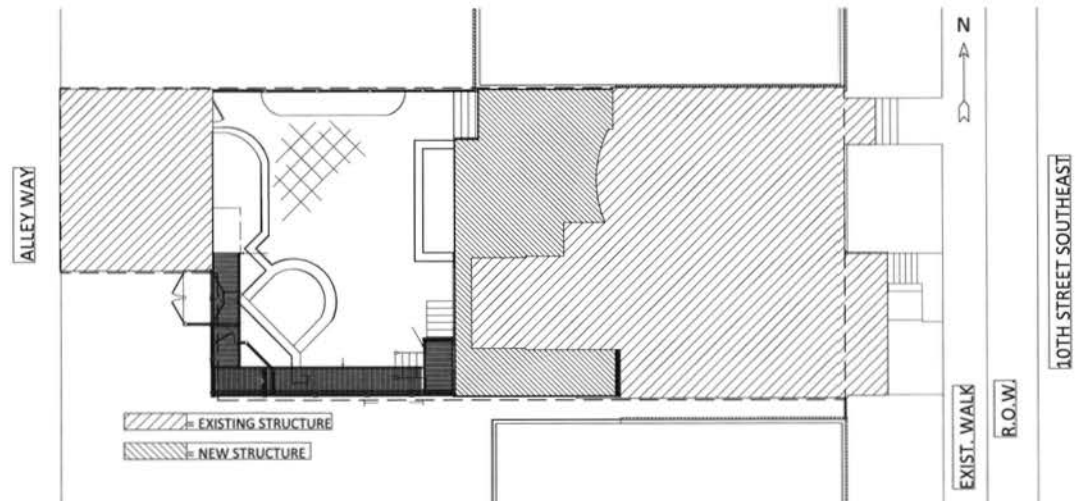
BARRY JACKSON
761 10TH STREET SE
WASHINGTON DC

PROPERTY INFORMATION:

LOT: 94
SQUARE: 950
LOT AREA: 3705 SQ. FT.
ZONING: R-4
HISTORIC DISTRICT: CAPITOL HILL

SHEET INDEX

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PROPOSED SITE PLAN

1/16" = 1'-0"

JACKSON RESIDENCE ADDITION AND REMODEL

JACKSON RESIDENCE
ADDITION AND REMODEL

JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

BOB BERRIZ,
CONTRACTOR

DATE:

12/22/2014

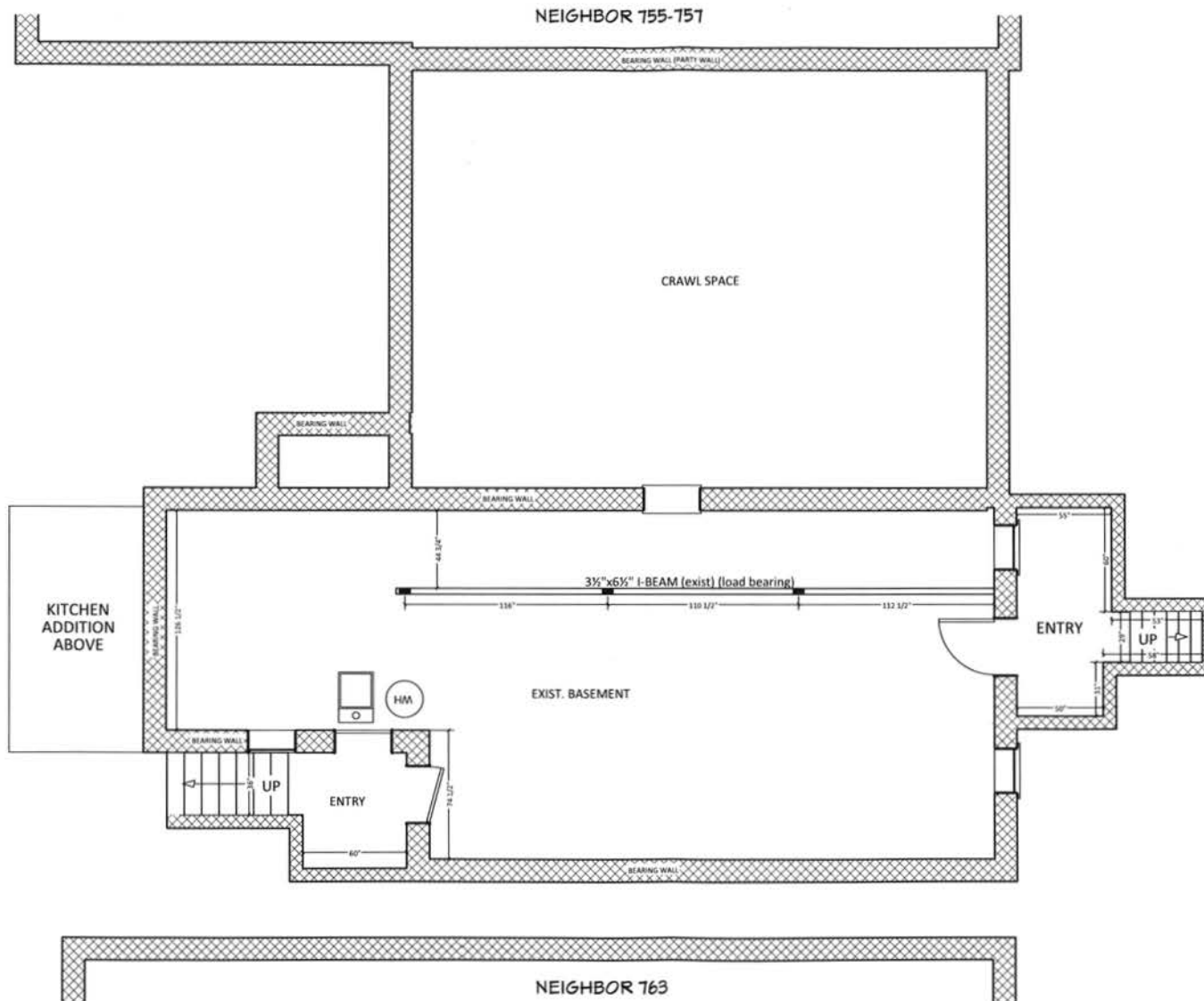
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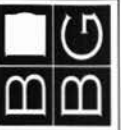
A-1

