

EXHIBIT 9

DISTRICT OF COLUMBIA GOVERNMENT

OFFICE OF THE SURVEYOR

December 21, 2012 *Plat My For Survey, D.C.*
Washington, D.C., March 23, 2012

FILE COPY

Plat for Building Permit of: SQUARE 1873 LOT 128

Scale: 1 inch = 40 feet Recorded in Book 191 Page 41

Receipt No. 12-02702 **SR-13-01498**

Furnished to: SONEIL CHARLES

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

Plat My
Surveyor, D.C.

Date:

12/19/2012

li Cellitt

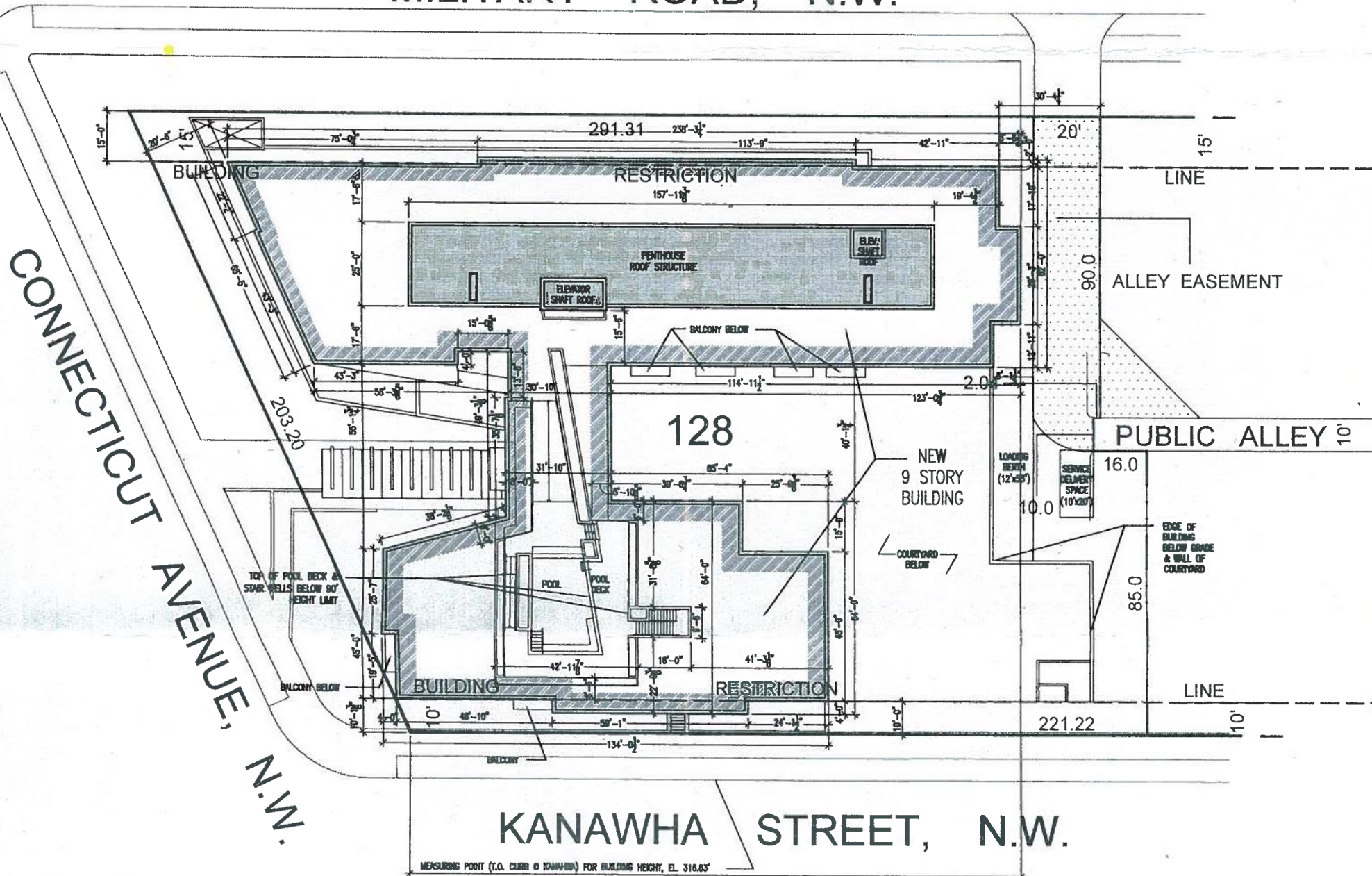
(Signature of owner or his authorized agent)

