

PROJECT DATA

OWNER:

JAMES AND BARBARA LOOTS
634 G STREET SE
WASHINGTON, DC 20003

ZONING DATA:

LOT: 926
SQUARE: 877
LOT AREA: 3837 SF
ZONE: R-4
USE GROUP: R-3
CONSTRUCTION TYPE: 3B

THREE STORY ROW DWELLING W/ CELLAR

TWO FAMILY FLAT

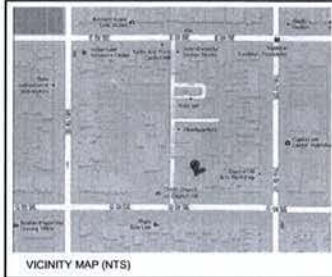
FIRE ALARM: NO

SPRINKLER: YES

FIRE DETECTION: HARD WIRED AND INTERCONNECTED

SMOKE DETECTORS W/ BATTERY BACKUP

ACCESSIBILITY: NO



VICINITY MAP (NTS)

	EXISTING	PROPOSED	MAXIMUM
LOT COVERAGE	1849.2 SF	NO CHANGE	1534.88 SF
(PERCENTAGE)	48%	NO CHANGE	40%
REAR YARD	0'	NO CHANGE	20' MINIMUM
OPEN COURT	N/A	N/A	N/A
SIDE YARD	9'-1"	NO CHANGE	N/A
HEIGHT	35'	NO CHANGE	3 STORIES/40'
STORIES	3+B	NO CHANGE	3+B
F.A.R.	N/A	N/A	NONE PRESCRIBED
SQUARE FOOTAGE			
CELLAR	965 SF	NO CHANGE	
FIRST FLOOR	1363 SF	NO CHANGE	
SECOND FLOOR	1115 SF	NO CHANGE	
THIRD FLOOR	422 SF	549 SF	
TOTAL	3865 SF	3992 SF	

PROJECT DESCRIPTION:

EXISTING THIRD FLOOR TO BE EXPANDED TO REAR, NEW ROOF DECK

APPLICABLE BUILDING CODES:

DCMR 11
IBC 2006
IRC 2006
DCMR 12-B, DC CONSTRUCTION CODES SUPPLEMENT 2008 EDITION

FIRE RATING DATA:

EXTERIOR LOAD BEARING FACE-ON-LINE WALLS
1 HOUR RATED WOOD FRAME W/ VENEER
EXTERIOR LOAD BEARING PARTY WALLS
2 HOUR RATED SOLID MASONRY, 12" THICK
FLOOR FRAMING
0 HOUR RATED, 2X10 WOOD JOISTS @ 16" OC
ROOF FRAMING
1 HOUR RATED w/IN 4" OF P.L.V 2X8 RAFTERS, OR
2 HOUR RATED PARAPET WALL TO 30" ABOVE ROOF

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18625

EXHIBIT NO. 9

THIRD FLOOR ADDITION

Loots Residence
634 G Street SE
Washington, DC 20003

DRAWING INDEX

C-1	COVER SHEET	D-1	BASEMENT EXISTING PLAN
C-2	SITE PLAN	D-2	FIRST FLOOR EXISTING PLAN
C-3	BLOCK SITE PLAN	D-3	SECOND FLOOR EXISTING PLAN
C-4	PICTURES	D-4	THIRD FLOOR DEMOLITION PLAN
C-5	PICTURES	A-1	THIRD FLOOR PLAN
		A-2	EXTERIOR ELEVATIONS
		A-3	EXTERIOR ELEVATIONS

REVISIONS

#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS

1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

VERSION: BZA

DATE: 6-26-13

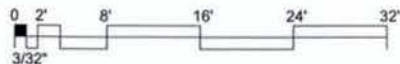
SCALE: N.T.S.

