

[illegible]

● 401 100-140 (90) 100-120 (80) (90)	● 402 100-140 (90) 100-120 (80) (90)	● 403 100-140 (90) 100-120 (80) (90)	● 404 100-140 (90) 100-120 (80) (90)	● 405 100-140 (90) 100-120 (80) (90)	● 406 100-140 (90) 100-120 (80) (90)	● 407 100-140 (90) 100-120 (80) (90)	● 408 100-140 (90) 100-120 (80) (90)	● 409 100-140 (90) 100-120 (80) (90)	● 410 100-140 (90) 100-120 (80) (90)	● 411 100-140 (90) 100-120 (80) (90)	● 412 100-140 (90) 100-120 (80) (90)	● 413 100-140 (90) 100-120 (80) (90)	● 414 100-140 (90) 100-120 (80) (90)	● 415 100-140 (90) 100-120 (80) (90)	● 416 100-140 (90) 100-120 (80) (90)	● 417 100-140 (90) 100-120 (80) (90)	● 418 100-140 (90) 100-120 (80) (90)	● 419 100-140 (90) 100-120 (80) (90)	● 420 100-140 (90) 100-120 (80) (90)
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[illegible]

LOT 32
9,401 SQ. FT.

LOT 33
9,333 SQ. FT.

SQUARE 5331

REPLACEMENT OF STRUCTURALLY FAILING
RETAINING WALLS, WORK APPROXIMATELY
PERFORMED UNDER SEPARATE PERMIT

LOT 34
21,396 SQ. FT.

50th STREET, S.E.

A STREET, S.E.
(50 ft. WIDE PUBLIC STREET)

[illegible]

⑤ Top: 141.84 Mid: 112.89 Bot: 107.13	⑥ Top: 116.41 Mid: 104.44 Bot: 97.77
⑦ Top: 141.2 Mid: 112.30 Bot: 107.13	⑧ Top: 112.23 Mid: 101.22 Bot: 94.55

Architect's Project Number: 1114

7/09/12 MAY 31 PM 2:02

East of the Capitol II

11 50th Street, SE
Washington, DC 20019

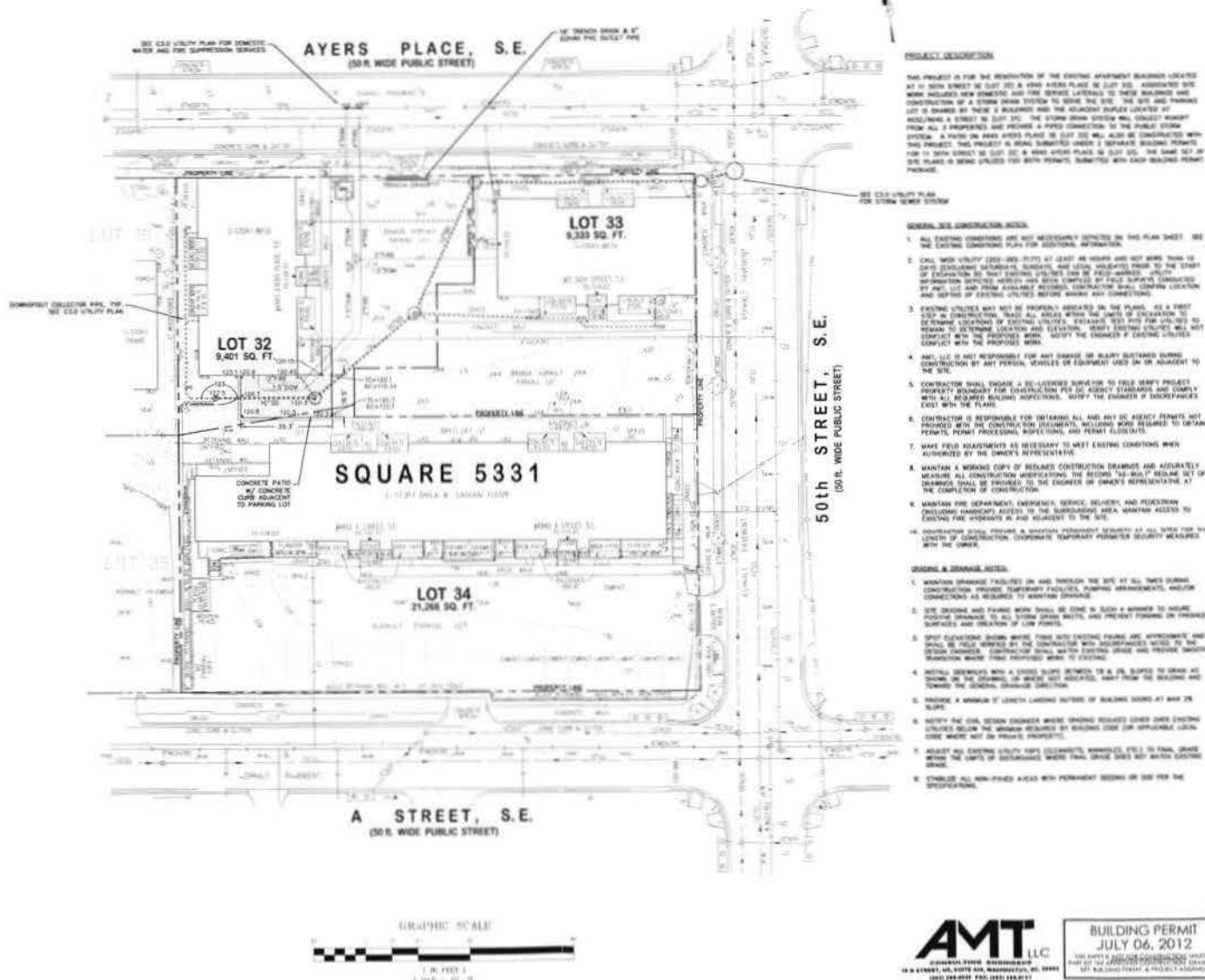
**EXISTING
CONDITIONS & SITE
DEMOLITION PLAN**

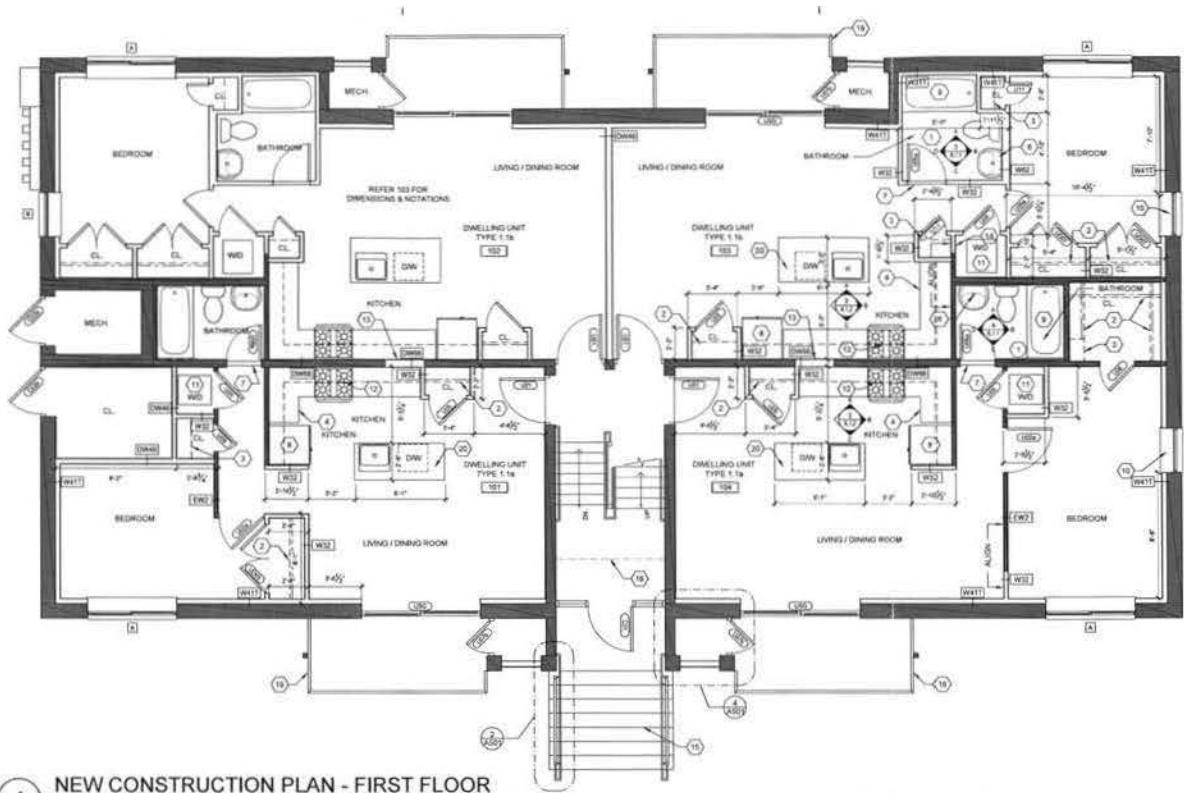
Board of Zoning Adjustment
District of Columbia

CASE NO.18613
EXHIBIT NO.9

AMT LLC
GENERAL TRUCK WINDSHIELD
15 G STREET, NW, SUITE 310, WASHINGTON, DC, 20004
(202) 462-4444 FAX: (202) 462-4444

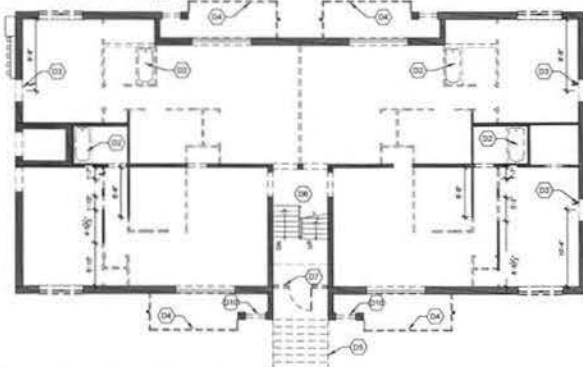
BUILDING PERMIT
JULY 04, 2012
Board of
Distric





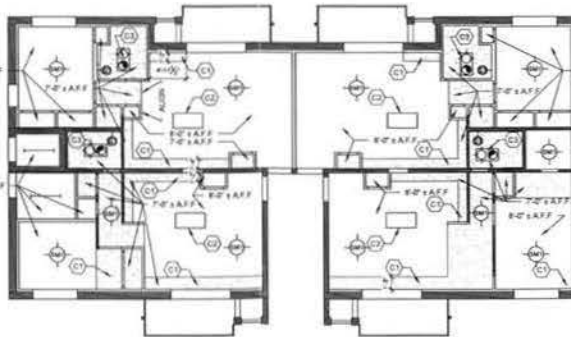
1 NEW CONSTRUCTION PLAN - FIRST FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



2 DEMOLITION PLAN - FIRST FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 REFLECTED CEILING PLAN - FIRST FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 8'-0" A.F.F.
- 3 NEW WARE SHELVING - PROVIDE 5 SHELVES SPACED 18" APART
- 4 NEW KITCHEN BASE AND CROWN WALL OF BRICKS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW SINKABLE VAMPIR - CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TAP
- 6 NEW PEDESTAL SINK
- 7 NEW 3/4" WIDE MARBLE THRESHOLD
- 8 NEW REFRIGERATOR
- 9 NEW BATHTUB AND FULL HEIGHT CERAMIC TILE TUB SACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- 10 NEW STEEL UNIT OVER NEW WINDOW. SEE UNIT SCHEDULE.
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 INFILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
- 14 MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- 15 NEW CONCRETE ENTRY STAIR. REFER TO SECTION 3A5.1 STAIR LANDING ABOVE
- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL - REFER TO DETAIL 1A5.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

4 KEYED NOTES - NEW CONSTRUCT.

NOT TO SCALE

- (21) REMOVE PORTION OF MASONRY
- (22) REMOVE EXISTING BATHTUB COMPLETE
- (23) REMOVE MASONRY WALL IN PREPARATION FOR NEW WINDOW. TOOTH IN BRICK FOR CLEAN LOOK
- (24) REMOVE EXISTING RAILING COMPLETE
- (25) REMOVE EXISTING EXTERIOR STAIR, FOOTING, AND FOUNDATION FOR STAIR COMPLETE
- (26) EXISTING STAIR TO REMAIN
- (27) REMOVE EXISTING STOREFRONT
- (28) REMOVE EXISTING CHIMNEY FLUE COMPLETE
- (29) REMOVE EXISTING ROOF, TRUSSES AND SHEATHING COMPLETE
- (30) REMOVE EXISTING DECORATIVE GRATING
- (31) REMOVE EXISTING COLUMN (AT THIRD FLOOR ONLY)

5 KEYED NOTES - DEMOLITION

NOT TO SCALE

- (32) NEW DRYWALL BULKHEAD. REFER TO DETAIL 3A72 OR ALTERNATE DETAILS
- (33) NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE
- (34) NEW COMBINATION LIGHT/EXHAUST FAN
- (35) PROVIDE 20" x 36" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED
- (36) ROOF OUTLINE

6 KEYED NOTES - RCP

NOT TO SCALE

MINER FEINSTEIN ARCHITECTS

MINER FEINSTEIN ARCHITECTS, LLC
135 West Patrick Street
Frederick, MD 21701
301.760.7988
www.MFArchitects.net

CIVIL ENGINEER
A. Morton Thomas & Associates
10 G Street, NE, Suite 430
Washington, DC 20002
(202) 299-4545

STRUCTURAL ENGINEER
Allgeier Mendenhall Smith, Inc.
5300 Vachview Drive, Suite 301
Frederick, MD 21703
(240) 629-2190

MEP ENGINEER
RK Consulting, LLC
18503 N. Frederick Avenue
Gaithersburg, MD 20879
(301) 948-6073