By: A.S. *Am*

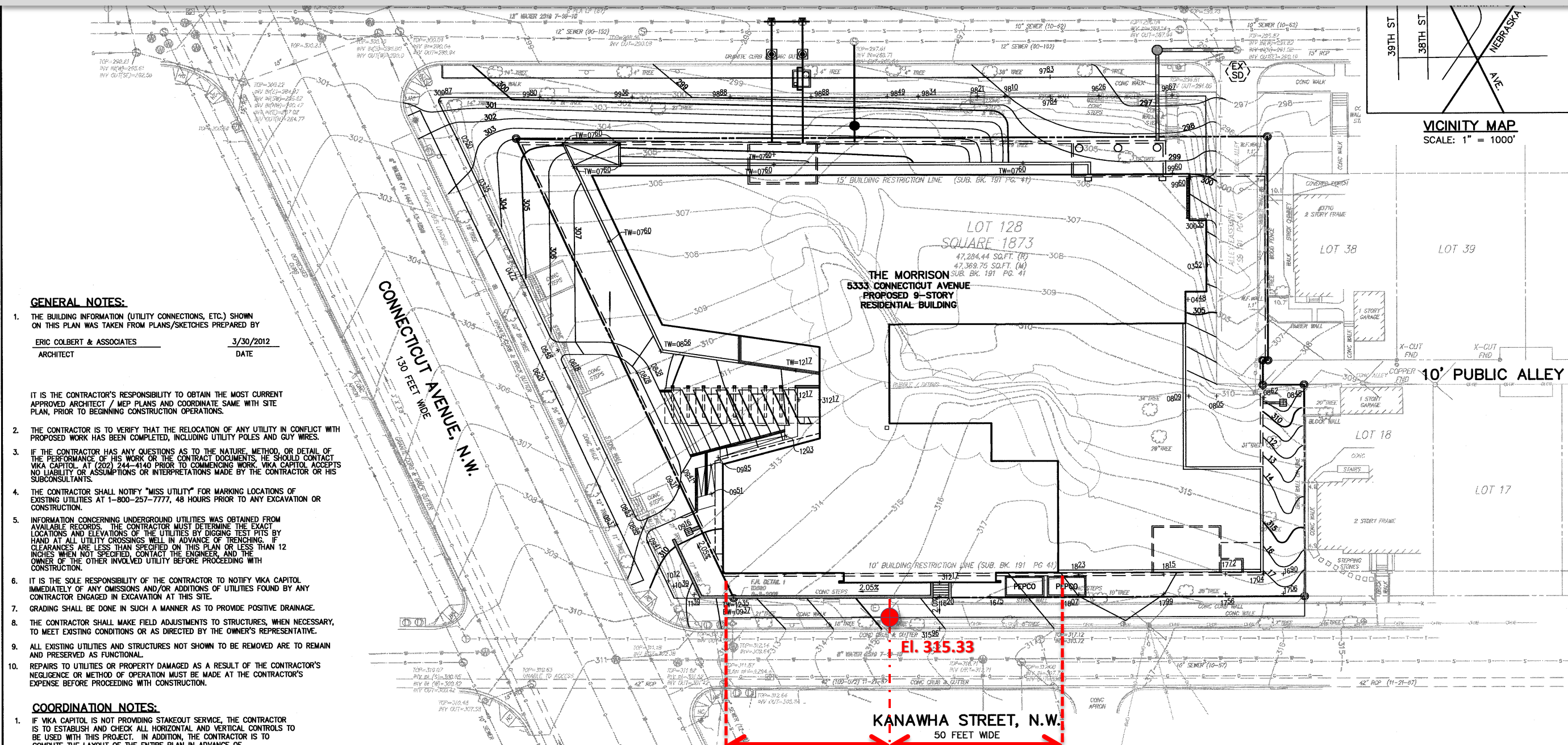
NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

December 21, 2012 Plat Plan

MILITARY ROAD, N.W.