COVER SHEET

C-1

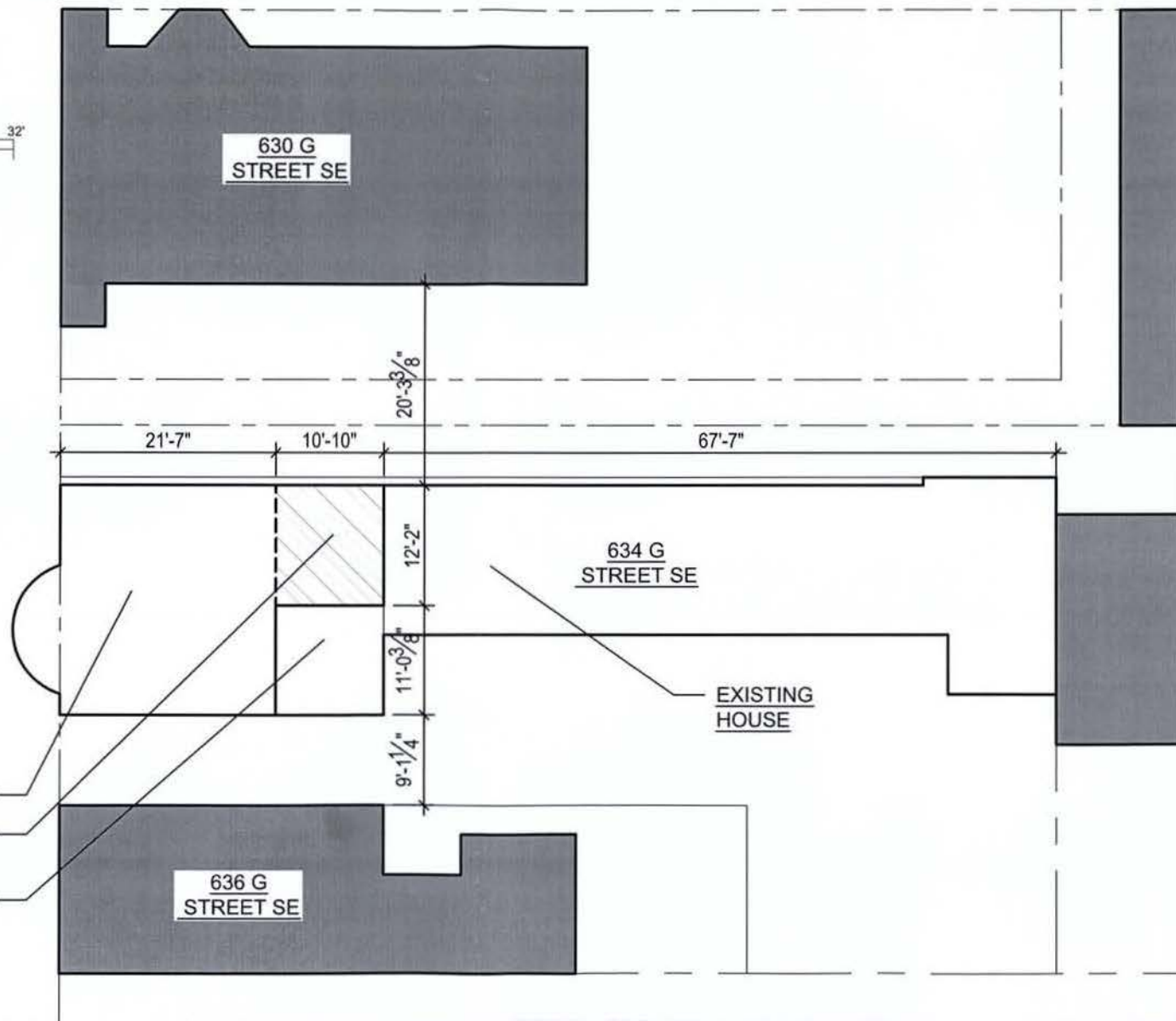
RECEIVED
OFFICE OF ZONING
JUN 26 PM 2:56
Board of Zoning Adjustment
District of Columbia
CASE NO. 18625
EXHIBIT NO. 9