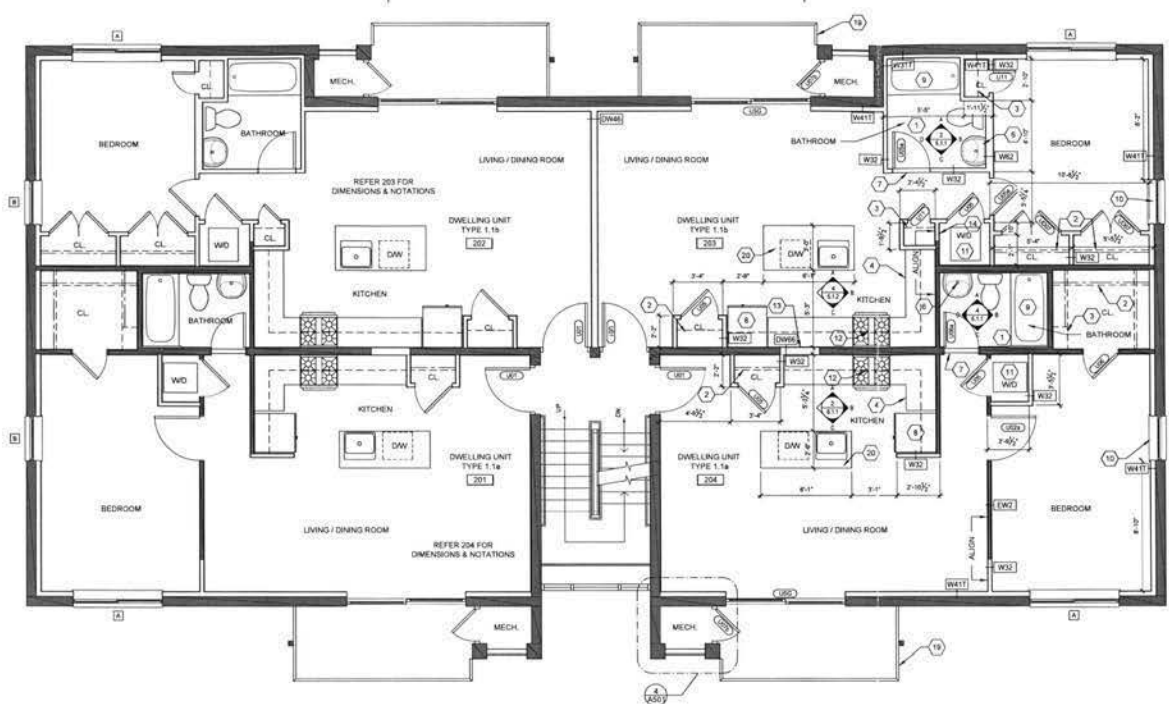
Architect's Project Number: 07/2007
PERMIT SET 02/2007
ADDENDUM 02/2007
2013 MAY 31 PM 2:02
RECEIVED
ZONING

East of the Capitol II

11 50th Street, SE
Washington, DC 20019

First Floor Plan

A2.0.1



- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 5'4" A.F.F.
- 3 NEW WARE SHELVING - PROVIDE 5 SHELVES EVENLY SPACED 18" APART
- 4 NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW DOUBLE VANITY, CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
- 6 NEW PEDESTAL SINK
- 7 NEW 3" WIDE MARBLE THRESHOLD
- 8 NEW REFRIGERATOR
- 9 NEW BATHTUB AND FULL HEIGHT CERAMIC TILE TUB BACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- 10 NEW STEEL LINTEL OVER NEW WINDOW - SEE LINTEL SCHEDULE
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 FILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
- 14 MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- 15 NEW CONCRETE ENTRY STAIR, REFER TO SECTION 3A5.1 STAIR LANDING ABOVE
- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL, REFER TO DETAIL 7A5.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

4 KEYED NOTES - NEW CONSTRUCT.
NOT TO SCALE

- (01) REMOVE PORTION OF MASONRY
- (02) REMOVE EXISTING BATHTUB COMPLETE
- (03) REMOVE MASONRY WALL IN PREPARATION FOR NEW WINDOW, TOOTH IN BRICK FOR CLEAR LOCK
- (04) REMOVE EXISTING RAILING COMPLETE
- (05) REMOVE EXISTING EXTERIOR STAIR FOOTING, AND FOUNDATION FOR STAIR COMPLETE
- (06) EXISTING STAIR TO REMAIN
- (07) REMOVE EXISTING STOREFRONT
- (08) REMOVE EXISTING CHIMNEY FLUE COMPLETE
- (09) REMOVE EXISTING ROOF, TRUSSES AND SHEATHING COMPLETE
- (10) REMOVE EXISTING DECORATIVE GRATING
- (11) REMOVE EXISTING COLUMN (AT THIRD FLOOR ONLY)

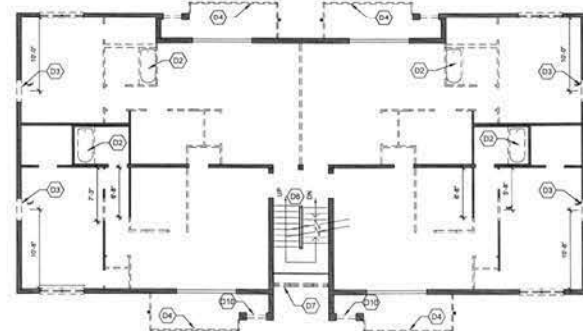
5 KEYED NOTES - DEMOLITION
NOT TO SCALE

- (C1) NEW DRYWALL BULKHEAD, REFER TO DETAIL 3A22Z OR ALTERNATE DETAILS.
- (C2) NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE.
- (C3) NEW COMBINATION LIGHTER/VALVE FAN
- (C4) PROVIDE 22" x 34" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED.
- (C5) ROOF OUTLINE

6 KEYED NOTES - RCP
NOT TO SCALE

1 NEW CONSTRUCTION PLAN - SECOND FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)

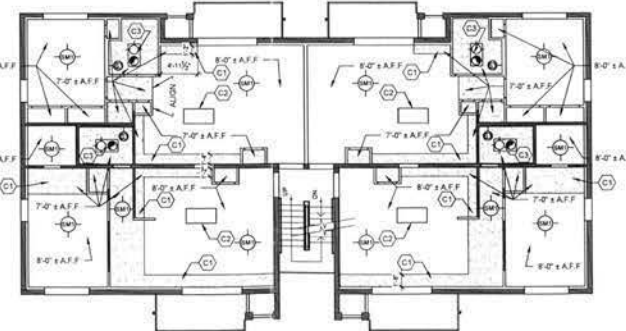


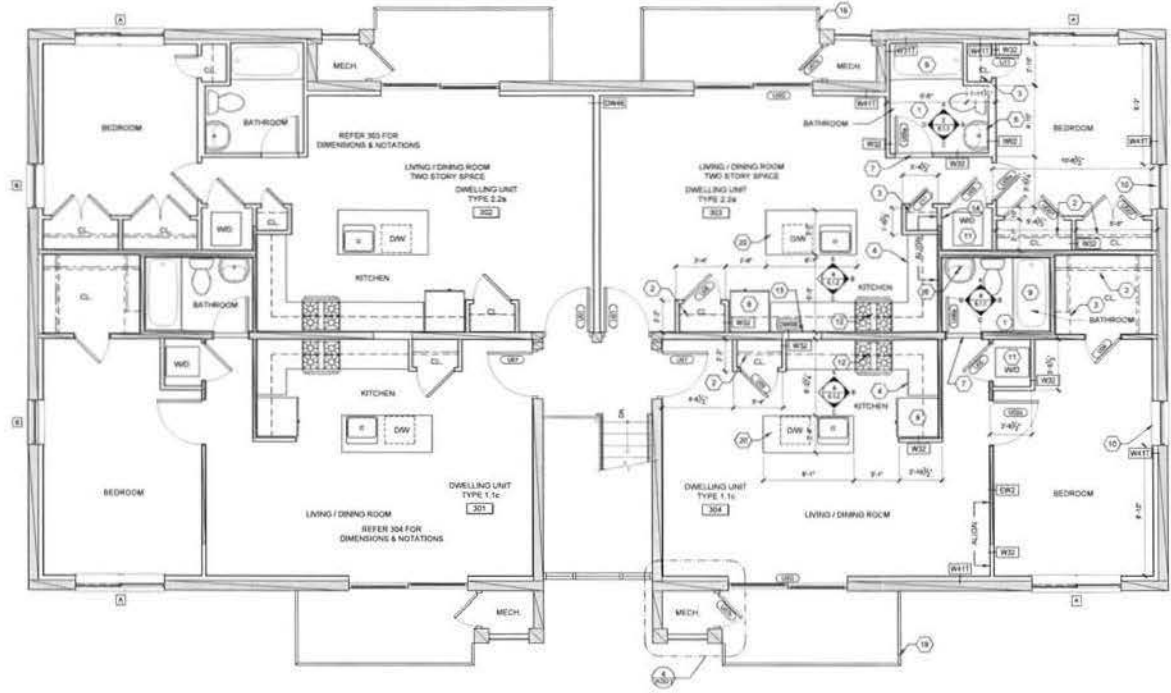
2 DEMOLITION PLAN - SECOND FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

3 REFLECTED CEILING PLAN - SECOND FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)





4 KEYED NOTES - NEW CONSTRUCT.
NOT TO SCALE

- (1) NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- (2) NEW CLOSET ROD AND SHELF - MOUNT AT 5'-0" A.F.F.
- (3) NEW WIRE SHELVING - PROVIDE 3-B-KELVES EVENLY SPACED 18" APART
- (4) NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- (5) NEW DOUBLE VARIETY CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
- (6) NEW PEDestal SINK
- (7) NEW 3.0" WIDE MARBLE THRESHOLD
- (8) NEW REFRIGERATOR
- (9) NEW SATHYUS AND FULL HEIGHT CERAMIC TILE TUR BACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- (10) NEW STEEL LUTEL OVER NEW WINDOW - SEE UNITS SCHEDULE
- (11) NEW FULL SIZE STACKABLE WASHER / DRYER
- (12) NEW ELECTRIC RANGE AND DIRECT VENT RANGE-HOOD
- (13) INFILL EXISTING OPENING - ALSO WITH EXISTING ADJACENT SURFACES
- (14) MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- (15) NEW CONCRETE ENTRY STAIR - REFER TO SECTION 3.0.1.1 STAIR LANDING ABOVE
- (16) STAIR ABOVE
- (17) NEW INTERIOR WOOD STAIR AND RAIL - REFER TO DETAIL 5.0.1.1
- (18) NEW 4" HIGH PAINTED METAL GUARDRAIL
- (19) ISLAND COUNTER
- (20) NOT USED

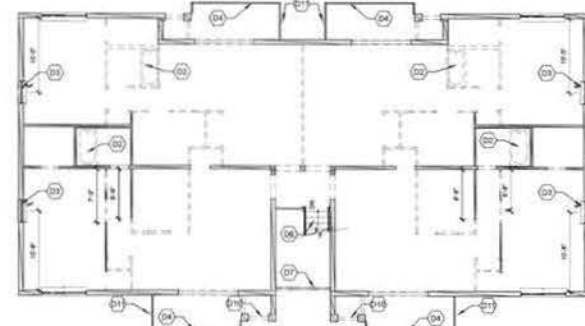
5 KEYED NOTES - DEMOLITION
NOT TO SCALE

- (C1) NEW DRYWALL BULFHEAD - REFER TO DETAIL 5.0.1.1 OR ALTERNATE DETAILS
- (C2) NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE
- (C3) NEW COMBINATION LIGHT/EXHAUST FAN
- (C4) PROVIDE 22" x 34" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED
- (C5) ROOF OUTLINE

6 KEYED NOTES - RCP
NOT TO SCALE

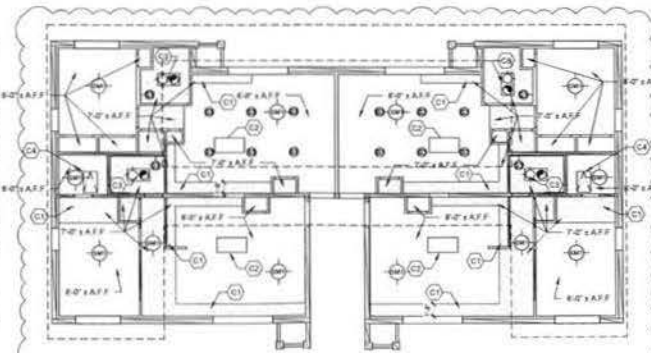
1 NEW CONSTRUCTION PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



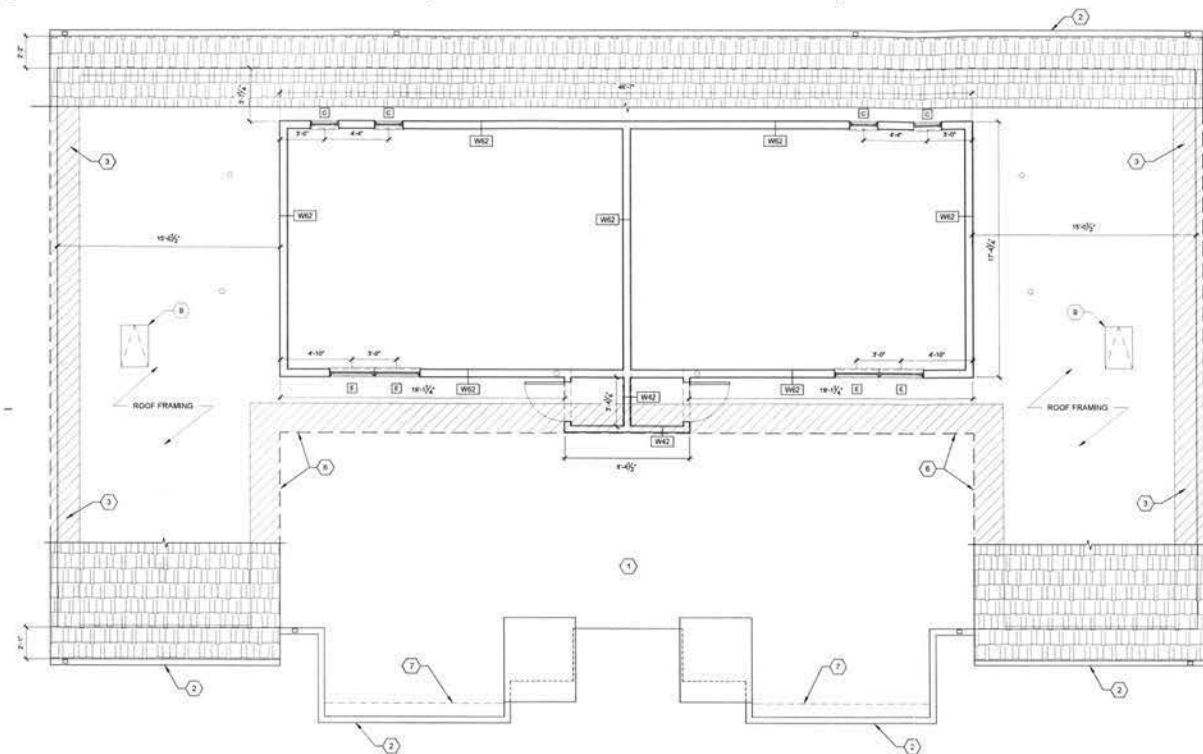
2 DEMOLITION PLAN - THIRD FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 REFLECTED CEILING PLAN - THIRD FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