Board of Zoning Adjustment
District of Columbia
CASE NO.18640A
EXHIBIT NO.4



EXISTING BASEMENT FLOOR PLAN

3/16" = 1'-0"

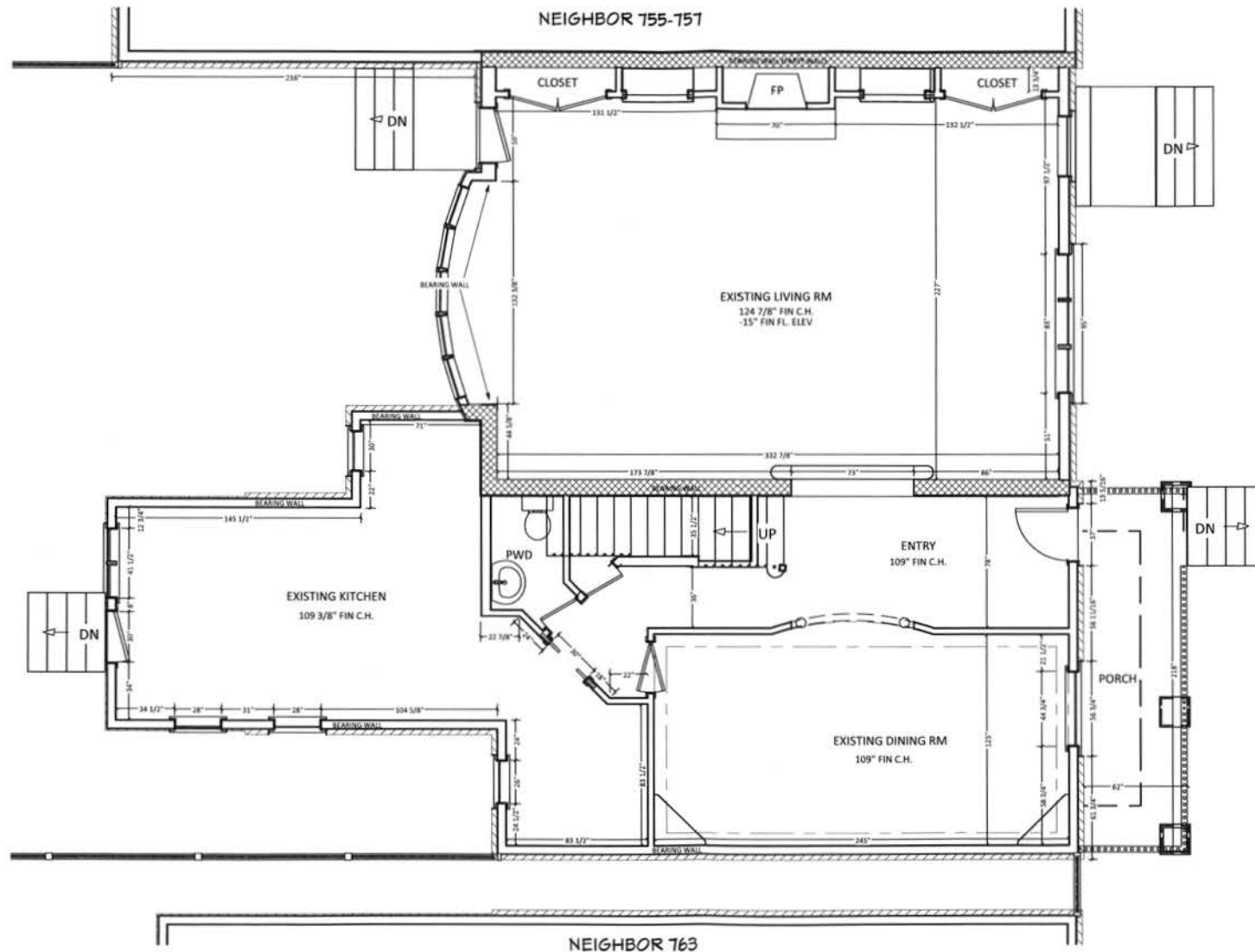


SHEET TITLE:
JACKSON RESIDENCE
EXISTING LOWER LEVEL

PROJECT DESCRIPTION:
JACKSON RESIDENCE
161 10TH STREET SE
WASHINGTON, DC 20002

DRAWINGS PROVIDED BY:
BOB BERRIZ,
CONTRACTOR

DATE:
12/22/2014
SCALE:
NOTED
SHEET:
A-2



EXISTING FIRST LEVEL FLOOR PLAN

3/16" = 1'-0"



JACKSON RESIDENCE
EXISTING FIRST LEVEL

JACKSON RESIDENCE
161 10TH STREET SE
WASHINGTON, DC 20002

BOB BERRIZ,
CONTRACTOR

DATE:

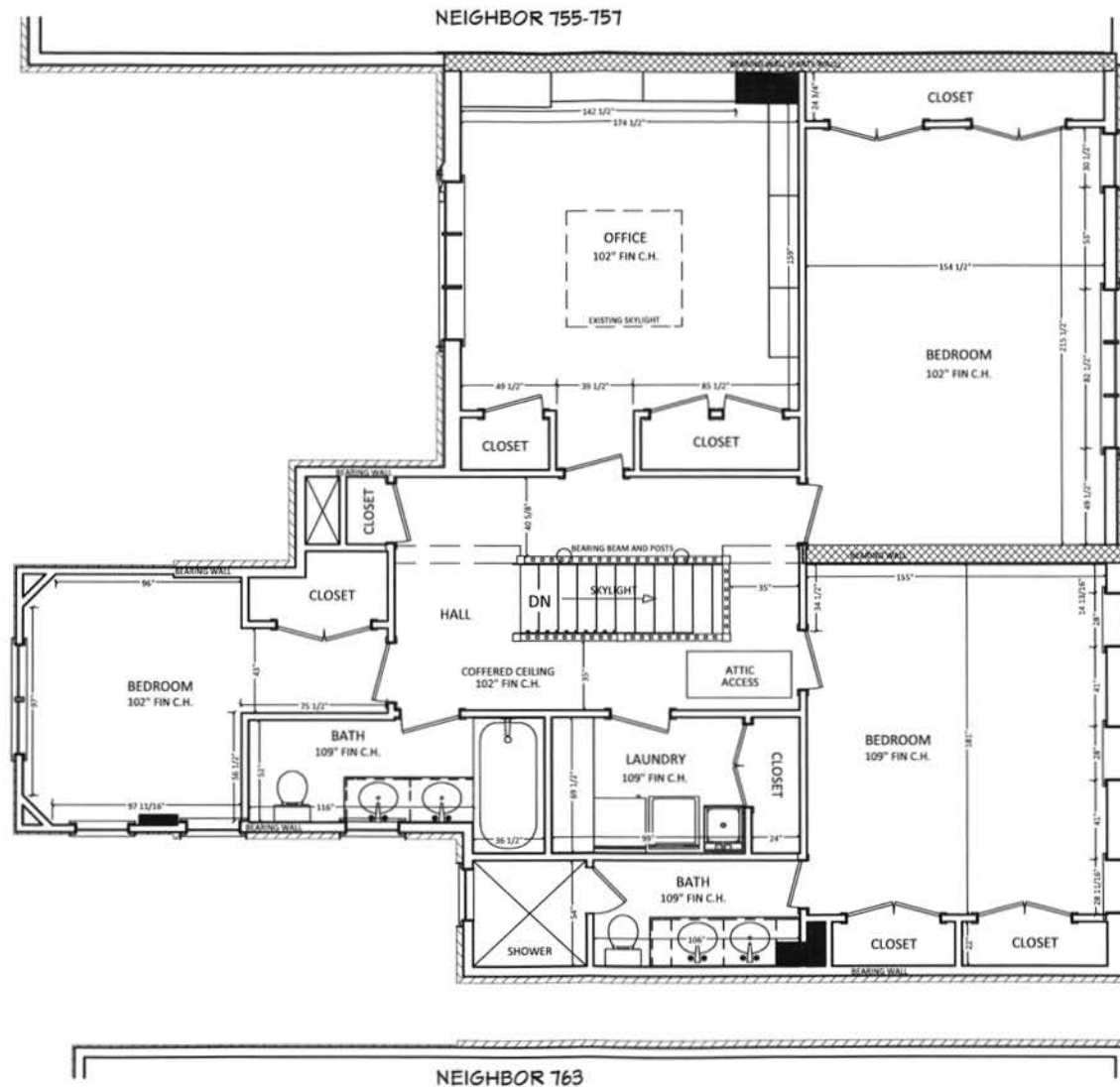
12/22/2014

SCALE:

NOTED

SHEET:

A-3



EXISTING SECOND LEVEL FLOOR PLAN

3/16" = 1'-0"



JACKSON RESIDENCE
EXISTING SECOND LEVEL

JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

BOB BERRIZ,
CONTRACTOR

DATE:

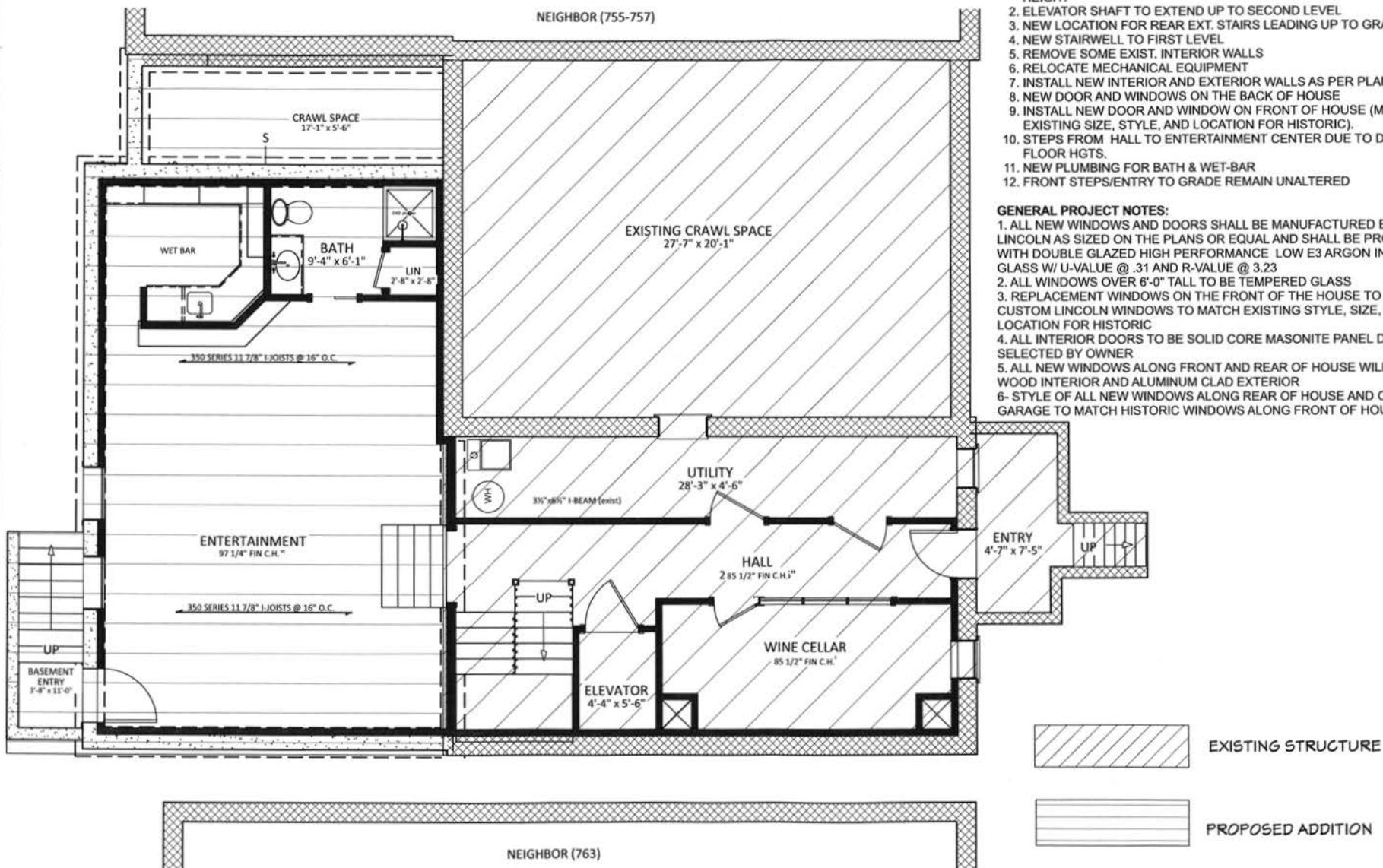
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SCALE:

NOTED

SHEET:

A-4



PROPOSED BASEMENT FLOOR PLAN

3/16" = 1'-0"

BASEMENT LEVEL SCOPE OF WORK

1. EXCAVATE IN ADDITION IN ORDER TO OBTAIN PROPER CEILING HEIGHT
2. ELEVATOR SHAFT TO EXTEND UP TO SECOND LEVEL
3. NEW LOCATION FOR REAR EXT. STAIRS LEADING UP TO GRADE LEVEL
4. NEW STAIRWELL TO FIRST LEVEL
5. REMOVE SOME EXIST. INTERIOR WALLS
6. RELOCATE MECHANICAL EQUIPMENT
7. INSTALL NEW INTERIOR AND EXTERIOR WALLS AS PER PLAN
8. NEW DOOR AND WINDOWS ON THE BACK OF HOUSE
9. INSTALL NEW DOOR AND WINDOW ON FRONT OF HOUSE (MATCH EXISTING SIZE, STYLE, AND LOCATION FOR HISTORIC).
10. STEPS FROM HALL TO ENTERTAINMENT CENTER DUE TO DIFFERENT FLOOR HGTS.
11. NEW PLUMBING FOR BATH & WET-BAR
12. FRONT STEPS/ENTRY TO GRADE REMAIN UNALTERED

GENERAL PROJECT NOTES:

1. ALL NEW WINDOWS AND DOORS SHALL BE MANUFACTURED BY LINCOLN AS SIZED ON THE PLANS OR EQUAL AND SHALL BE PROVIDED WITH DOUBLE GLAZED HIGH PERFORMANCE LOW E3 ARGON INSULATED GLASS W/ U-VALUE @ .31 AND R-VALUE @ 3.23
2. ALL WINDOWS OVER 6'-0" TALL TO BE TEMPERED GLASS
3. REPLACEMENT WINDOWS ON THE FRONT OF THE HOUSE TO BE LOW-E CUSTOM LINCOLN WINDOWS TO MATCH EXISTING STYLE, SIZE, AND LOCATION FOR HISTORIC
4. ALL INTERIOR DOORS TO BE SOLID CORE MASONITE PANEL DOORS AS SELECTED BY OWNER
5. ALL NEW WINDOWS ALONG FRONT AND REAR OF HOUSE WILL BE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR
6. STYLE OF ALL NEW WINDOWS ALONG REAR OF HOUSE AND ON GARAGE TO MATCH HISTORIC WINDOWS ALONG FRONT OF HOUSE