1 SITE PLAN
C-2 SCALE: 3/32"=1'-0"



G STREET SE

EXISTING THIRD FLOOR
PROPOSED THIRD
FLOOR ADDITION
EXISTING ROOF DECK



REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

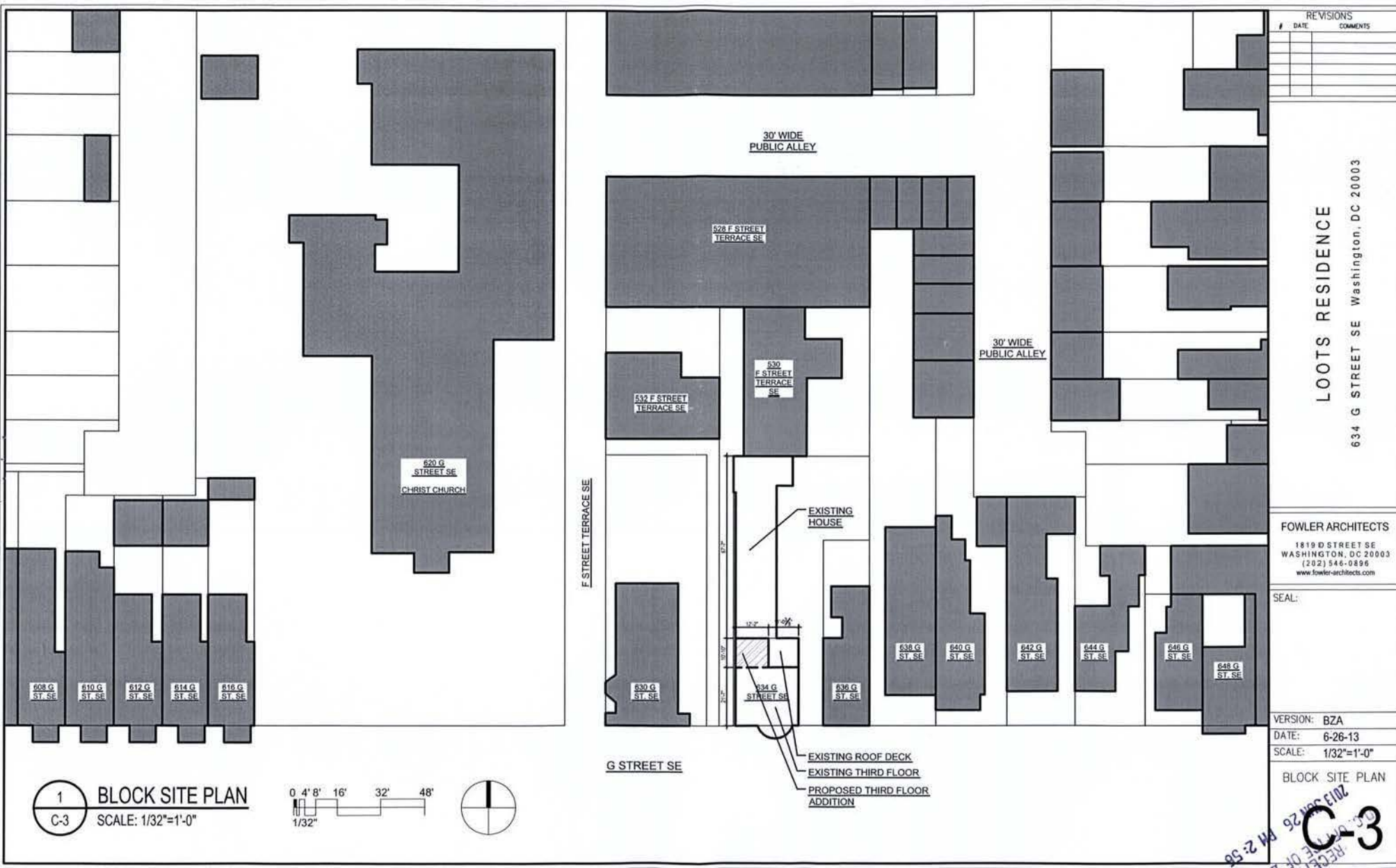
FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 3/32"=1'-0"

SITE PLAN

RECEIVED
OFFICE OF THE
DISTRICT OF COLUMBIA
PLANNING DEPARTMENT
JUN 26 2013 PM 2:56
C-2



REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 1/32"=1'-0"