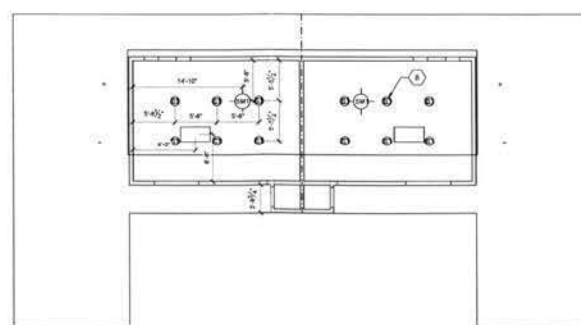
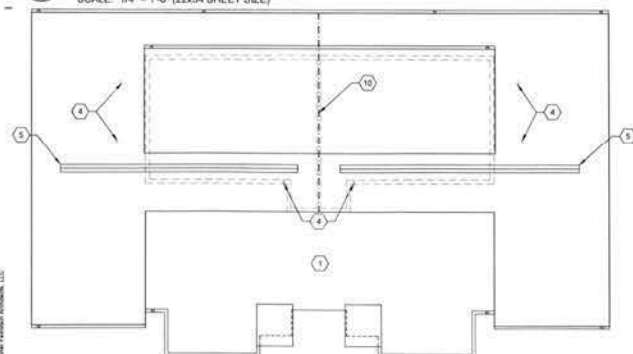


- 1 LOW-SLOPE ROOF AREA TO BE REPLACED - SEE GENERAL NOTES FOR REPLACEMENT OF BUILT-UP ROOF WITH TPO MEMBRANE.
- 2 PROVIDE PRE-FINISHED 3.032" CONT. ALUMINUM GUTTER W/ 5.032" CONT. ALUMINUM DRIP EDGE AND 4" ROUND 5.032" PRE-FINISHED ALUMINUM DOWNSPOUTS.
- 3 PROVIDE SELF-ADHERING SHEET UNDER-LAYMENT (ICE & WATER SHIELD) AT PERIMETER OF ROOF. REFER TO SPECIFICATIONS.
- 4 PROVIDE 4" PLUMBING VENT. SEE DETAIL 21A503.
- 5 PROVIDE RIDGE VENT. SEE DETAIL 1A503.
- 6 OUTLINE OF ROOF ABOVE.
- 7 BALCONY BELOW.
- 8 PROVIDE RECESSED LIGHTING FIXTURES.
- 9 ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED.
- 10 PROVIDE DRAFT STOPPING IN TRUSS BETWEEN UNITS.

2 KEYED NOTES - ROOF
NOT TO SCALE

1 NEW CONSTRUCTION PLAN - CATHEDRAL ATTIC SPACE / ROOF

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)

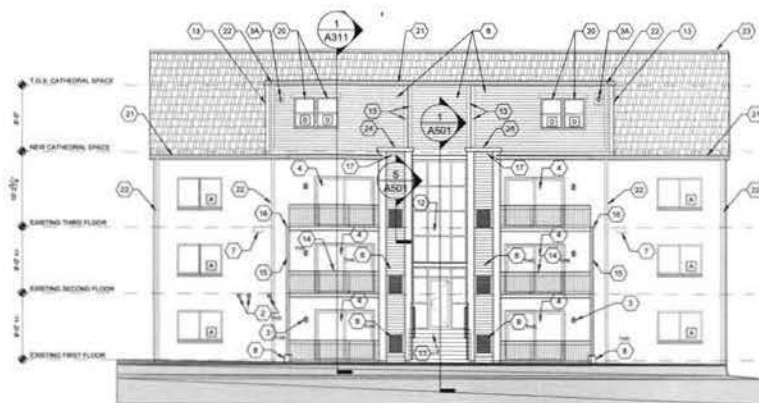


3 NEW CONSTRUCTION PLAN - HIGH ROOF

SCALE: 1/8" = 1'-0"

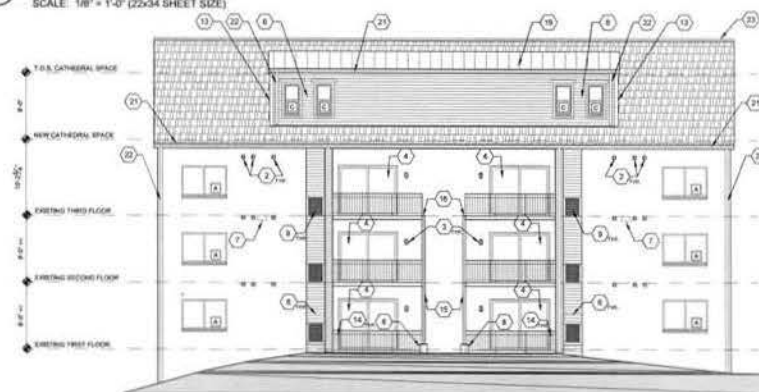
4 NEW CONSTRUCTION PLAN - CATHEDRAL SPACE RCP

SCALE: 1/8" = 1'-0"



1 EAST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 WEST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

EXTERIOR PAINT (SHERWIN WILLIAMS) ON BRICK TO BE SW6142 "MACADAMIA"
FASCIA BOARDS (HARDTRIM) TO BE 3/4" SMOOTH BOARDS "ARCTIC WHITE"
TRIM (HARDTRIM) TO BE 3/4" SMOOTH BOARDS "ARCTIC WHITE"
CORNER WINDOW LINTEL TRIM (HARDTRIM) TO BE 4" SMOOTH BOARDS "ARCTIC WHITE"
FLOOR JOIST TRIM @ ATTIC & EXTERIOR WALL (HARDTRIM) TO BE (2) 1/2" SMOOTH BOARDS "ARCTIC WHITE" WITH 1/2" OVERLAP
PENTHOUSE LEVEL SIDING (HARDPLANK) TO BE "COMBLE STONE" WITH 7" REVEAL
MECHANICAL SINGS (HARDPLANK) TO BE "BOOTHBAY BLUE" WITH 7" REVEAL
MECHANICAL DOORS TO BE PAINTED (SHERWIN WILLIAMS) SW 6142 "MACADAMIA" TO MATCH BRICK PAINT
RAILINGS TO BE PAINTED (SHERWIN WILLIAMS) SW 9041 "OTTIER"

- 1 PROVIDE DWP PYRAL VENTILATING LOUVER W/ INSECT SCREEN & 4" TRIM
- 2 PROVIDE EXHAUST FAN W/ PRE-FINISHED ALUMINUM EXHAUST CAP AND INSECT SCREEN - COORD. W/ MECH.
- 3 PROVIDE ARCHITECTURAL LIGHT FIXTURE - SEE SCHEDULE
- 3A PROVIDE NEW ARCHITECTURAL LIGHT FIXTURE - PROVIDE 4" X 12" HARDTRIM MOUNTING BLOCK
- 4 PROVIDE SLIDING GLASS DOOR. GLAZING TO BE INSULATED. DOUBLE GLAZED ARGON FILLED, AND TEMPERED
- 5 PROVIDE WINDOW IN NEW MASONRY OPENINGS. PROVIDE NEW STEEL LINTEL PER SCHEDULE. REFER TO DETAILS FOR INSTALLATION
- 6 PROVIDE HARDPLANK SIDING WITH 7" EXPOSURE
- 7 PROVIDE WALL PAK LIGHT FIXTURE - SEE LIGHT FIXTURE SCHEDULE
- 8 PROVIDE CONCRETE PIER - REFER TO 150503.5.1 FOR DETAILS
- 9 PROVIDE MECHANICAL UNIT W/ ARCHITECTURAL LOUVER
- 10 CONCEALING FLUES FROM WATER HEATERS
- 11 REPLACE EXISTING STAIRS
- 12 PROVIDE ALUMINUM STOREFRONT
- 13 PROVIDE 3/4" HARDTRIM SMOOTH FASCIA BOARDS - 5.5" WIDE
- 14 PROVIDE PAINTED STEEL HANDRAIL / GUARDRAIL - SEE DETAIL MAX.1.1
- 15 EXISTING COLUMNS TO REMAIN. CLEAN ALL LOOSE PAINT. RUST. ALL NON-COMPATIBLE MATERIALS - PREPARE FOR PAINTED FINISH
- 16 REMOVE COLUMNS ABOVE CHANNEL AT THIRD FLOOR BALCONY. PROVIDE NEW WELD 1/4" CAP PLATE ON TOP OF EXISTING COLUMN
- 17 EXTEND EXISTING BRICK - MATCH EXISTING
- 18 EXISTING ELECTRICAL METER AND SERVICE TO REMAIN
- 19 PROVIDE STANDING SEAM METAL ROOF
- 20 PROVIDE CORNER WINDOW
- 21 PRE-FINISHED 0.032" CONT. ALUMINUM GUTTER W/ 0.032" CONT. ALUMINUM DRIP EDGE
- 22 PROVIDE 4" ROUND 0.032" ALUMINUM COMBPOUT-TIE INTO NEW ROOF. SEE CIVIL DRAWINGS
- 23 PRE-ANALYZED RIDGE VENT
- 24 PROVIDE 4" PRE-FINISHED ALUMINUM COPING

5 FINISHES

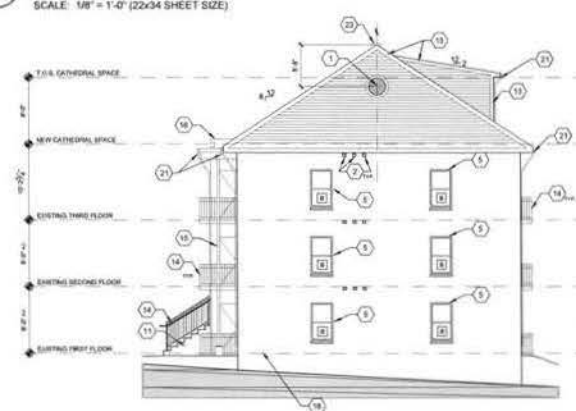
NOT TO SCALE

6 KEYED NOTES

NOT TO SCALE

2 SOUTH ELEVATION

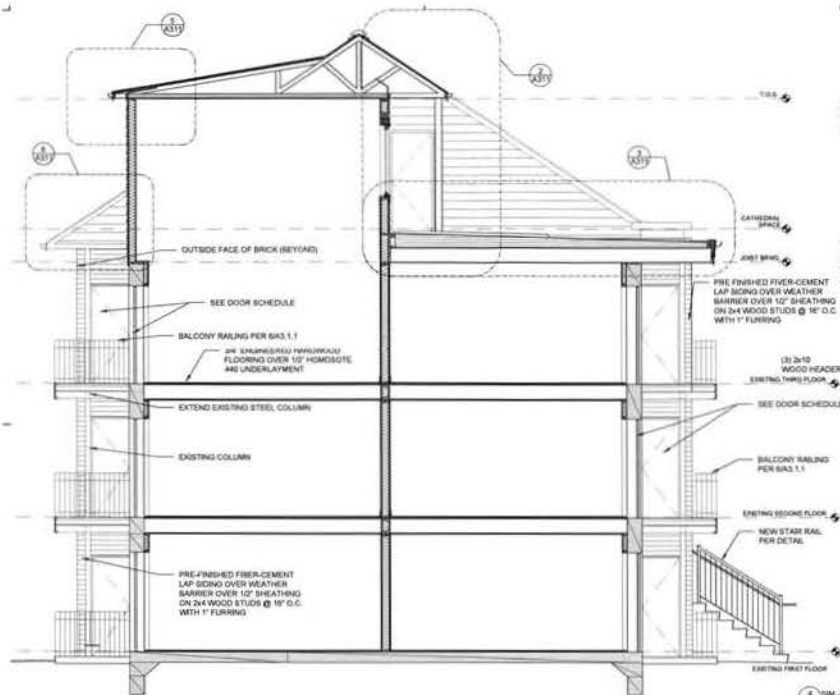
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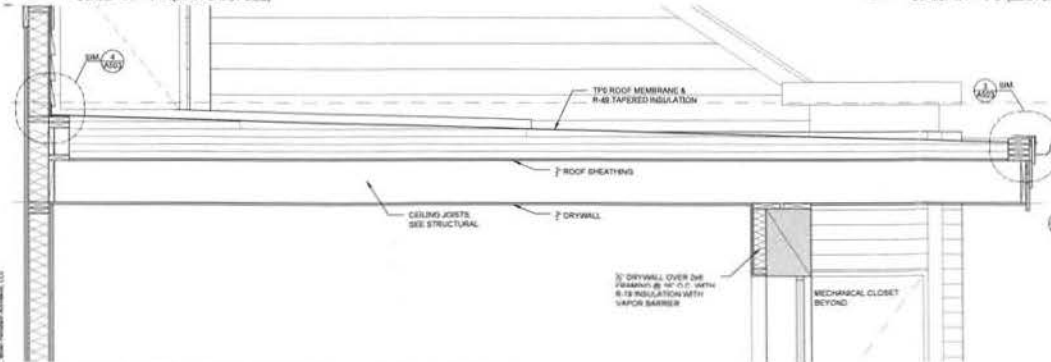
4 NORTH ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

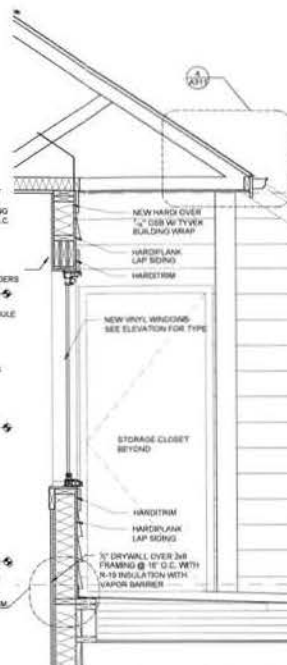
- 9 PROVIDE MECHANICAL UNIT W/ ARCHITECTURAL LOUVER
- 10 CONCEALING FLUES FROM WATER HEATERS
- 11 REPLACE EXISTING STAIRS
- 12 PROVIDE ALUMINUM STOREFRONT
- 13 PROVIDE 3/4" HARDTRIM SMOOTH FASCIA BOARDS - 5.5" WIDE
- 14 PROVIDE PAINTED STEEL HANDRAIL / GUARDRAIL - SEE DETAIL MAX.1.1
- 15 EXISTING COLUMNS TO REMAIN. CLEAN ALL LOOSE PAINT. RUST. ALL NON-COMPATIBLE MATERIALS - PREPARE FOR PAINTED FINISH
- 16 REMOVE COLUMNS ABOVE CHANNEL AT THIRD FLOOR BALCONY. PROVIDE NEW WELD 1/4" CAP PLATE ON TOP OF EXISTING COLUMN
- 17 EXTEND EXISTING BRICK - MATCH EXISTING
- 18 EXISTING ELECTRICAL METER AND SERVICE TO REMAIN
- 19 PROVIDE STANDING SEAM METAL ROOF
- 20 PROVIDE CORNER WINDOW
- 21 PRE-FINISHED 0.032" CONT. ALUMINUM GUTTER W/ 0.032" CONT. ALUMINUM DRIP EDGE
- 22 PROVIDE 4" ROUND 0.032" ALUMINUM COMBPOUT-TIE INTO NEW ROOF. SEE CIVIL DRAWINGS
- 23 PRE-ANALYZED RIDGE VENT
- 24 PROVIDE 4" PRE-FINISHED ALUMINUM COPING