Measurement from sidewalk opposite Middle of Building - Elevation 315.33'



GENERAL NOTES:

- THE BUILDING INFORMATION (UTILITY CONNECTIONS, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM PLANS/SKETCHES PREPARED BY
ERIC COLBERT & ASSOCIATES
ARCHITECT
DATE: 3/30/2012
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECT / MEP PLANS AND COORDINATE SAME WITH SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR IS TO VERIFY THAT THE RELOCATION OF ANY UTILITY IN CONFLICT WITH PROPOSED WORK HAS BEEN COMPLETED, INCLUDING UTILITY POLES AND GUY WIRES.
- IF THE CONTRACTOR HAS ANY QUESTIONS AS TO THE NATURE, METHOD, OR DETAIL OF THE PERFORMANCE OF HIS WORK OR THE CONTRACT DOCUMENTS, HE SHOULD CONTACT VIKI CAPITOL AT (202) 244-4140 PRIOR TO COMMENCING WORK. VIKI CAPITOL ACCEPTS NO LIABILITY OR ASSUMPTIONS OR INTERPRETATIONS MADE BY THE CONTRACTOR OR HIS SUBCONSULTANTS.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" FOR MARKING LOCATIONS OF EXISTING UTILITIES AT 1-800-257-7777, 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF THE UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THIS PLAN OR LESS THAN 12 INCHES WHEN NOT SPECIFIED, CONTACT THE ENGINEER, AND THE OWNER OF THE OTHER INVOLVED UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY VIKI CAPITOL IMMEDIATELY OF ANY OMISSIONS AND/OR ADDITIONS OF UTILITIES FOUND BY ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE.
- GRADING SHALL BE DONE IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE.
- THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO STRUCTURES, WHEN NECESSARY, TO MEET EXISTING CONDITIONS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL EXISTING UTILITIES AND STRUCTURES NOT SHOWN TO BE REMOVED ARE TO REMAIN AND PRESERVED AS FUNCTIONAL.
- REPAIRS TO UTILITIES OR PROPERTY DAMAGED AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE OR METHOD OF OPERATION MUST BE MADE AT THE CONTRACTOR'S EXPENSE BEFORE PROCEEDING WITH CONSTRUCTION.

COORDINATION NOTES:

- IF VIKI CAPITOL IS NOT PROVIDING STAKEOUT SERVICE, THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THIS PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MEP PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE FOLLOWING UTILITY COMPANIES SERVING THE SITE: PEPCO, VERIZON, WASHINGTON GAS, DISTRICT CABLE VISION.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY (DCWATER) FOR TAPPING FEES AND DETERMINING THE EXTENT OF WORK (FOR WATER CONNECTION) TO BE ACCOMPLISHED BY DCWATER.
- CONTRACTOR TO COORDINATE WITH THE OFFICE OF THE DC SURVEYOR TO ENGAGE A SURVEYOR LICENSED BY THAT OFFICE TO PREPARE A WALLCHECK SURVEY AS REQUIRED BY THE DC CODE IN ADVANCE OF PLACING CONCRETE ASSOCIATED WITH THE FOUNDATION.
- NOTIFY DCWATER ONE WEEK PRIOR TO START OF CONSTRUCTION, UTILITY INSPECTION SECTION AT 202-787-4299, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-3824 OR 3829.
 - DEVELOPERS, CONTRACTORS, AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWATER INSPECTOR(S) FOR REVIEW AND APPROVAL, UPON COMPLETION OF NEW UTILITIES IN PUBLIC SPACE, APPLICANT MUST SUBMIT THESE DRAWINGS. AS-BUILT DRAWINGS MUST SHOW DIMENSION, ELEVATION, RELOCATION OF ANY DCWATER UTILITIES AND PERTINENT INFORMATION.
 - ONCE THE DCWATER INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVE., S.W., 5TH FLOOR.
- ALL NEW WORK MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF PUBLIC WORKS (DCDPW), AND THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY (DCWATER).

GENERAL ROADWAY PAVING CONSTRUCTION NOTES

- ALL ROADWAY WORK WILL BE PERFORMED IN ACCORDANCE WITH DCDOT STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UTILITIES WILL BE ADJUSTED TO GRADE AS NECESSARY BY THE CONTRACTOR.
- STABLE SUBGRADE IS DEFINED AS THAT SOLID, UNDISTURBED EARTH CAPABLE OF SUPPORTING STREET LOADING WITHOUT DAMAGING SETTLEMENT AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- WHERE UNSTABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE MADE STABLE BY COMPACTION OR REPLACEMENT, AS REQUIRED.
- CONTRACTOR TO PROVIDE ROADWAY UNDERDRAINS PER GEOTECHNICAL DIRECTION IF REQUIRED.