BLOCK SITE PLAN



1 FRONT OF HOUSE
C-4



2 REAR OF HOUSE
C-4

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

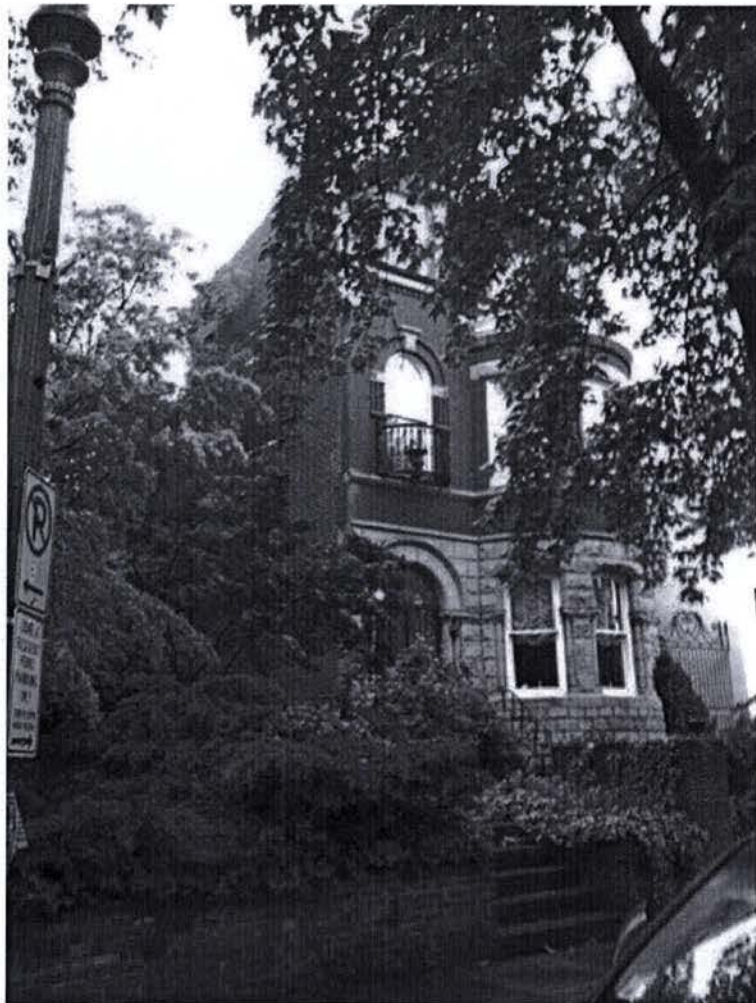
SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: N.T.S.

COVER SHEET

C-4

RECEIVED
D.C. OFFICE OF ZONING
JUN 26 PM 2:56



1 FRONT OF HOUSE, LOOKING EAST
C-5



2 REAR OF HOUSE, EAST SIDE
C-5

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

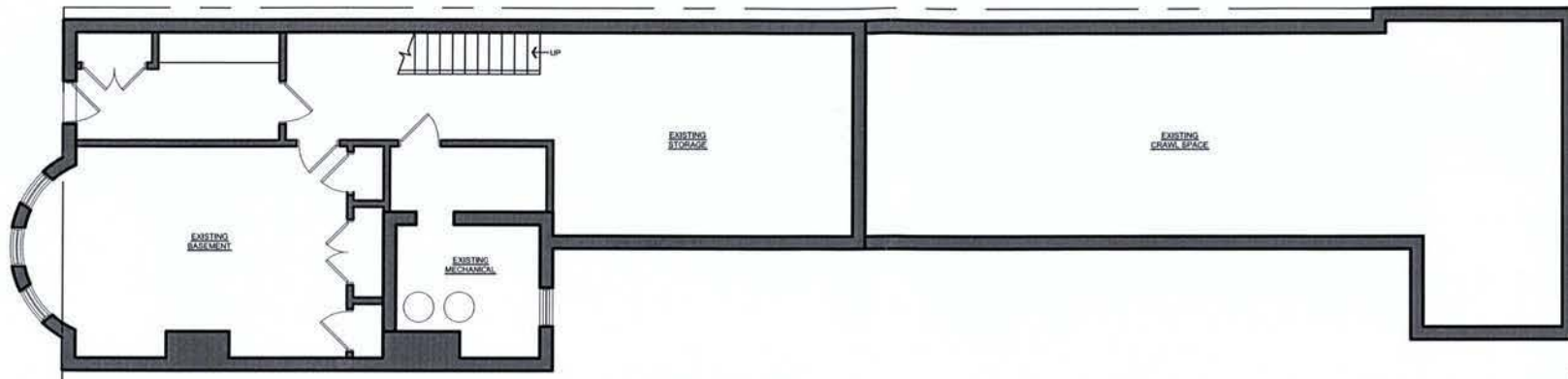
SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: N.T.S.

COVER SHEET

C-5

RECEIVED
OFFICE OF ZONING
2013 JUN 26 PM 2:56



1
D-1

BASEMENT EXISTING PLAN
SCALE: 1/8"=1'-0"

- LEGEND:**
- EXISTING PARTITION TO REMAIN
 - EXISTING PARTITION TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE REMOVED
-