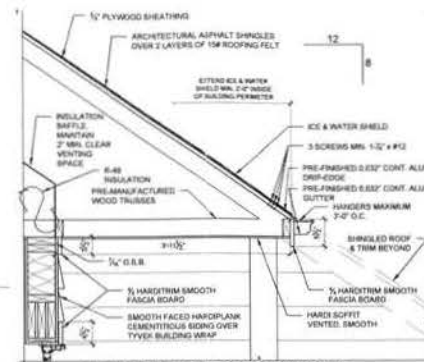
1 BUILDING SECTION AT CATHEDRAL SPACE
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SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



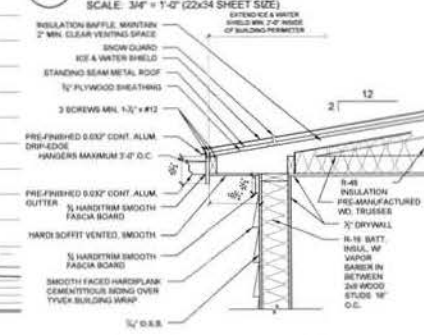
3 LOW ROOF AT CATHEDRAL SPACE SECTION
SCALE: 3/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 3/4" = 1'-0" (22x34 SHEET SIZE)



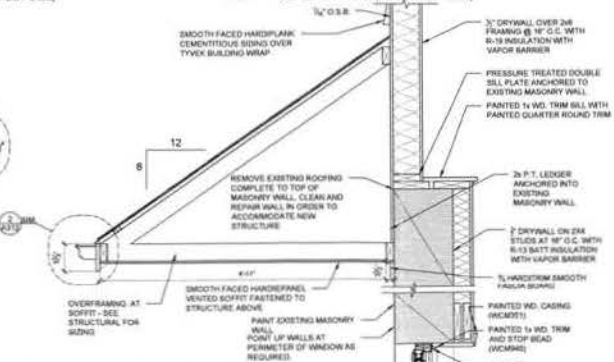
2 CATHEDRAL SPACE ROOF SECTION
SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



4 CATHEDRAL ROOF ABOVE CLOSET SECTION
SCALE: 3/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 3/4" = 1'-0" (22x34 SHEET SIZE)



5 STANDING SEAM METAL ROOF SECTION
SCALE: 3/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 3/4" = 1'-0" (22x34 SHEET SIZE)



6 CATHEDRAL ROOF AT WALL SECTION
SCALE: 1/2" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1" = 1'-0" (22x34 SHEET SIZE)

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Architect's Project Number: 1114
PERMIT SET 07/06/2012
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East of the Capitol II

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Building Sections

A3.1.1

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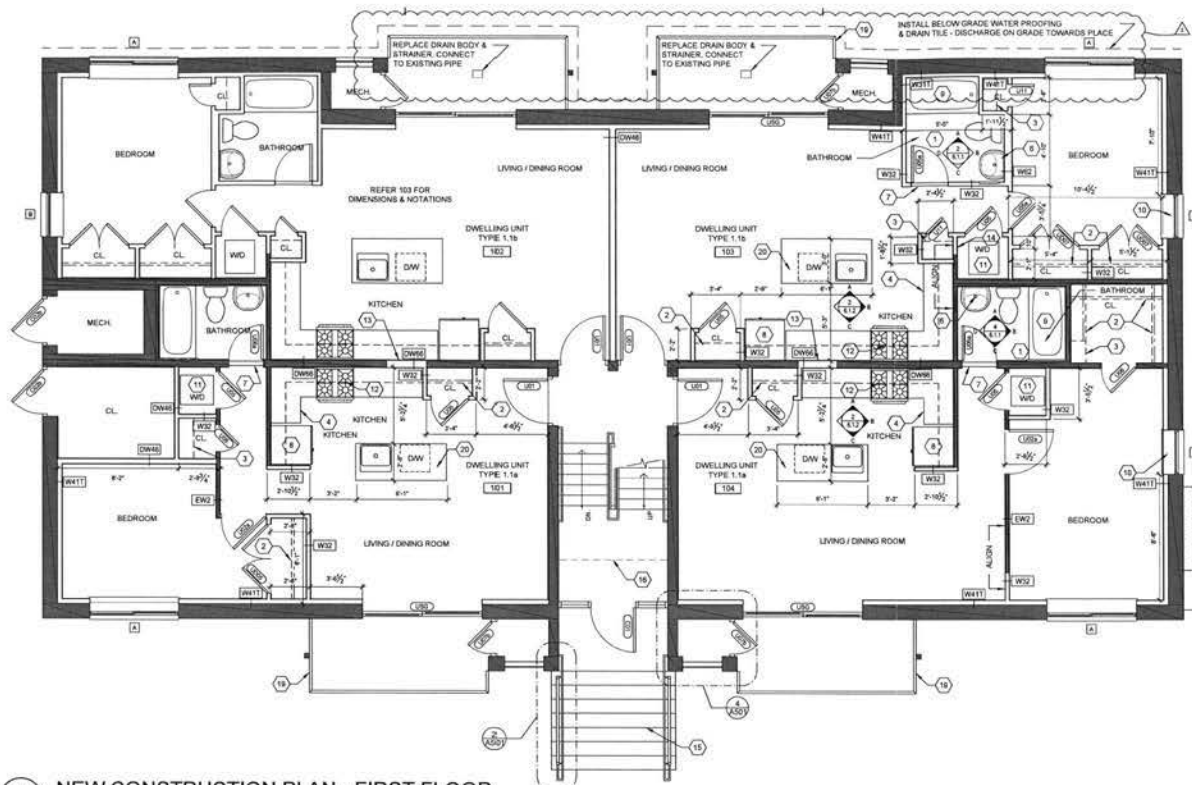
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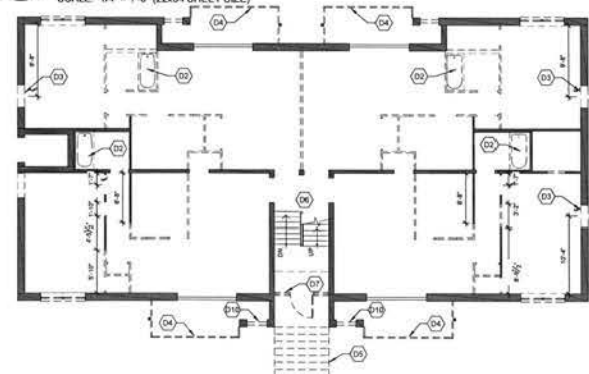
First Floor Plan

A2.0.1



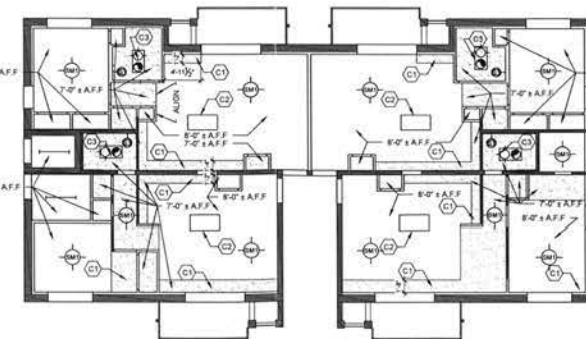
1 NEW CONSTRUCTION PLAN - FIRST FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



2 DEMOLITION PLAN - FIRST FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 REFLECTED CEILING PLAN - FIRST FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 2'-4" A.F.F.
- 3 NEW WIRE SHELVING - PROVIDE 5 SHELVES EVENLY SPACED 18" APART
- 4 NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW DOUBLE VANITY: CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
- 6 NEW PEDESTAL SINK
- 7 NEW 3'-0" WIDE MARBLE THRESHOLD
- 8 NEW REFRIGERATOR
- 9 NEW BATHTUB AND FULL HEIGHT CERAMIC TILE TUB SACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- 10 NEW STEEL UNITS OVER NEW WINDOW, SEE UNITS SCHEDULE
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 INFILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
- 14 MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- 15 NEW CONCRETE ENTRY STAIR, REFER TO SECTION 3A5.5.1 STAIR LANDING ABOVE
- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL, REFER TO DETAIL 7A5.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

4 KEYED NOTES - NEW CONSTRUCT.

NOT TO SCALE

- D1 REMOVE PORTION OF MASONRY
- D2 REMOVE EXISTING BATHTUB COMPLETE
- D3 REMOVE MASONRY WALL IN PREPARATION FOR NEW WINDOW, TOOTH IN BRICK FOR CLEAN LOOK
- D4 REMOVE EXISTING RAILING COMPLETE
- D5 REMOVE EXISTING EXTERIOR STAIR, FOOTING, AND FOUNDATION FOR STAIR COMPLETE
- D6 EXISTING STAIR TO REMAIN
- D7 REMOVE EXISTING STOREFRONT
- D8 REMOVE EXISTING CHIMNEY FLUE COMPLETE
- D9 REMOVE EXISTING ROOF, TRUSSES AND SHEATHING COMPLETE
- D10 REMOVE EXISTING DECORATIVE GRATING
- D11 REMOVE EXISTING COLUMN (AT THIRD FLOOR ONLY)

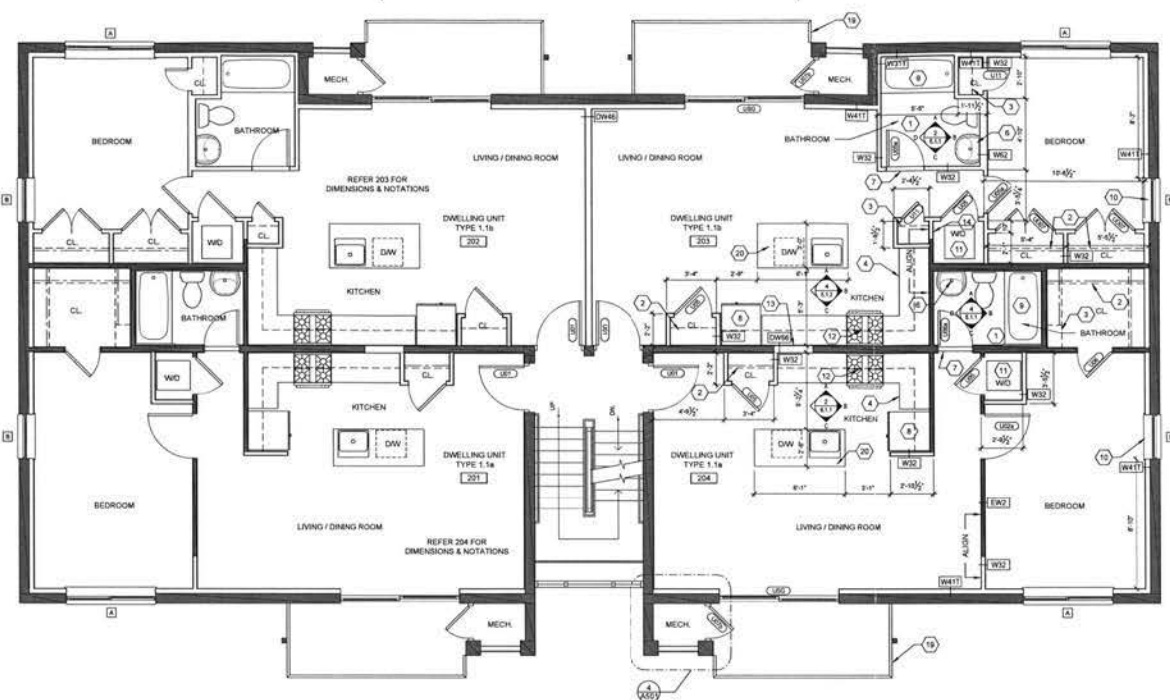
5 KEYED NOTES - DEMOLITION

NOT TO SCALE

- C1 NEW DRYWALL BULKHEAD, REFER TO DETAIL 3A7.22 OR ALTERNATE DETAILS
- C2 NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE
- C3 NEW COMBINATION LIGHT/EXHAUST FAN
- C4 PROVIDE 22" x 34" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED
- C5 ROOF OUTLINE

6 KEYED NOTES - RCP

NOT TO SCALE



- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 5'-4" A.F.F.
- 3 NEW WARE SHELVING - PROVIDE 3 SHELVES EVENLY SPACED 18" APART
- 4 NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW DOUBLE VANITY, CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
- 6 NEW PEDESTAL SINK
- 7 NEW 3.5" WIDE MARBLE THRESHOLD
- 8 NEW REFRIGERATOR
- 9 NEW BATHTUB AND FULL HEIGHT CERAMIC TILE TUB BACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- 10 NEW STEEL UNTEL OVER NEW WINDOW. SEE UNTEL SCHEDULE
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 INFILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
- 14 MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- 15 NEW CONCRETE ENTRY STAIR, REFER TO SECTION 31A.1.1 STAIR LANDING ABOVE
- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL, REFER TO DETAIL 71A.1.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

4 KEYED NOTES - NEW CONSTRUCT. NOT TO SCALE

- (11) REMOVE PORTION OF MASONRY
- (12) REMOVE EXISTING BATHTUB COMPLETE
- (13) REMOVE MASONRY WALL IN PREPARATION FOR NEW WINDOW. TOOTH IN BRICK FOR CLEAN LOOK
- (14) REMOVE EXISTING RAILING COMPLETE
- (15) REMOVE EXISTING EXTERIOR STAIR, FOOTING, AND FOUNDATION FOR STAIR COMPLETE
- (16) EXISTING STAIR TO REMAIN
- (17) REMOVE EXISTING STOREFRONT
- (18) REMOVE EXISTING CHIMNEY FLUE COMPLETE
- (19) REMOVE EXISTING ROOF, TRUSSES AND SHEATHING COMPLETE
- (20) REMOVE EXISTING DECORATIVE GRATING
- (21) REMOVE EXISTING COLUMN (AT THIRD FLOOR ONLY)

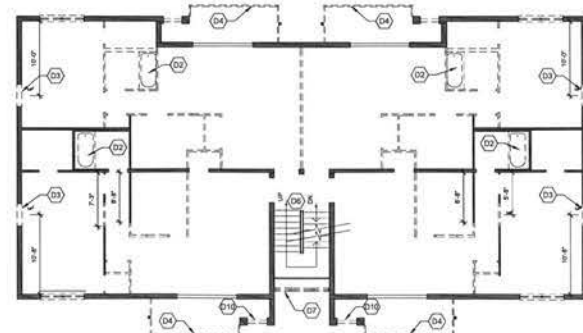
5 KEYED NOTES - DEMOLITION NOT TO SCALE

- (C1) NEW DRYWALL BLUEHEAD. REFER TO DETAIL 31A722 OR ALTERNATE DETAILS
- (C2) NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE
- (C3) NEW COMBINATION LIGHT/EXHAUST FAN
- (C4) PROVIDE 22" x 34" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED
- (C5) ROOF OUTLINE