TEST PIT NOTE:

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, ELEVATIONS, AND SIZES OF EX. UTILITIES BY DIGGING TESTS PITS BY HAND AT ALL POINTS OF CONNECTION AND AT CROSSINGS. RESULTS FROM THESE TEST PITS SHALL BE SUBMITTED TO THE ARCHITECT FIVE (5) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION AND/OR ORDERING MATERIALS.



"FOR LOCATION OF UTILITIES CALL 8-1-1 or 1-800-257-7777 OR LOG ON TO or 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY"

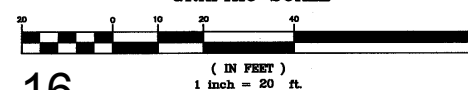
Equal

LEGEND:

Equal

- PROP. S PROPOSED SANITARY SEWER
- DOM PROPOSED WATER LINE
- FIRE
- TP TEST PIT
- 95 EXISTING CONTOUR LINE
- 96 PROPOSED CONTOUR LINE
- BUILDING ENTRANCE
- + 95.2 PROPOSED SPOT ELEVATION

GRAPHIC SCALE



16



PROJECT COORDINATOR: SONEIL CHARLES
E-MAIL: charles@vikacapitol.com
VIKA CAPITOL, LLC
4910 MASSACHUSETTS AVENUE, NW SUITE 214 WASHINGTON, DC 20016
Phone: 202.244.4140 Fax: 202.244.4196
WWW.VIKACAPITOL.COM



CALVIN CAFRITZ
ENTERPRISES

1828 L STREET, NW - #703
WASHINGTON, DC 20036

ERIC COLBERT &
ASSOCIATES, P.C.