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

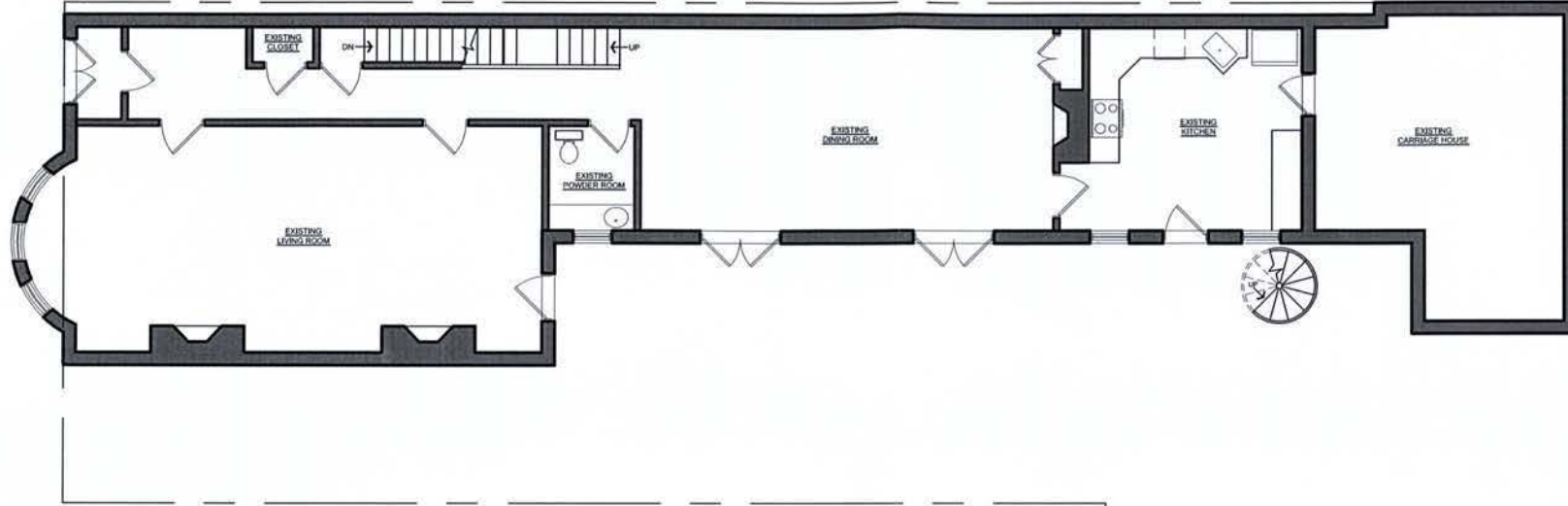
SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 1/8"=1'-0"

BASEMENT
EXISTING PLAN

D-1

RECEIVED
OFFICE OF ZONING
2013 JUN 26 PM 2:56



1
D-2

FIRST FLOOR EXISTING PLAN

SCALE: 1/8"=1'-0"

LEGEND:

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED



RECEIVED
D.C. OFFICE OF ZONING
2013 JUN 26 PM 2:56

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE

634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS

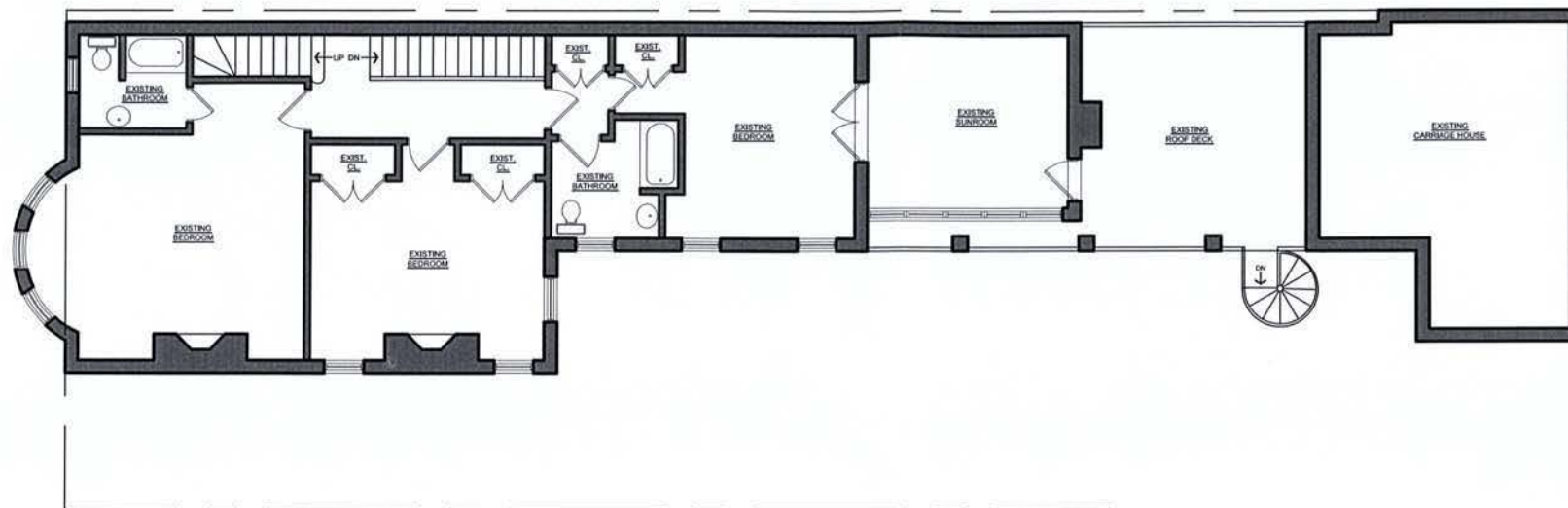
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 1/8"=1'-0"