6 KEYED NOTES - RCP NOT TO SCALE

1 NEW CONSTRUCTION PLAN - SECOND FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)

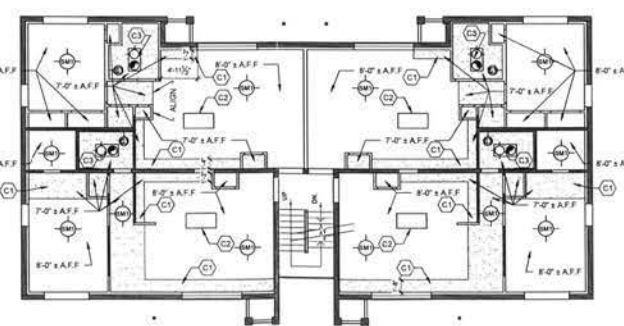


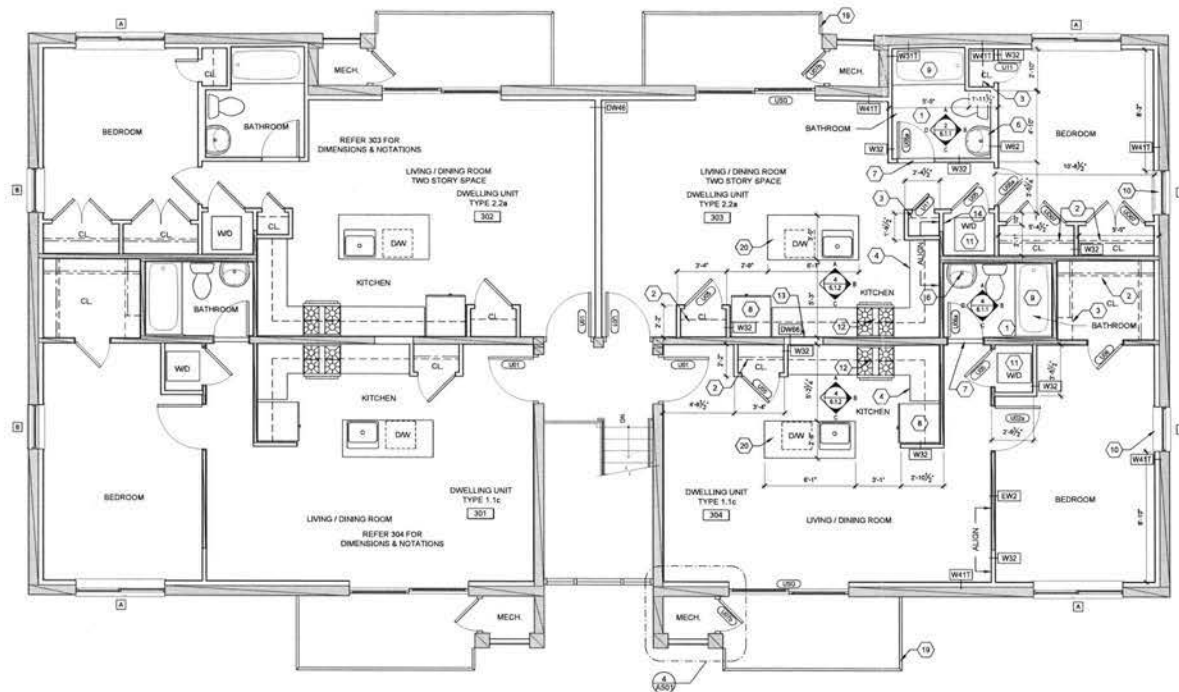
2 DEMOLITION PLAN - SECOND FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

3 REFLECTED CEILING PLAN - SECOND FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)





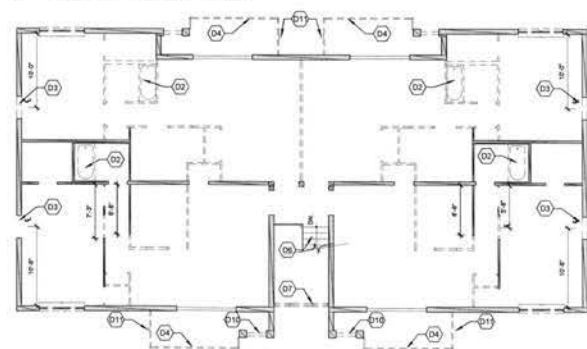
- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 5'-4" A.F.F.
- 3 NEW WARE SHELVING - PROVIDE 5-SHELVES EVENLY SPACED 18" APART
- 4 NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW DOUBLE VANITY, CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
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- 8 NEW REFRIGERATOR
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- 10 NEW STEEL LINTEL OVER NEW WINDOW. SEE LINTEL SCHEDULE
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 INFILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
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- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL. REFER TO DETAIL 7A5.5.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

4 KEYED NOTES - NEW CONSTRUCT. NOT TO SCALE

- (D1) REMOVE PORTION OF MASONRY
- (D2) REMOVE EXISTING BATHTUB COMPLETE
- (D3) REMOVE MASONRY WALL IN PREPARATION FOR NEW WINDOW. TOOTH IN BRICK FOR CLEAN LOOK
- (D4) REMOVE EXISTING RAILING COMPLETE
- (D5) REMOVE EXISTING EXTERIOR STAIR, FOOTING, AND FOUNDATION FOR STAIR COMPLETE
- (D6) EXISTING STAIR TO REMAIN
- (D7) REMOVE EXISTING STOREFRONT
- (D8) REMOVE EXISTING CHIMNEY FLUE COMPLETE
- (D9) REMOVE EXISTING ROOF, TRUSSES AND SHEATHING COMPLETE
- (D10) REMOVE EXISTING DECORATIVE GRATING
- (D11) REMOVE EXISTING COLUMN (AT THIRD FLOOR ONLY)

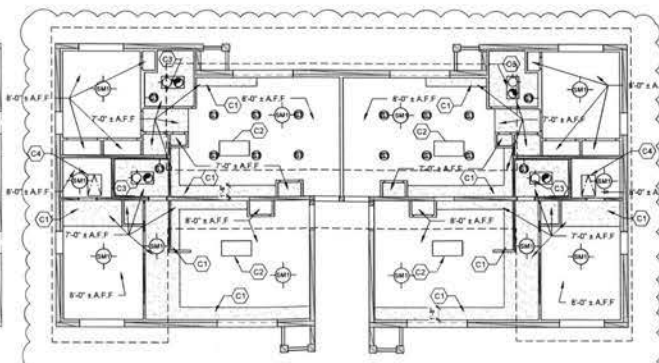
1 NEW CONSTRUCTION PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



2 DEMOLITION PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



3 REFLECTED CEILING PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)

5 KEYED NOTES - DEMOLITION NOT TO SCALE

- (C1) NEW DRYWALL BLANKHEAD. REFER TO DETAIL 3A722 OR ALTERNATE DETAILS.
- (C2) NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE.
- (C3) NEW COMBINATION LIGHT/EXHAUST FAN.
- (C4) PROVIDE 22" x 24" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED.
- (C5) ROOF OUTLINE

6 KEYED NOTES - RCP NOT TO SCALE

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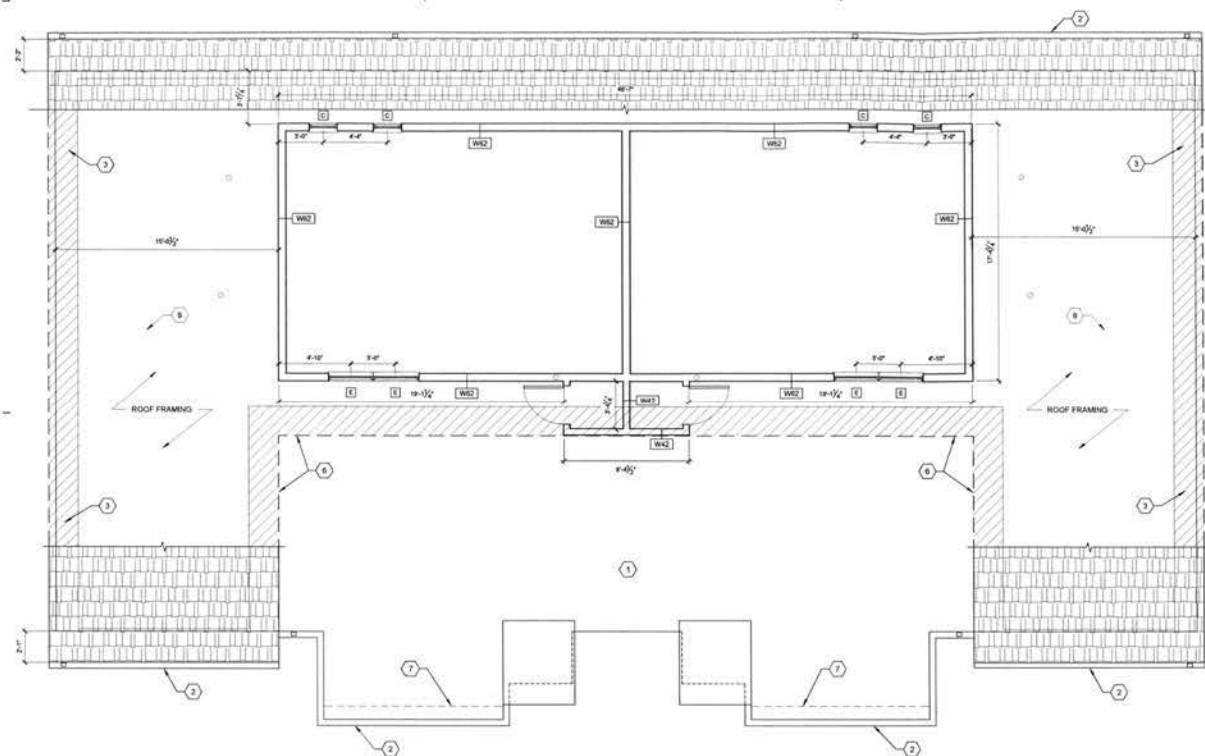
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Low Roof Plan

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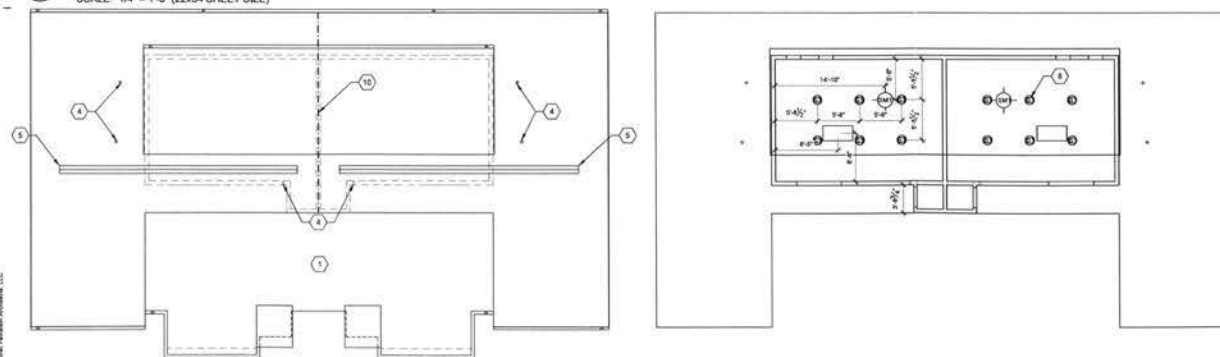


2 KEYED NOTES - ROOF

NOT TO SCALE

1 NEW CONSTRUCTION PLAN - CATHEDRAL ATTIC SPACE / ROOF

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



3 NEW CONSTRUCTION PLAN - HIGH ROOF

SCALE: 1/8" = 1'-0"

4 NEW CONSTRUCTION PLAN - CATHEDRAL SPACE RCP

SCALE: 1/8" = 1'-0"

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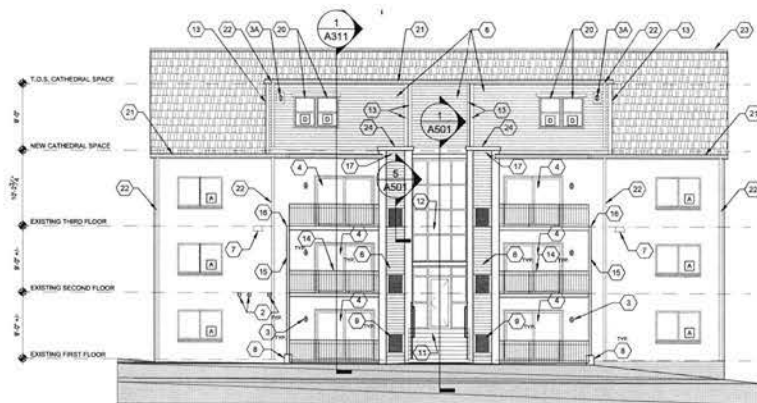
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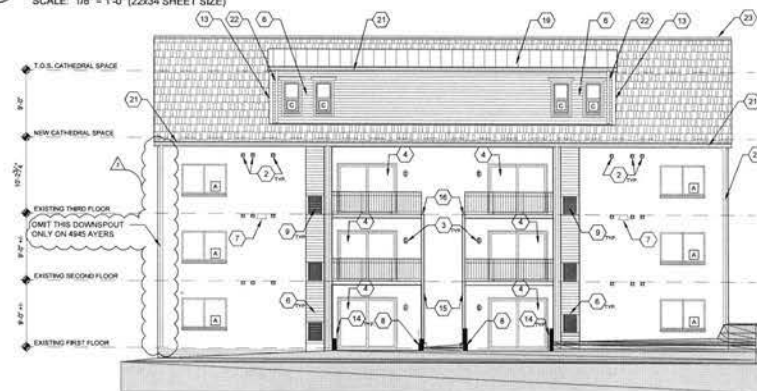
Exterior Elevations