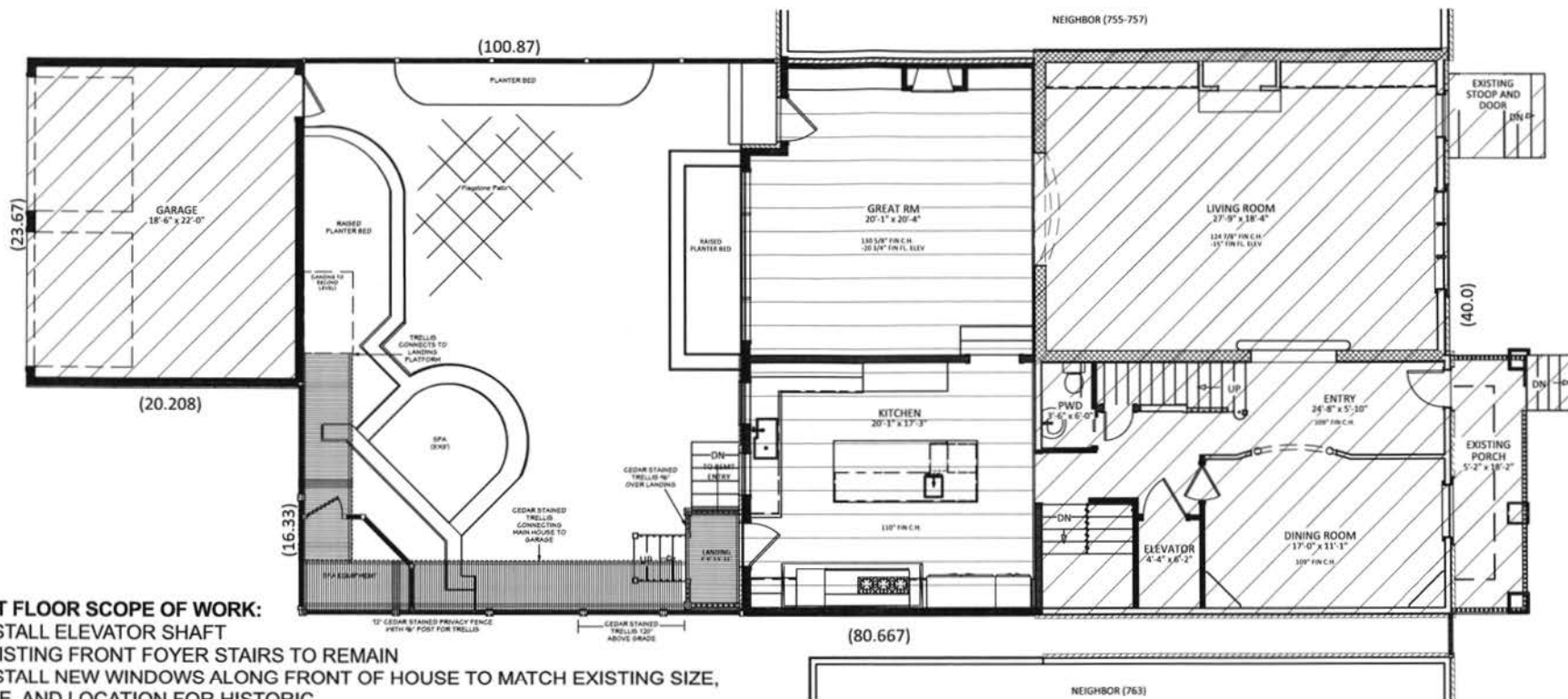
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JACKSON RESIDENCE
PROPOSED LOWER LEVEL

JACKSON RESIDENCE
161 10TH STREET SE
WASHINGTON, DC 20002

BOB BERRIZ,
CONTRACTOR

DATE:
12/22/2014
SCALE:
NOTED
SHEET:
A-5



FIRST FLOOR SCOPE OF WORK:

1. INSTALL ELEVATOR SHAFT
2. EXISTING FRONT FOYER STAIRS TO REMAIN
3. INSTALL NEW WINDOWS ALONG FRONT OF HOUSE TO MATCH EXISTING SIZE, STYLE, AND LOCATION FOR HISTORIC
4. FRONT PORCH AND STOOP TO REMAIN UNALTERED
5. REMOVE BACK PORCH AND STEPS, RELOCATE AS PER DESIGN
6. BUILD NEW INTERIOR AND EXTERIOR WALLS AS PER PLANS
7. ADD NEW GAS FIREPLACE IN GREAT ROOM AND LIVING ROOM
9. INSTALL NEW DOORS AND WINDOWS ON REAR OF HOUSE AND ON GARAGE AS PER PLAN TO MATCH THE STYLE OF HISTORIC WINDOWS ALONG FRONT OF HOUSE.
10. INSTALL NEW STAIRWELL TO THE LOWER LEVEL
11. INSTALL CEDAR STAINED TRELLIS CONNECTING MAIN HOUSE TO GARAGE

GENERAL PROJECT NOTES:

1. ALL NEW WINDOWS AND DOORS SHALL BE MANUFACTURED BY LINCOLN AS SIZED ON THE PLANS OR EQUAL AND SHALL BE PROVIDED WITH DOUBLE GLAZED HIGH PERFORMANCE LOW E3 ARGON INSULATED GLASS W/ U-VALUE @ .31 AND R-VALUE @ 3.23
2. ALL WINDOWS OVER 6'-0" TALL TO BE TEMPERED GLASS
3. ALL INTERIOR DOORS TO BE SOLID CORE MASONITE PANEL DOORS
4. ALL NEW WINDOWS ALONG FRONT AND REAR OF HOUSE WILL BE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR

PROPOSED FIRST LEVEL FLOOR PLAN

1/8" = 1'-0"



EXISTING STRUCTURE



PROPOSED ADDITION

SHEET TITLE:	JACKSON RESIDENCE PROPOSED FIRST LEVEL
	JACKSON RESIDENCE 161 10TH STREET SE WASHINGTON, DC 20002
PROJECT DESCRIPTION:	JACKSON RESIDENCE 161 10TH STREET SE WASHINGTON, DC 20002
DRAWINGS PROVIDED BY:	BOB BERRIZ CONTRACTOR
DATE:	12/22/2014
SCALE:	NOTED
SHEET:	A-6