FIRST FLOOR
EXISTING PLAN

D-2



1
D-3
SECOND FLOOR EXISTING PLAN
SCALE: 1/8"=1'-0"

LEGEND:

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED



RECEIVED
D.C. OFFICE OF ZONING
2013 JUN 26 PM 2:56

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

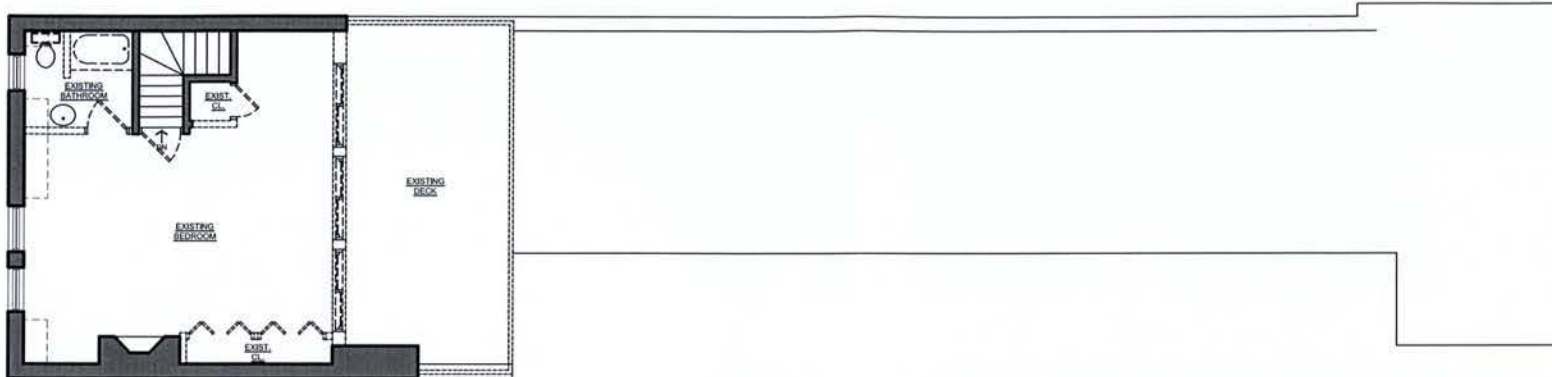
FWLER ARCHITECTS
1815 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 1/8"=1'-0"

SECOND FLOOR
EXISTING PLAN

D-3



GENERAL DEMOLITION NOTES:

1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. LABEL, STORE AND PROTECT ALL SALVAGE ITEMS TO BE REUSED IN THIS PROJECT.
3. ALL WALLS, DOORS, FRAMES, ETC. SHOWN DASHED SHALL BE REMOVED COMPLETELY, UON.
4. WALLS TO BE REMOVED SHALL BE REMOVED FROM FLOOR TO STRUCTURE ABOVE. REMOVAL SHALL INCLUDE ALL ARCHITECTURAL, MECHANICAL, & ELECTRICAL ACCESSORIES, EQUIPMENT, ETC.
5. WHERE AN EXISTING DOOR IS INDICATED FOR REMOVAL THE DOOR FRAME SHALL ALSO BE REMOVED UNLESS OTHERWISE NOTED. SALVAGE ALL DOORS AND TRIM.
7. DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION. ALL PATCHING SHALL BE FLUSH WITH SURROUNDING SURFACES AND LEVEL WITHIN TOLERANCES SPECIFIED FOR THE SPECIFIC MATERIAL. IF MATERIAL IS NOT SPECIFIED, MAINTAIN EXISTING PLANES WITHIN 1/8" IN 10 FEET, NON-CUMULATIVE.
8. THE ITEMS IDENTIFIED TO BE REMOVED REPRESENT THE MAJOR ITEMS ONLY. MINOR ITEMS, THAT REQUIRE REMOVAL TO COMPLETE THE WORK, SHALL ALSO BE REMOVED.