A3.0.1



1 EAST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 WEST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

EXTERIOR PAINT (SHERWIN WILLIAMS) ON BRICK TO BE SW 6142 "MACADAMIA"
FASCIA BOARDS (HARDTRIM) TO BE 5.5" 3/4" SMOOTH BOARDS "ARCTIC WHITE"
TRIM (HARDTRIM) TO BE 3.5" 3/4" SMOOTH BOARDS "ARCTIC WHITE"
DORMER WINDOW "LINTEL TRIM" (HARDTRIM) TO BE 4.5" 3/4" SMOOTH BOARDS "ARCTIC WHITE"
FLOOR JOIST TRIM @ ATTIC & EXISTING WALL (HARDTRIM) TO BE (2) 7.25" 3/4" SMOOTH BOARDS "ARCTIC WHITE" WITH 1-3/4" OVERLAP
PENTHOUSE LEVEL SIDING (HARDPLANK) TO BE "CORBIE STONE" WITH 7" REVEAL
MECHANICAL SIDING (HARDPLANK) TO BE "BOOTHBAY BLUE" WITH 7" REVEAL
MECHANICAL SIDING TO BE PAINTED (SHERWIN WILLIAMS) SW 6142 "MACADAMIA" TO MATCH BRICK PAINT
RAILINGS TO BE PAINTED (SHERWIN WILLIAMS) SW 6041 "OTTIER"

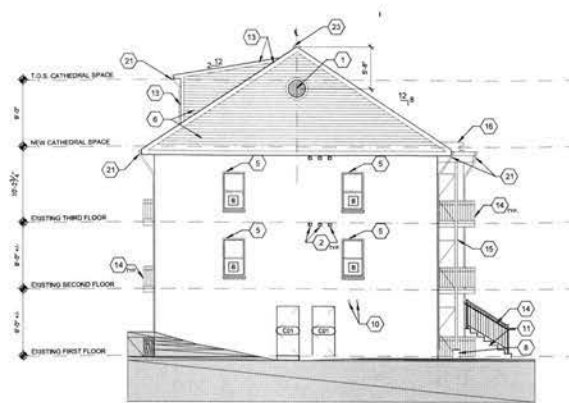
- 1 PROVIDE 28" WYPON VENTILATING LOUVER W/ INSECT SCREEN & 4" TRIM
- 2 PROVIDE EXHAUST FAN W/ PRE-FINISHED ALUMINUM EXHAUST CAP AND INSERT SCREEN - COORD. W/ MECH
- 3 PROVIDE ARCHITECTURAL LIGHT FIXTURE - SEE SCHEDULE
- 4A PROVIDE NEW ARCHITECTURAL LIGHT FIXTURE - PROVIDE 8"x12" HARDTRIM MOUNTING BLOCK
- 4 PROVIDE SLIDING GLASS DOOR, GLAZING TO BE INSULATED, DOUBLE GLAZED ARCON FILLED, AND TEMPERED
- 5 PROVIDE WINDOW IN NEW MASONRY OPENING. PROVIDE NEW STEEL LINTEL PER SCHEDULE. REFER TO DETAILS FOR INSTALLATION.
- 6 PROVIDE HANDPLANK SIDING WITH 7" EXPOSURE.
- 7 PROVIDE WALL PAK LIGHT FIXTURE - SEE LIGHT FIXTURE SCHEDULE
- 8 PROVIDE CONCRETE PIER - REFER TO 102/503.0.1 FOR DETAILS

5 FINISHES

NOT TO SCALE

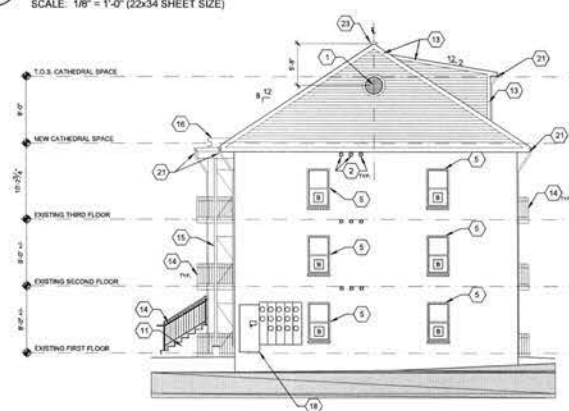
6 KEYED NOTES

NOT TO SCALE



2 SOUTH ELEVATION

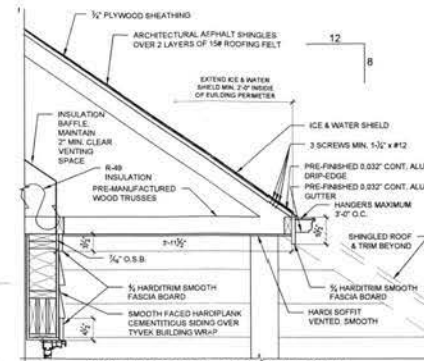
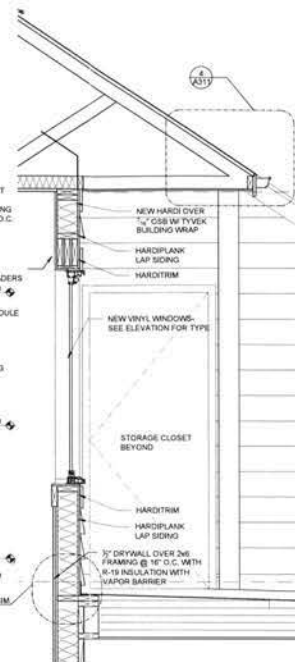
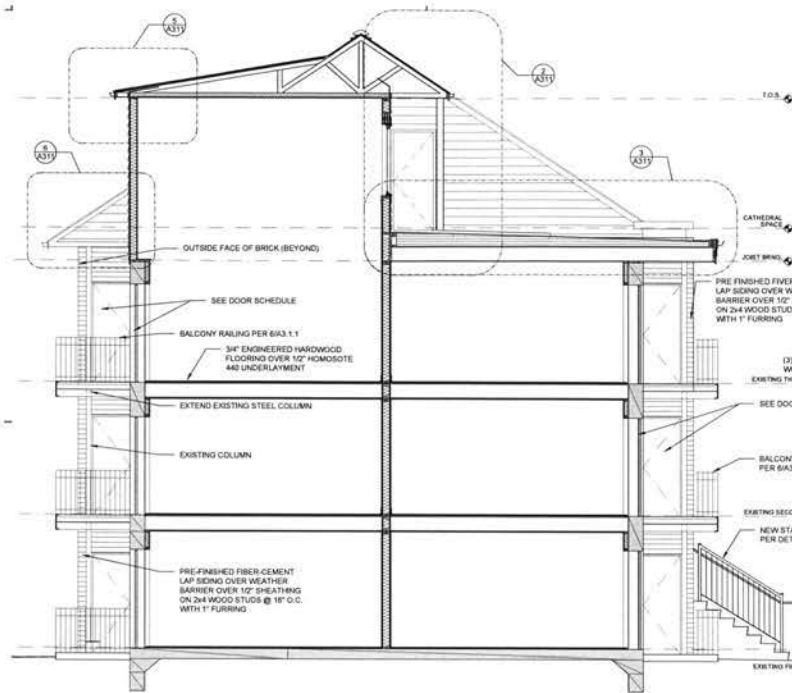
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4 NORTH ELEVATION

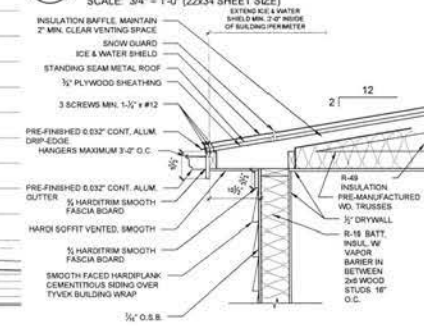
SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 8 PROVIDE MECHANICAL UNIT W/ ARCHITECTURAL LOUVER
- 9 CONCENTRIC FLUES FROM WATER HEATERS
- 11 REPLACE EXISTING STAIRS
- 12 PROVIDE ALUMINUM STOREFRONT
- 13 PROVIDE 1/2" HARDTRIM SMOOTH FASCIA BOARDS - 5.5" WIDE
- 14 PROVIDE PAINTED STEEL HANDRAIL / GUARDRAIL - SEE DETAIL 613.1.1
- 15 EXISTING COLUMNS TO REMAIN, CLEAN ALL LOOSE PAINT, RUST, ALL NON-COMPATIBLE MATERIALS - PREPARE FOR PAINTED FINISH
- 16 REMOVE COLUMN ABOVE CHANNEL AT THIRD FLOOR BALCONY. PROVIDE NEW WELD 1/4" CAP PLATE ON TOP OF EXISTING COLUMN
- 17 EXTEND EXISTING BRICK - MATCH EXISTING.
- 18 EXISTING ELECTRICAL METER AND SERVICE TO REMAIN
- 19 PROVIDE STANDING SEAM METAL ROOF.
- 20 PROVIDE DORMER WINDOW.
- 21 PRE-FINISHED 0.032" CONT. ALUMINUM GUTTER W/ 0.032" CONT. ALUMINUM DRIP EDGE.
- 22 PROVIDE 4" ROUND 0.032" ALUMINUM DOWNSPOUT - TIE INTO NEW ROOF SEE CIVIL DRAWINGS.
- 23 PRE-MANUFACTURED RIDGE VENT.
- 24 PROVIDE 6" PRE-FINISHED ALUMINUM COPING.



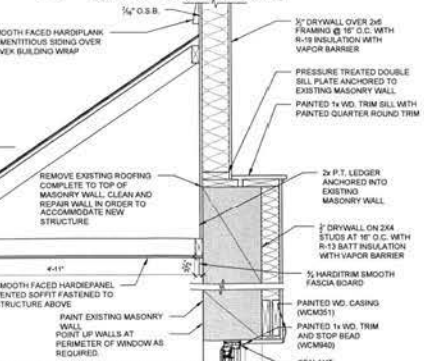
CATHEDRAL ROOF ABOVE CLOSET SECTION

SCALE: 3/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 3/4" = 1'-0" (22x34 SHEET SIZE)



STANDING SEAM METAL ROOF SECTION

SCALE: 3/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 3/4" = 1'-0" (22x34 SHEET SIZE)

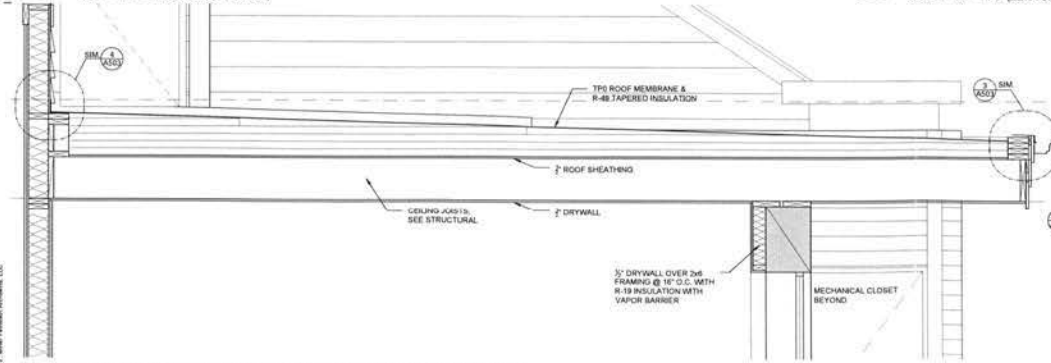


CATHEDRAL ROOF AT WALL SECTION

SCALE: 1/2" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1" = 1'-0" (22x34 SHEET SIZE)

BUILDING SECTION AT CATHEDRAL SPACE

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



LOW ROOF AT CATHEDRAL SPACE SECTION

SCALE: 3/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 3/4" = 1'-0" (22x34 SHEET SIZE)

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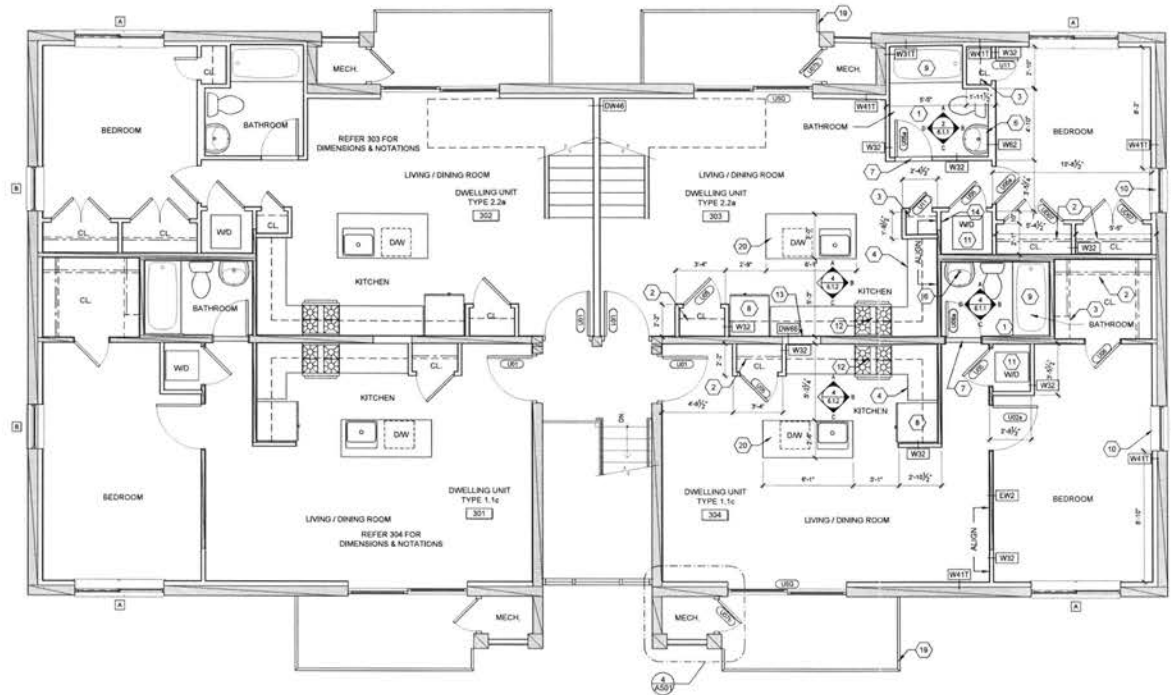
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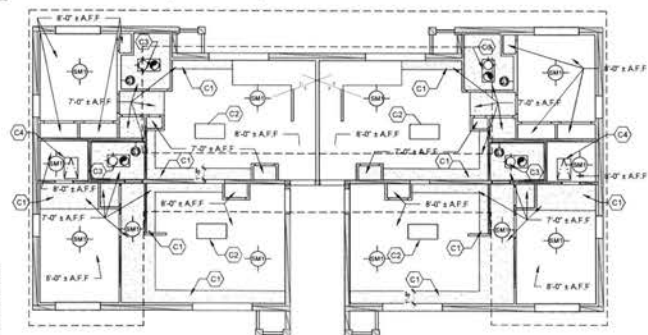
Building Sections