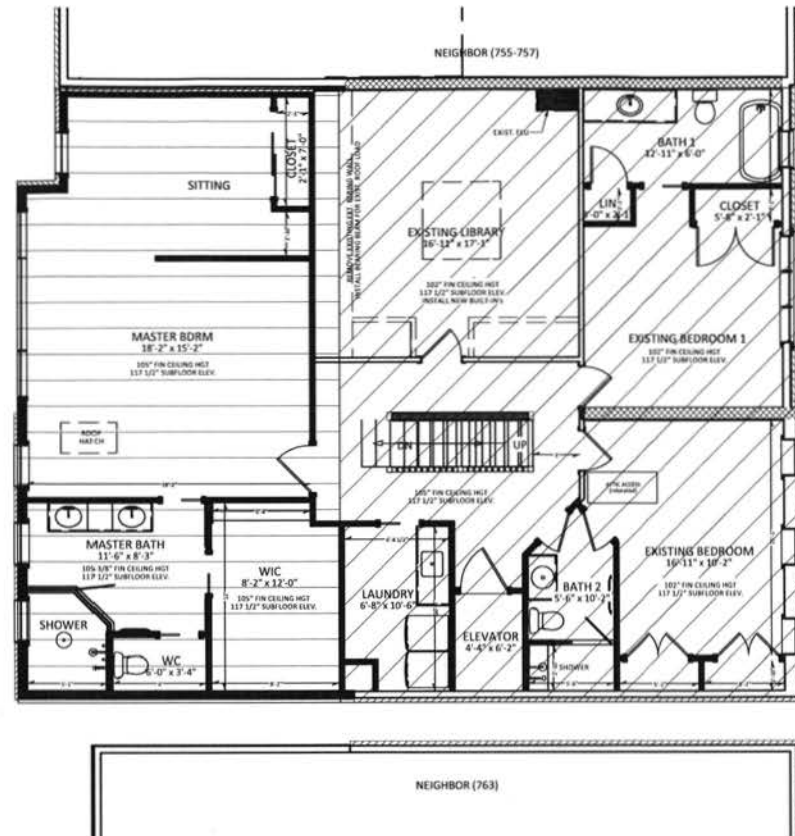


SECOND FLOOR SCOPE OF WORK

1. RELOCATE EXIST. ATTIC ACCESS
2. BUILD INTERIOR AND EXTERIOR WALLS AS PER PLAN
3. ALL FRONT WINDOWS TO BE REPLACED AND MATCH EXISTING SIZE, STYLE, AND LOCATION FOR HISTORIC
4. INSTALL NEW WINDOWS ON BACK OF HOUSE AND GARAGE AS PER PLAN TO MATCH STYLE OF HISTORIC WINDOWS ALONG FRONT OF HOUSE
5. INSTALL ELEVATOR SHAFT
6. STAIRS TO FIRST FLOOR REMAIN UNALTERED

GENERAL PROJECT NOTES:

1. ALL NEW WINDOWS AND DOORS SHALL BE MANUFACTURED BY LINCOLN AS SIZED ON THE PLANS OR EQUAL AND SHALL BE PROVIDED WITH DOUBLE GLAZED HIGH PERFORMANCE LOW E3 ARGON INSULATED GLASS W/ U-VALUE @ .31 AND R-VALUE @ 3.23
2. ALL WINDOWS OVER 6'-0" TALL TO BE TEMPERED GLASS
3. ALL INTERIOR DOORS TO BE SOLID CORE MASONITE PANEL DOORS
4. ALL NEW WINDOWS ALONG FRONT AND REAR OF HOUSE AND GARAGE WILL BE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR

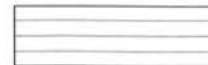


PROPOSED SECOND LEVEL FLOOR PLAN

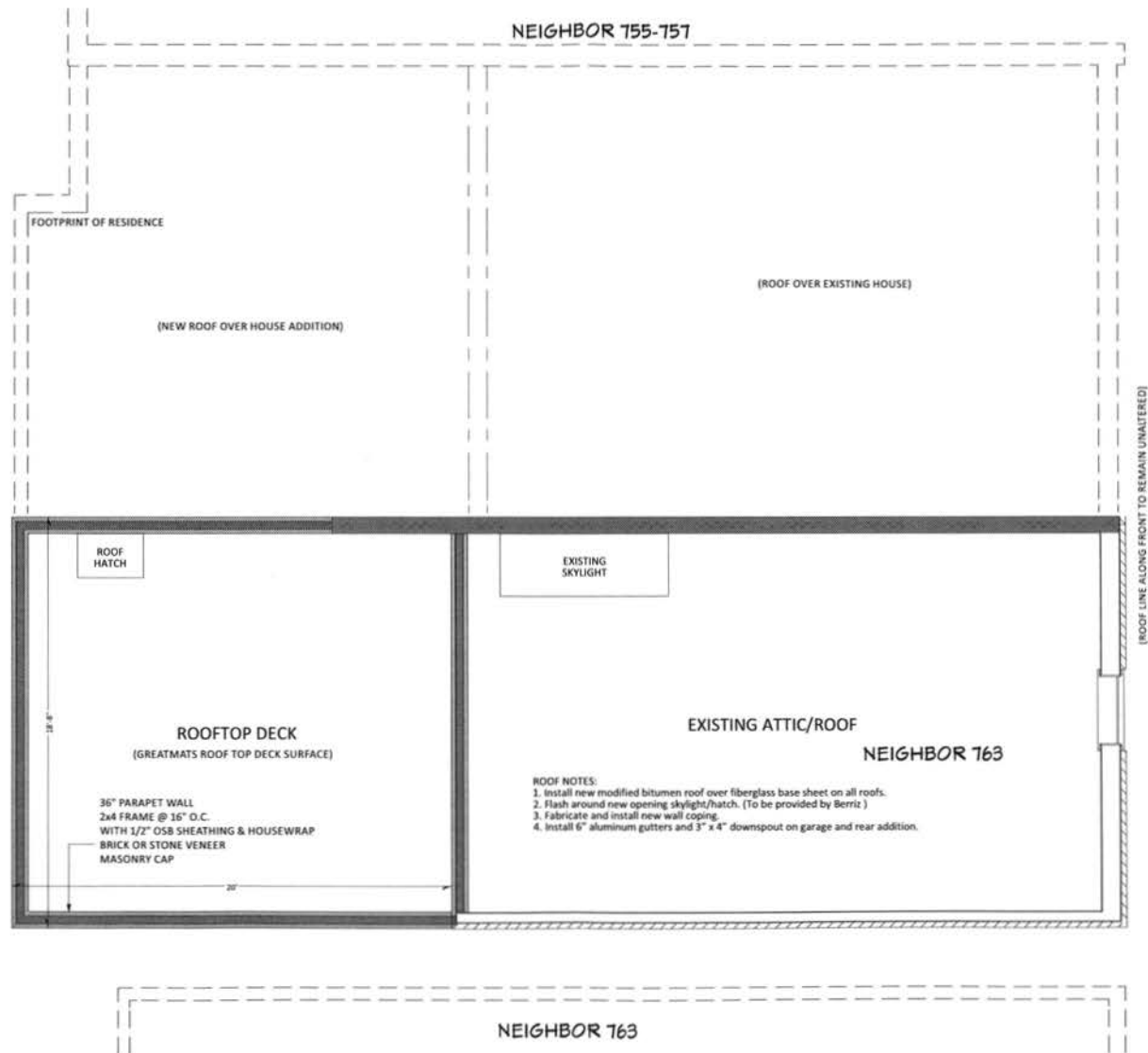
1/8" = 1'-0"