1
D-4
THIRD FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 1/8"=1'-0"

THIRD FLOOR
DEMOLITION PLAN

D-4

RECEIVED
D.C. OFFICE OF ZONING
2013 JUN 26 PM 2:56

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS

1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

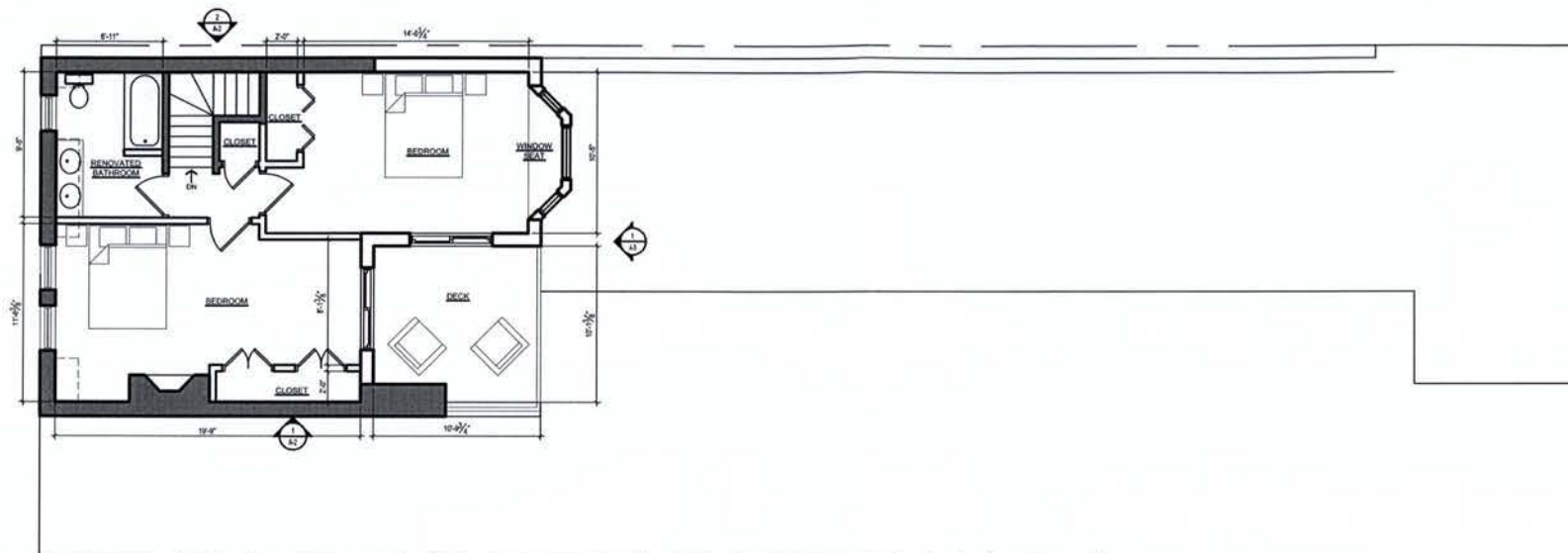
VERSION: BZA

DATE: 6-26-13

SCALE: 1/8"=1'-0"

THIRD FLOOR PLAN

A-1



GENERAL CONSTRUCTION NOTES:

1. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. DIMENSIONS ARE FROM FACE OF GWB OR EXPOSED MASONRY UNLESS OTHERWISE NOTED.
3. THOSE DIMENSIONS WHICH REQUIRE FIELD VERIFICATION ARE IDENTIFIED WITH ±. DIMENSIONS, OR LABELED "VIF". DIMENSIONS NOT SO NOTED ARE INTENDED TO BE HELD. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR INSTALLATION OF BUILDING COMPONENTS.
4. WHERE DISCREPANCIES OCCUR BETWEEN VARIOUS DRAWINGS OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. WHERE SPECIFIC DETAILING IS NOT SHOWN, EXECUTE THE CONSTRUCTION IN A SOUND, WORKMANLIKE MANNER CONSISTENT WITH THE OTHER DETAILING SHOWN.
6. PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL WALL MOUNTED WOODWORK, APPLIANCES, AND ACCESSORIES.
7. EXISTING SURFACES DISTURBED BY DEMOLITION OR NEW CONSTRUCTION SHALL BE PATCHED TO BE FLUSH WITH SURROUNDING SURFACES. THE FINISHED SURFACE IS TO BE LEVEL AND PLUMB TO WITHIN 1/8" IN 10 FEET, UNLESS OTHERWISE SPECIFIED.