717 5TH STREET, NW WASHINGTON, DC 20001
TEL: 202-289-8800 FAX: 202-289-8810

5333 CONNECT.
AVENUE, NW

WASHINGTON, DC

JOB NO. ECA #228
ISSUE/REVISED DATE
02/22/2012 DD SET
04/2/2012 FOUNDATION TO GRADE



STAMP

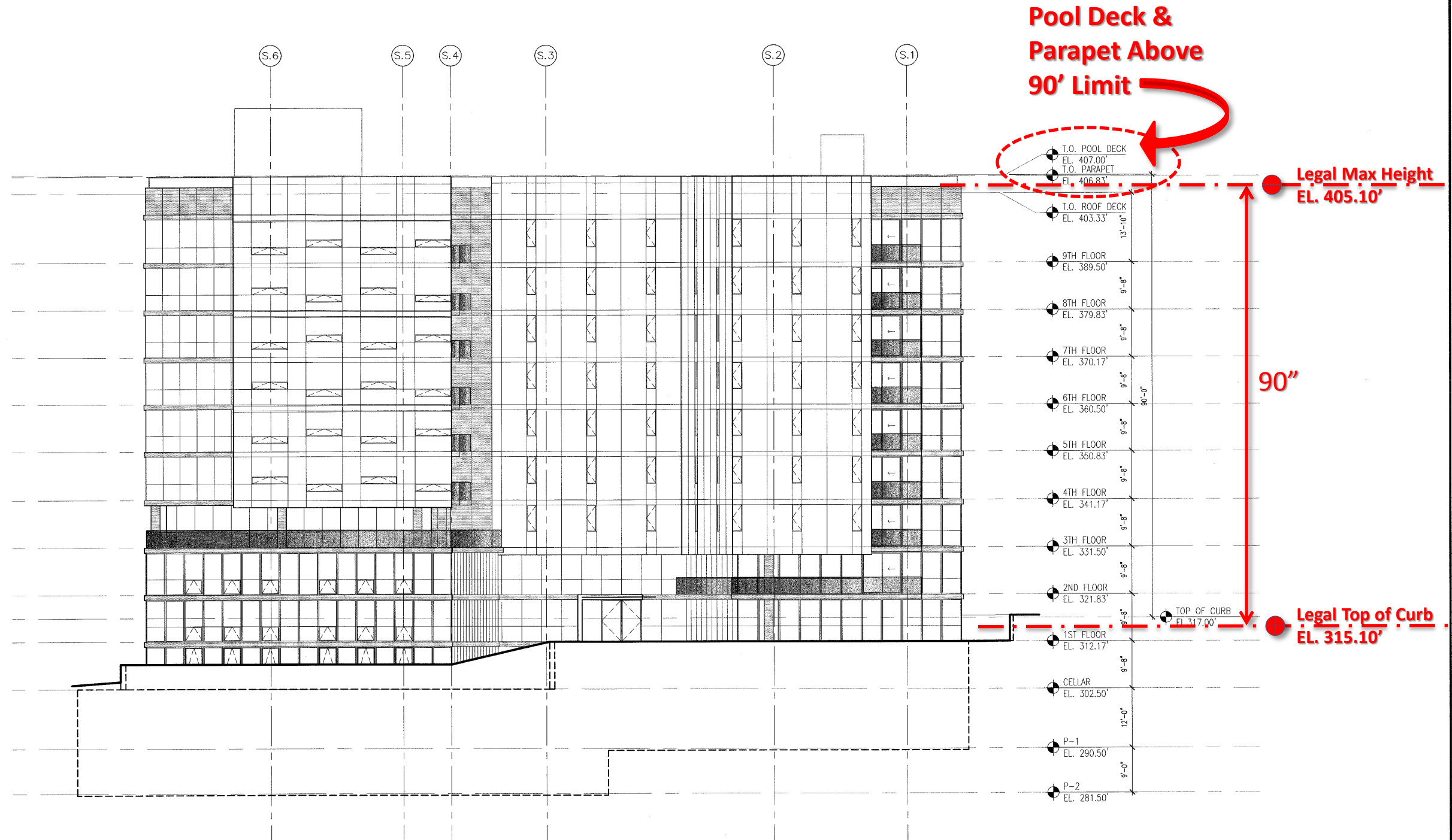
GRADING PLAN

DRAWING TITLE
SCALE: 1" = 20'

C-03A

SHEET NO.

Measurement from Legal "Top of Curb" Elevation 315.10'



CALVIN CAFRITZ ENTERPRISES

1828 L STREET, NW - #703
WASHINGTON, DC 20036

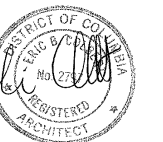
ERIC COLBERT & ASSOCIATES, P.C.