EXISTING STRUCTURE



PROPOSED ADDITION



- ROOF NOTES:
1. Install new modified bitumen roof over fiberglass base sheet on all roofs.
 2. Flash around new opening skylight/hatch. (To be provided by Berriz)
 3. Fabricate and install new wall coping.
 4. Install 6" aluminum gutters and 3" x 4" downspout on garage and rear addition.

36" PARAPET WALL
2x4 FRAME @ 16" O.C.
WITH 1/2" OSB SHEATHING & HOUSEWRAP
BRICK OR STONE VENEER
MASONRY CAP

PROPOSED ROOF TOP DECK FLOOR PLAN

1/8" = 1'-0"

SHEET TITLE:
JACKSON RESIDENCE
PROPOSED ROOF

PROJECT DESCRIPTION:
JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

DRAWINGS PROVIDED BY:
BOB BERRIZ,
CONTRACTOR

DATE:

12/22/2014

SCALE:

NOTED

SHEET:

A-8

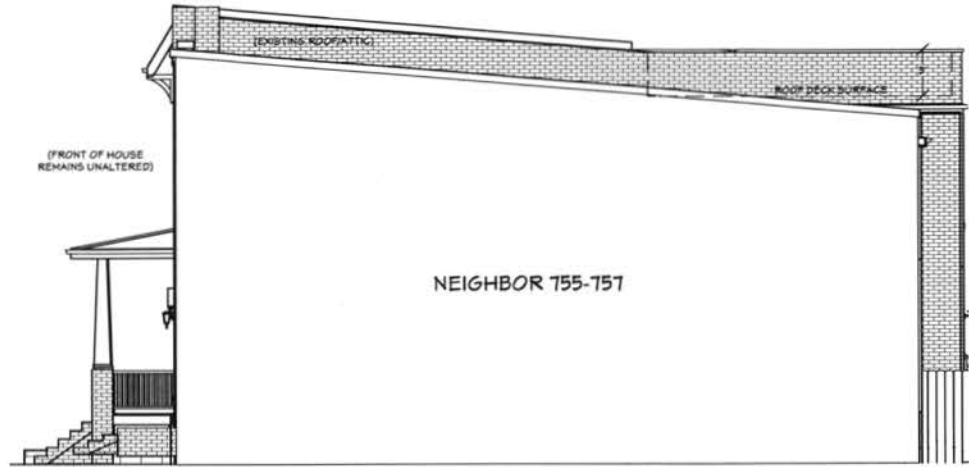
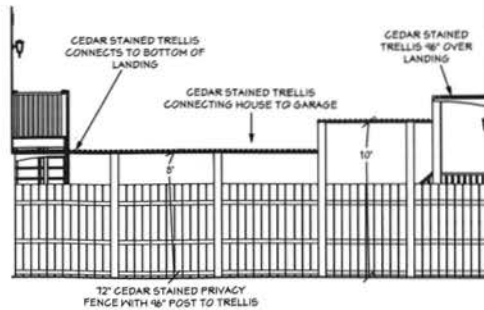


PROPOSED REAR ELEVATION

3/16" = 1'-0"

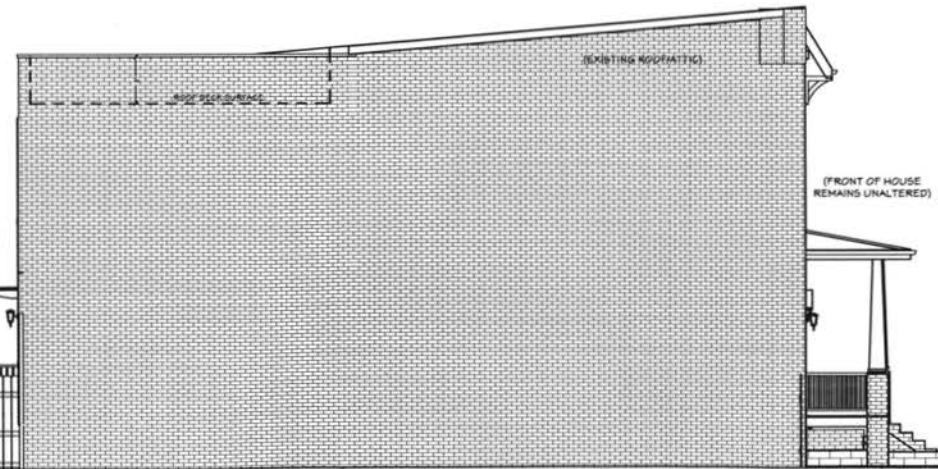
EXTERIOR FINISHES:

1. EXTERIOR SIDING SHALL BE HARDI PLANK CONCRETE SIDING AND BRICK TO MATCH EXISTING
2. ALL METAL FLASHING SHALL BE ALUMINUM.
3. ALL EXTERIOR FASCIA BOARDS SHALL BE PRIMED CEDAR OR PINE WITH ALUMINUM CLADDING ON EXPOSED SIDES TO MATCH EXISTING WHERE POSSIBLE
4. ROOFING SHALL BE MINIMUM 20 YEAR WARRANTY 6 MIL RUBBER MEMBRANE, INSTALLED AS PER MFR SPECIFICATIONS OVER 2" RIGID FOAM.
5. ROOF TOP DECK MATERIAL TO BE GREATMATS ROOFTOP DECK TILES
6. BRICK VENEER LINTELS OVER DOORS AND WINDOWS TO MATCH EXISTING ON FRONT OF HOUSE
7. FRONT OF RESIDENCE WILL REMAIN UNALTERED (EXCEPT FOR NEW WINDOWS AND DOORS ALL TO REMAIN IN SAME LOCATION AND HAVE SAME SIZE AND STYLE)
8. ALL WINDOWS AND DOORS WILL BE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR



PROPOSED NORTH ELEVATION

1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

1/8" = 1'-0"



JACKSON RESIDENCE
MAIN HOUSE ELEVATIONS

JACKSON RESIDENCE
761 10TH STREET SE
WASHINGTON, DC 20002

BOB BERRIZ,
CONTRACTOR

DATE:

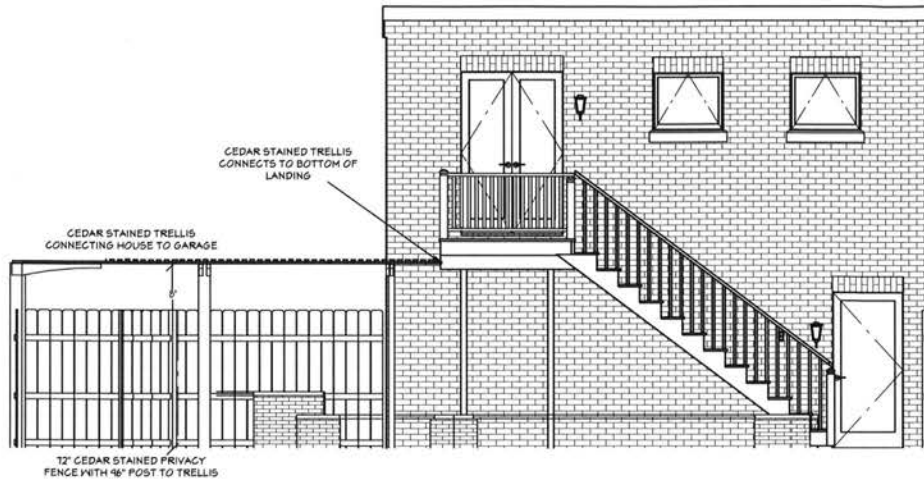
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SHEET:

A-9



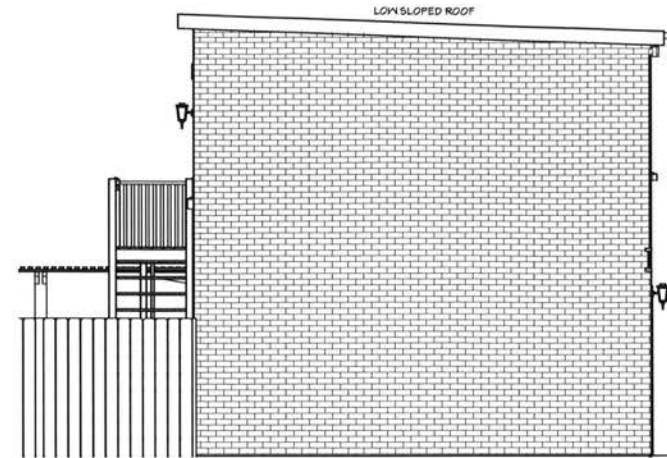
PROPOSED FRONT ELEVATION

3/16" = 1'-0"



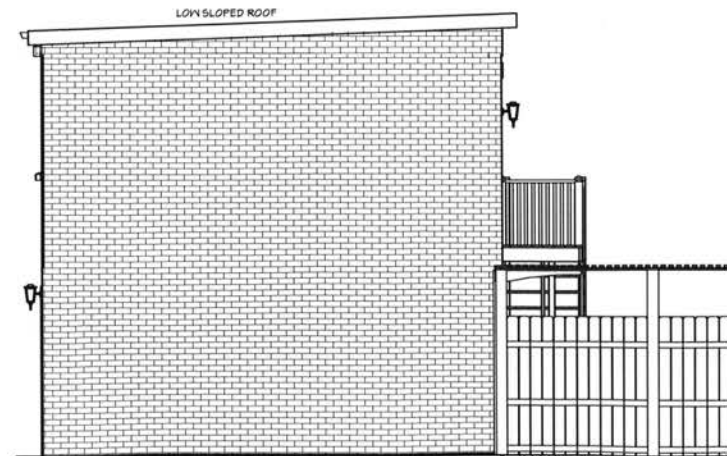
PROPOSED REAR ELEVATION

3/16" = 1'-0"



PROPOSED NORTH ELEVATION

3/16" = 1'-0"



PROPOSED SOUTH ELEVATION

3/16" = 1'-0"