1 THIRD FLOOR PLAN
A-1 SCALE: 1/8"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- NEW PARTITION



RECEIVED
D.C. OFFICE OF ZONING
2013 JUN 26 PM 2:56



REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FOWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0896
www.fowler-architects.com

SEAL:

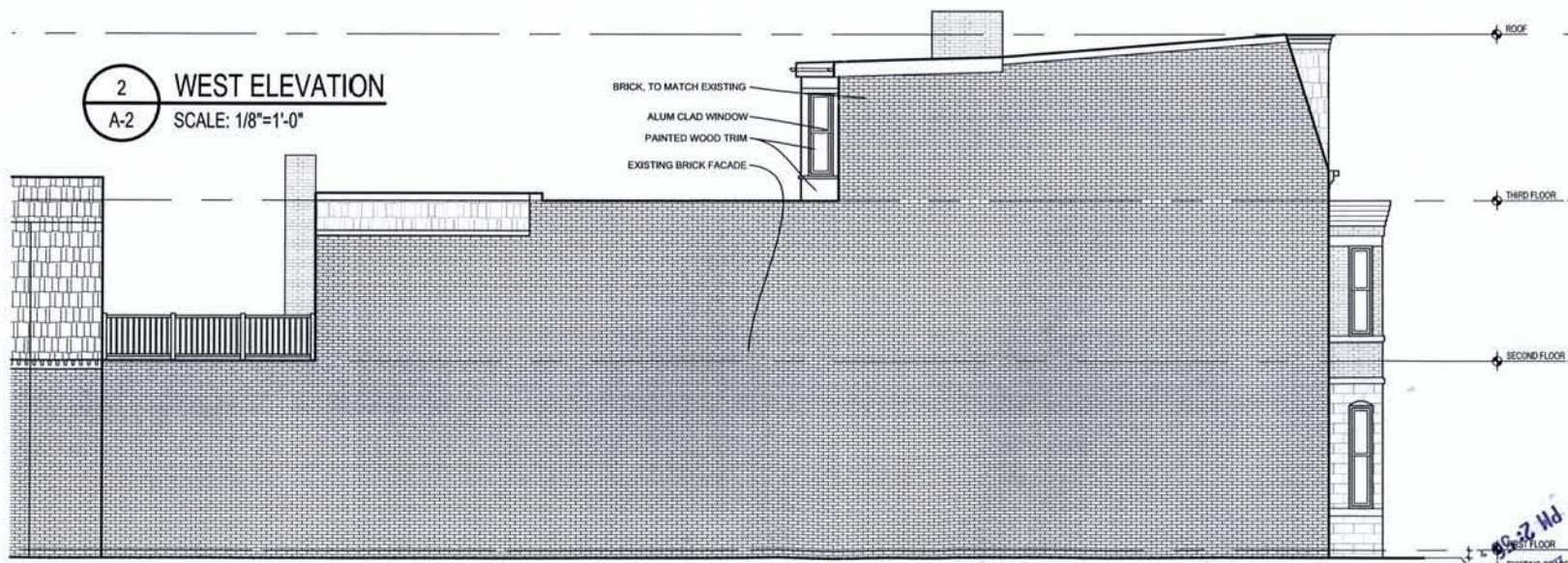
VERSION: BZA
DATE: 6-26-13
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION

A-2

RECEIVED
OFFICE OF
2013 JUN 26 PM 2:56

2 WEST ELEVATION
A-2 SCALE: 1/8"=1'-0"





1 THIRD FLOOR REAR ELEVATION
A-3 SCALE: 1/8"=1'-0"

REVISIONS		
#	DATE	COMMENTS

LOOTS RESIDENCE
634 G STREET SE Washington, DC 20003

FWLER ARCHITECTS
1819 D STREET SE
WASHINGTON, DC 20003
(202) 546-0898
www.fowler-architects.com

SEAL:

VERSION: BZA
DATE: 6-26-13
SCALE: 1/8"=1'-0"
EXTERIOR ELEVATION

A-3

2013 JUN 26 PM 2:56
RECEIVED
D.C. OFFICE OF ZONING