A3.1.1



1 PROPOSED NEW CONSTRUCTION PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



2 PROPOSED REFLECTED CEILING PLAN - THIRD FLOOR

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 5'-4" A.F.F.
- 3 NEW WIRE SHELVING - PROVIDE 5 SHELVES EVENLY SPACED 18" APART
- 4 NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW DOUBLE VANITY, CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
- 6 NEW PEDESTAL SINK
- 7 NEW 3'-5" WIDE MARBLE THRESHOLD
- 8 NEW REFRIGERATOR
- 9 NEW BATHTUB AND FULL HEIGHT CERAMIC TILE TUB BACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- 10 NEW STEEL UNIT, OVER NEW WINDOW, SEE UNIT, SCHEDULE
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 INFILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
- 14 MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- 15 NEW CONCRETE ENTRY STAIR, REFER TO SECTION 31A.5.1 STAIR LANDING ABOVE
- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL, REFER TO DETAIL 71A.5.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

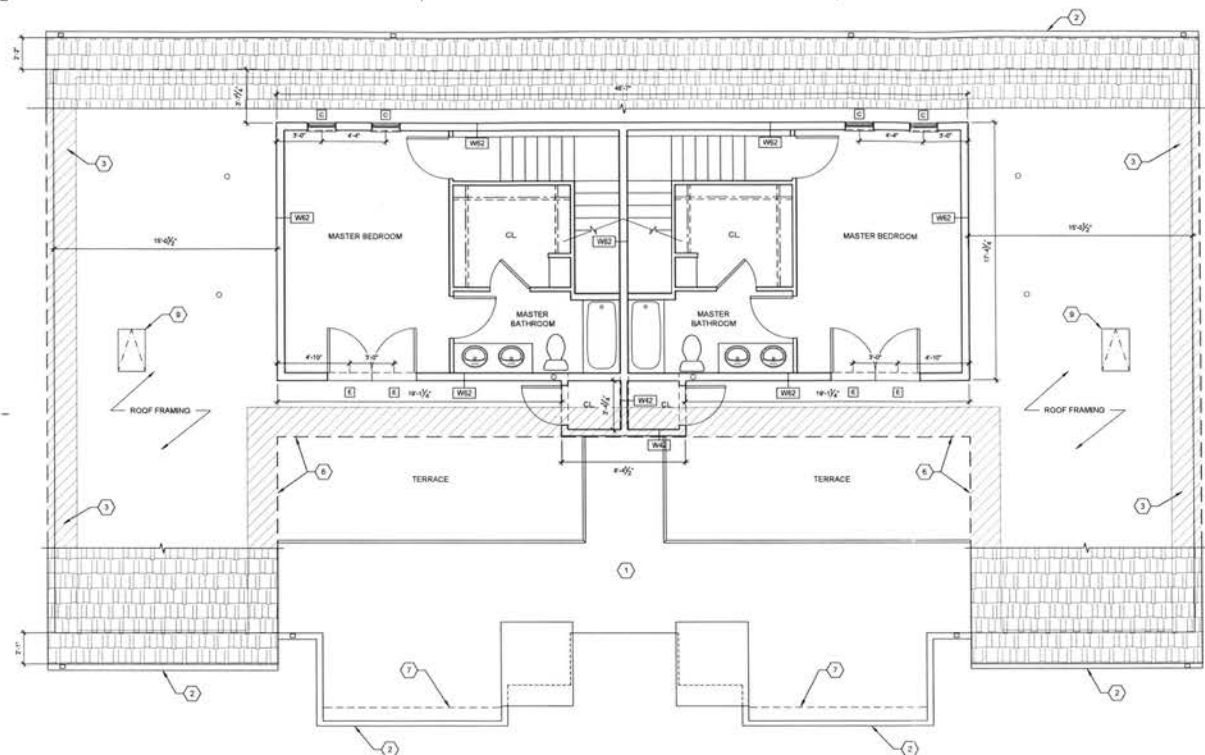
3 KEYED NOTES - NEW CONSTRUCT.

NOT TO SCALE

- C1 NEW DRYWALL BULKHEAD, REFER TO DETAIL 31A.722 OR ALTERNATE DETAILS.
- C2 NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE.
- C3 NEW COMBINATION LIGHT/EXHAUST FAN.
- C4 PROVIDE 22" x 24" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED.
- C5 ROOF OUTLINE

4 KEYED NOTES - RCP

NOT TO SCALE



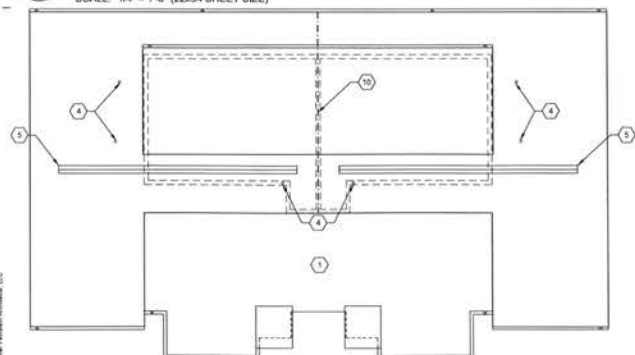
- 1 LOW-SLOPE ROOF AREA TO BE REPLACED - SEE GENERAL NOTES FOR REPLACEMENT OF BUILT-UP ROOF WITH TWO MEMBRANE.
- 2 PROVIDE PRE-FINISHED 0.032" CONT. ALUMINUM GUTTER W/ 0.032" CONT. ALUMINUM DRIP EDGE AND 4" ROUND 0.032" PRE-FINISHED ALUMINUM DOWNSPOUTS.
- 3 PROVIDE SELF-ADHERING SHEET UNDER-LAYMENT (ICE & WATER SHIELD) AT PERIMETER OF ROOF - REFER TO SPECIFICATIONS.
- 4 PROVIDE 4" PLUMBING VENT. SEE DETAIL 21A503.
- 5 PROVIDE RIDGE VENT. SEE DETAIL 1A503.
- 6 OUTLINE OF ROOF ABOVE.
- 7 BALCONY BELOW.
- 8 PROVIDE RECESSED LIGHTING FIXTURES.
- 9 ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED.
- 10 PROVIDE DRAFT STOPPING IN TRUSS BETWEEN UNITS.

2 KEYED NOTES - ROOF

NOT TO SCALE

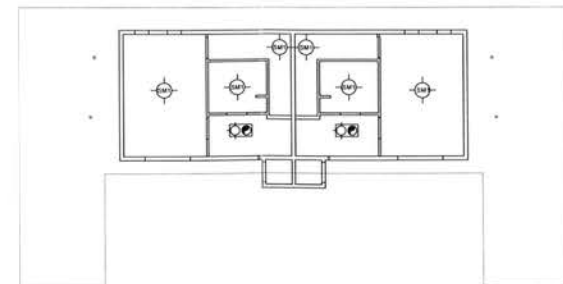
1 PROPOSED NEW CONSTRUCTION PLAN - LOFTED FOURTH FLOOR

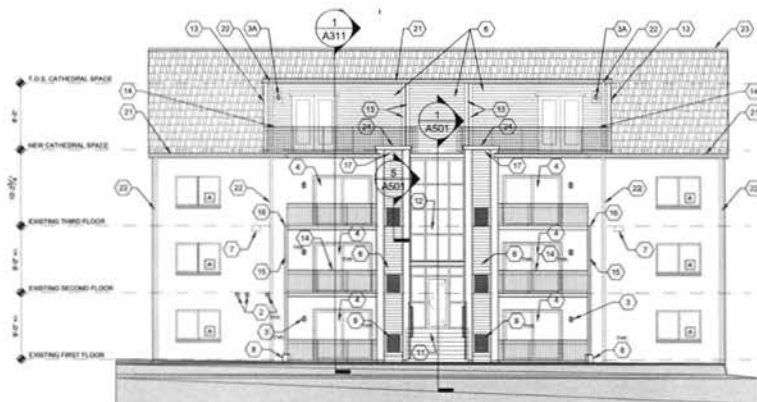
SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



4 PROPOSED RCP - LOFTED FOURTH FLOOR

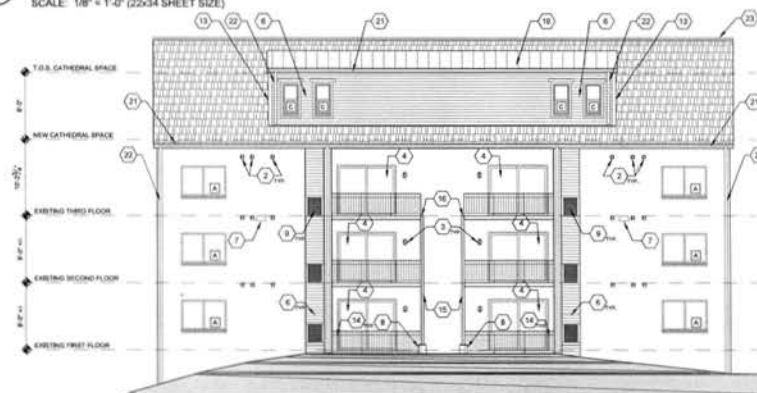
SCALE: 1/8" = 1'-0"





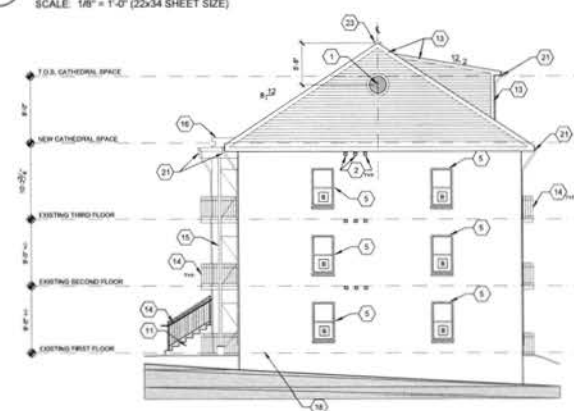
1 PROPOSED EAST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



2 PROPOSED SOUTH ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 PROPOSED WEST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- | | |
|--|---|
| <p>1 PROVIDE 28\"/> </p> | <p>6 PROVIDE MECHANICAL UNIT W/ ARCHITECTURAL SLOUVER</p> <p>10 CONCENTRIC FLUES FROM WATER HEATERS</p> <p>11 REPLACE EXISTING STAIRS</p> <p>12 PROVIDE ALUMINUM STOREFRONT</p> <p>13 PROVIDE 1/2\"/> </p> |
| <p>2 PROVIDE EXHAUST FAN W/ PRE-FINISHED ALUMINUM EXHAUST CAP AND INSERT SCREEN - COORD. W/ MECH.</p> <p>3 PROVIDE ARCHITECTURAL LIGHT FIXTURE - SEE SCHEDULE</p> <p>4 PROVIDE NEW ARCHITECTURAL LIGHT FIXTURE - PROVIDE 6\"/> </p> | <p>14 EXISTING COLUMNS TO REMAIN. CLEAN ALL LOOSE PAINT. RUST. ALL NON-COMPATIBLE MATERIALS - PREPARE FOR PAINTED FINISH</p> <p>15 REMOVE COLUMN ABOVE CHANNEL AT THIRD FLOOR BALCONY. PROVIDE NEW WELD 1/4\"/> </p> |
| <p>5 PROVIDE WINDOW IN NEW MASONRY OPENING. PROVIDE NEW STEEL LINTEL PER SCHEDULE. REFER TO DETAILS FOR INSTALLATION</p> <p>6 PROVIDE HANDPLANK SIDING WITH 7\"/> </p> | <p>16 EXTEND EXISTING BRICK - MATCH EXISTING</p> <p>17 EXISTING ELECTRICAL METER AND SERVICE TO REMAIN</p> |

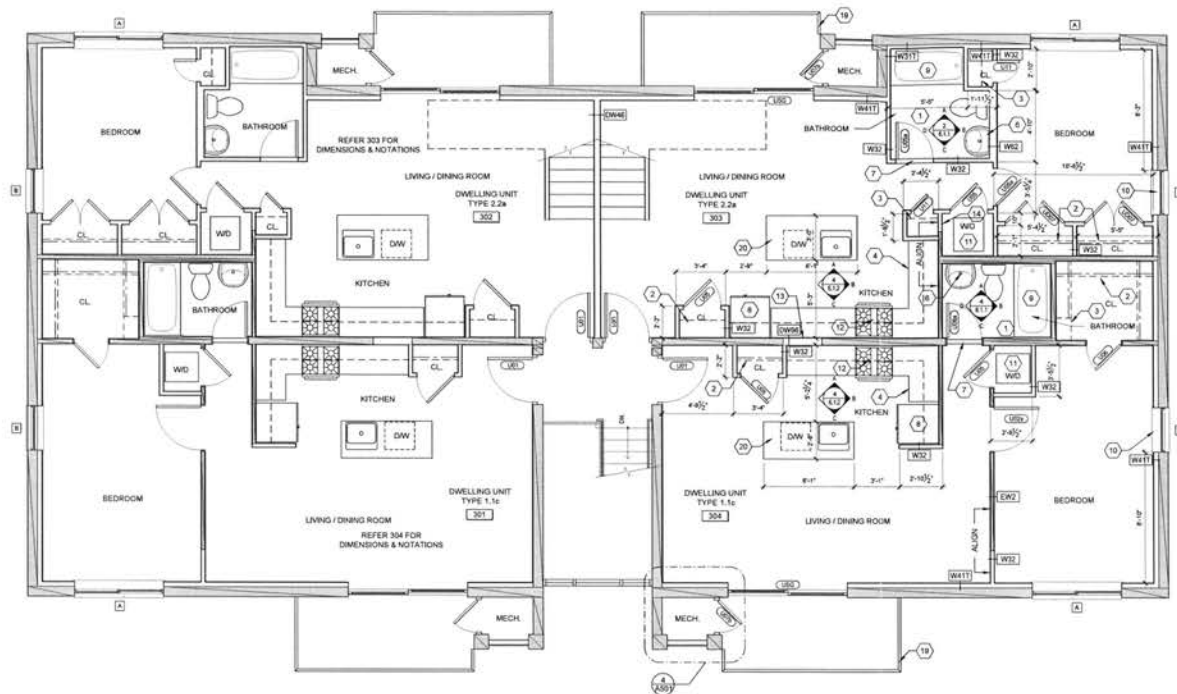
5 KEYED NOTES

NOT TO SCALE

4 PROPOSED NORTH ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 18 PROVIDE STANDING SEAM METAL ROOF.
- 19 PROVIDE DORMER WINDOW.
- 20 PRE-FINISHED 0.032\"/>



- 1 NEW WATER CLOSET - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 2 NEW CLOSET ROD AND SHELF - MOUNT AT 5'-4" A.F.F.
- 3 NEW WIRE SHELVING - PROVIDE 5 SHELVES EVENLY SPACED 18" APART
- 4 NEW KITCHEN BASE AND/OR WALL CABINETS - REFER TO THE INTERIOR ELEVATIONS FOR CONFIGURATIONS
- 5 NEW DOUBLE VANITY, CULTURED MARBLE TOP WITH BACK & SIDE SPLASH, FAUCET, AND TRIM
- 6 NEW PEDISTAL SINK
- 7 NEW 3.5" WIDE MARBLE THRESHOLD
- 8 NEW REFRIGERATOR
- 9 NEW BATHTUB AND FULL HEIGHT CERAMIC TILE TUB BACKER SURROUND OVER CEMENTIOUS BACKER BOARD
- 10 NEW STEEL UNTEL OVER NEW WINDOW. SEE UNTEL SCHEDULE
- 11 NEW FULL SIZE STACKABLE WASHER / DRYER
- 12 NEW ELECTRIC RANGE AND DIRECT VENT RANGE HOOD
- 13 INFILL EXISTING OPENING - ALIGN WITH EXISTING ADJACENT SURFACES
- 14 MATCH NEW PARTITION WITH EXISTING ADJACENT SURFACES
- 15 NEW CONCRETE ENTRY STAIR. REFER TO SECTION 31A5.0.1 STAIR LANDING ABOVE
- 16 STAIR ABOVE
- 17 NEW INTERIOR WOOD STAIR AND RAIL. REFER TO DETAIL 71A5.0.1
- 18 NEW 42" HIGH PAINTED METAL GUARDRAIL
- 19 ISLAND COUNTER
- 20 NOT USED

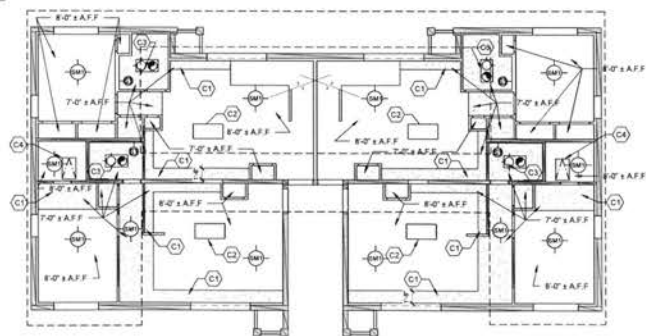
3 KEYED NOTES - NEW CONSTRUCT. NOT TO SCALE

- C1 NEW DRYWALL BULKHEAD. REFER TO DETAIL 3A722 OR ALTERNATE DETAILS.
- C2 NEW SURFACE MOUNTED CLOUD STYLE LIGHTING FIXTURE.
- C3 NEW COMBINATION LIGHT/EXHAUST FAN.
- C4 PROVIDE 22" x 34" ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED.
- C5 ROOF OUTLINE

4 KEYED NOTES - RCP NOT TO SCALE

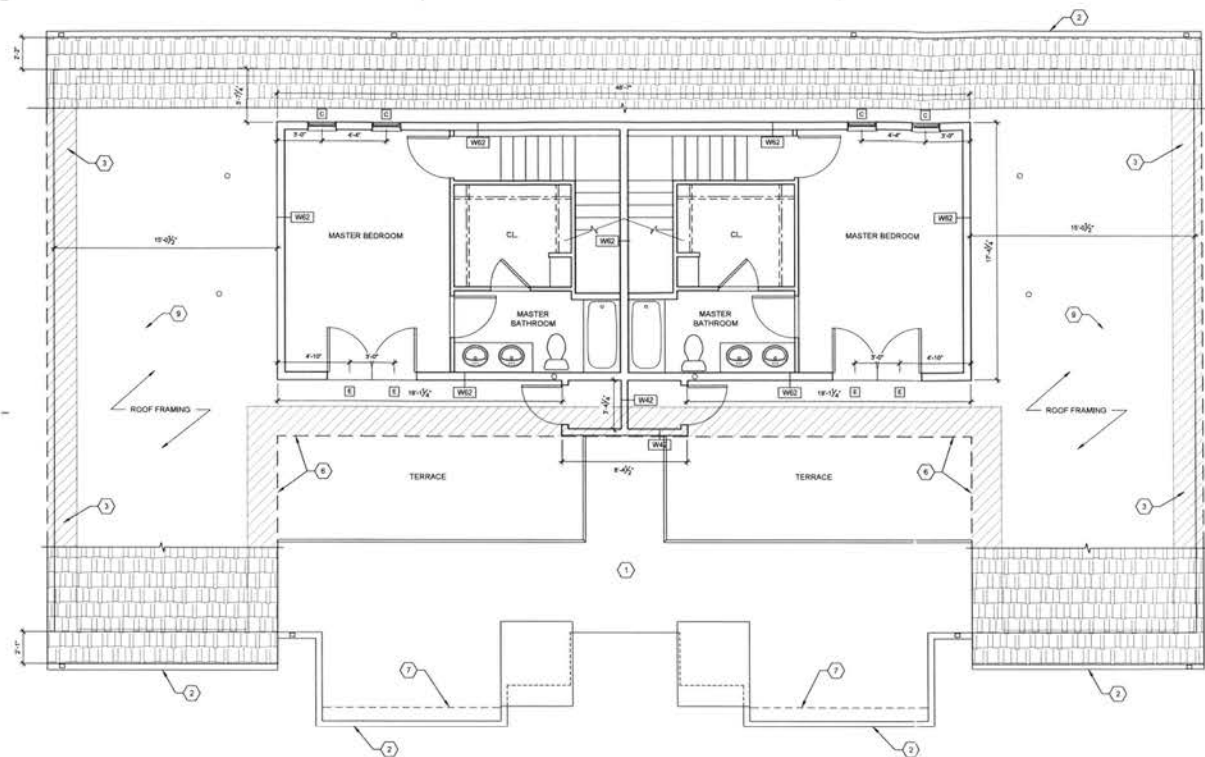
1 PROPOSED NEW CONSTRUCTION PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/4" = 1'-0" (22x34 SHEET SIZE)



2 REFLECTED CEILING PLAN - THIRD FLOOR

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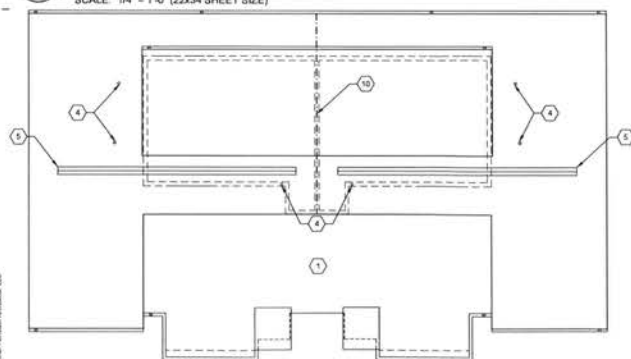


- 1 DOWN-SLOPE ROOF AREA TO BE REPLACED - SEE GENERAL NOTES FOR REPLACEMENT OF BUILT-UP ROOF WITH TPO MEMBRANE.
- 2 PROVIDE PREFINISHED 6.032" CONT. ALUMINUM GLITTER W/ 6.032" CONT. ALUMINUM DRIP EDGE AND 4" ROUND 5.032" PREFINISHED ALUMINUM DOWNSPOUTS.
- 3 PROVIDE SELF-ADHERING SHEET UNDERLAYMENT (ICE & WATER SHIELD) AT PERIMETER OF ROOF - REFER TO SPECIFICATIONS.
- 4 PROVIDE 4" PLUMBING VENT. SEE DETAIL 21A503.
- 5 PROVIDE RIDGE VENT. SEE DETAIL 1A503.
- 6 OUTLINE OF ROOF ABOVE
- 7 BALCONY BELOW
- 8 PROVIDE RECESSED LIGHTING FIXTURES
- 9 ATTIC ACCESS PANEL - COORDINATE WITH LIGHT FIXTURE FOR EXACT LOCATION AS REQUIRED
- 10 PROVIDE DRAFT STOPPING IN TRUSS BETWEEN UNITS

2 KEYED NOTES - ROOF
NOT TO SCALE

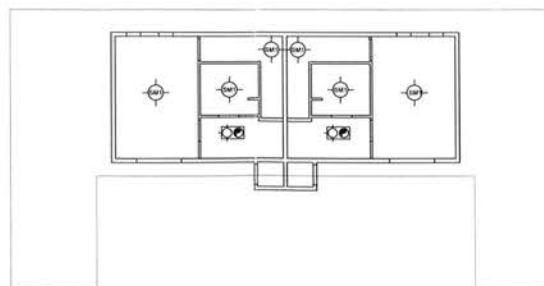
1 PROPOSED NEW CONSTRUCTION PLAN - LOFTED FOURTH FLOOR

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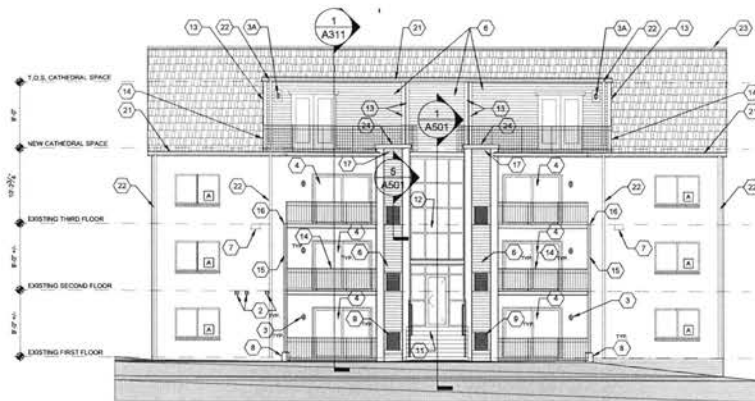
3 NEW CONSTRUCTION PLAN - HIGH ROOF

SCALE: 1/8" = 1'-0"



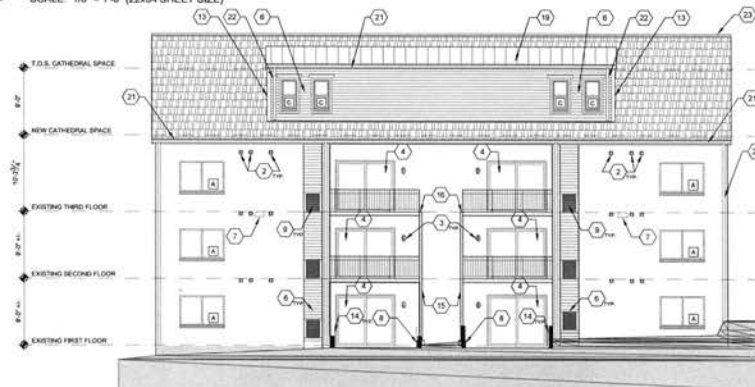
4 PROPOSED RCP - LOFTED FOURTH FLOOR

SCALE: 1/8" = 1'-0"



1 PROPOSED EAST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



3 PROPOSED WEST ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 1 PROVIDE 28" PYPON VENTILATING LOUVER W/ INSECT SCREEN & 4" TRIM
- 2 PROVIDE EXHAUST FAN W/ PRE-FINISHED ALUMINUM EXHAUST CAP AND INSERT SCREEN - COORD. W/ MECH.
- 3 PROVIDE ARCHITECTURAL LIGHT FIXTURE - SEE SCHEDULE
- 4 PROVIDE NEW ARCHITECTURAL LIGHT FIXTURE - PROVIDE 8"X12" HARDITRIM MOUNTING BLOCK
- 5 PROVIDE SLIDING GLASS DOOR. GLAZING TO BE INSULATED, DOUBLE GLAZED ARGON FILLED, AND TEMPERED
- 6 PROVIDE WINDOW IN NEW MASONRY OPENING. PROVIDE NEW STEEL UNTEL PER SCHEDULE. REFER TO DETAILS FOR INSTALLATION
- 7 PROVIDE HANDPLANK SIDING WITH 7" EXPOSURE
- 8 PROVIDE WALL PAK LIGHT FIXTURE - SEE LIGHT FIXTURE SCHEDULE
- 9 PROVIDE CONCRETE PIER - REFER TO 102503.0.1 FOR DETAILS

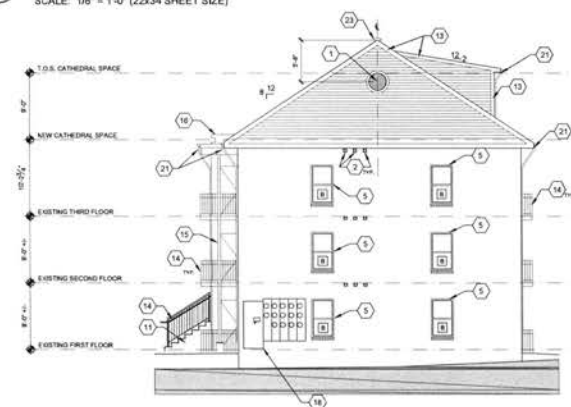
- 10 PROVIDE MECHANICAL UNIT W/ ARCHITECTURAL LOUVER
- 11 CONCENTRIC FLUES FROM WATER HEATERS
- 12 REPLACE EXISTING STAIRS
- 13 PROVIDE ALUMINUM STOREFRONT
- 14 PROVIDE 1/2" HARDITRIM SMOOTH FASCIA BOARDS - 5.5" WIDE
- 15 PROVIDE PAINTED STEEL HANDRAIL / GUARDRAIL - SEE DETAIL 6A3.1.1
- 16 EXISTING COLUMNS TO REMAIN. CLEAN ALL LOOSE PAINT. RUST, ALL NON-COMPATIBLE MATERIALS - PREPARE FOR PAINTED FINISH
- 17 REMOVE COLUMN ABOVE CHANNEL AT THIRD FLOOR BALCONY. PROVIDE NEW WELD 1/4" CAP PLATE ON TOP OF EXISTING COLUMN
- 18 EXTEND EXISTING BRICK - MATCH EXISTING
- 19 EXISTING ELECTRICAL METER AND SERVICE TO REMAIN

5 KEYED NOTES

NOT TO SCALE

2 PROPOSED SOUTH ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)



4 PROPOSED NORTH ELEVATION

SCALE: 1/16" = 1'-0" (11x17 SHEET SIZE)
SCALE: 1/8" = 1'-0" (22x34 SHEET SIZE)

- 19 PROVIDE STANDING SEAM METAL ROOF
- 20 PROVIDE DORMER WINDOW
- 21 PRE-FINISHED 0.032" CONT. ALUMINUM GUTTER W/ 0.032" CONT. ALUMINUM DRIP EDGE
- 22 PROVIDE 4" ROUND 0.032" ALUMINUM DOWNSPOUT - TIE INTO NEW ROOF SEE CIVIL DRAWINGS
- 23 PRE-FABRICATED RIDGE VENT
- 24 PROVIDE 6" PRE-FINISHED ALUMINUM COPING