717 5TH STREET, NW WASHINGTON, DC 20001
TEL: 202-289-8800 FAX: 202-289-8810

THE MORRISON

5333 CONNECTICUT AVE, NW
WASHINGTON, DC 20015

ISSUE/	REVISED DATE
02/13/2012	DD SET
04/02/2012	FTG PERMIT SET



ELEVATION CONNECTICUT

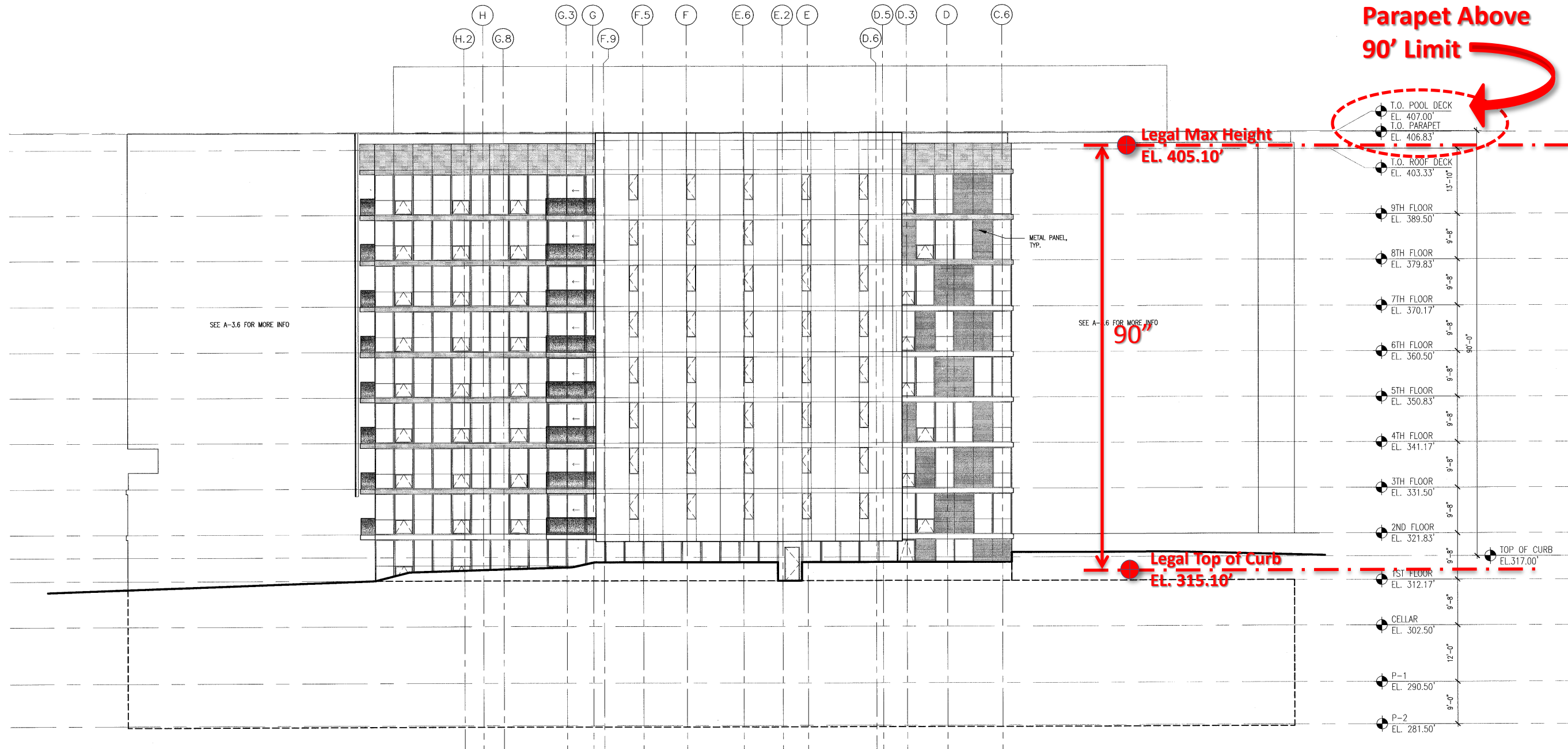
DRAWING TITLE
SCALE: 3/32" = 1'-0"

A-3.1

SHEET NO.

EXHIBIT 12

Measurement from Legal "Top of Curb" Elevation 315.10'



**Pool Deck &
Parapet Above
90' Limit**

**Legal Max Height
EL. 405.10'**

90'

**Legal Top of Curb
EL. 315.10'**

T.O. POOL DECK	EL. 407.00'
T.O. PARAPET	EL. 406.83'
T.O. ROOF DECK	EL. 403.33'
9TH FLOOR	EL. 389.50'
8TH FLOOR	EL. 379.83'
7TH FLOOR	EL. 370.17'
6TH FLOOR	EL. 360.50'
5TH FLOOR	EL. 350.83'
4TH FLOOR	EL. 341.17'
3TH FLOOR	EL. 331.50'
2ND FLOOR	EL. 321.83'
1ST FLOOR	EL. 312.17'
CELLAR	EL. 302.50'
P-1	EL. 290.50'
P-2	EL. 281.50'
TOP OF CURB	EL. 317.00'

**CALVIN CAFRITZ
ENTERPRISES**

1828 L STREET, NW - #703
WASHINGTON, DC 20036

**ERIC COLBERT &
ASSOCIATES, P.C.**

717 5TH STREET, NW WASHINGTON, DC 20001
TEL: 202-289-8800 FAX: 202-289-8810

THE MORRISON

5333 CONNECTICUT AVE, NW
WASHINGTON, DC 20015

JOB NO.	ICA #628
ISSUE/ REVISED DATE	
02/13/2012	DD SET
04/02/2012	FTG PERMIT SET



STAMP

**ELEVATION
KANAWHA**

DRAWING TITLE
SCALE: 3/32" = 1'-0"

A-3.4

SHEET NO.

EXHIBIT 13

DISTRICT OF COLUMBIA GOVERNMENT

OFFICE OF THE SURVEYOR

December 21, 2012 *Plat My For Survey, D.C.*
Washington, D.C., March 23, 2012

FILE COPY

Plat for Building Permit of: SQUARE 1873 LOT 128

Scale: 1 inch = 40 feet Recorded in Book 191 Page 41

Receipt No. 12-02702 **SR-13-01498**

Furnished to: SONEIL CHARLES

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Plat My
Surveyor, D.C.

Date:

12/19/2012

li Cellist

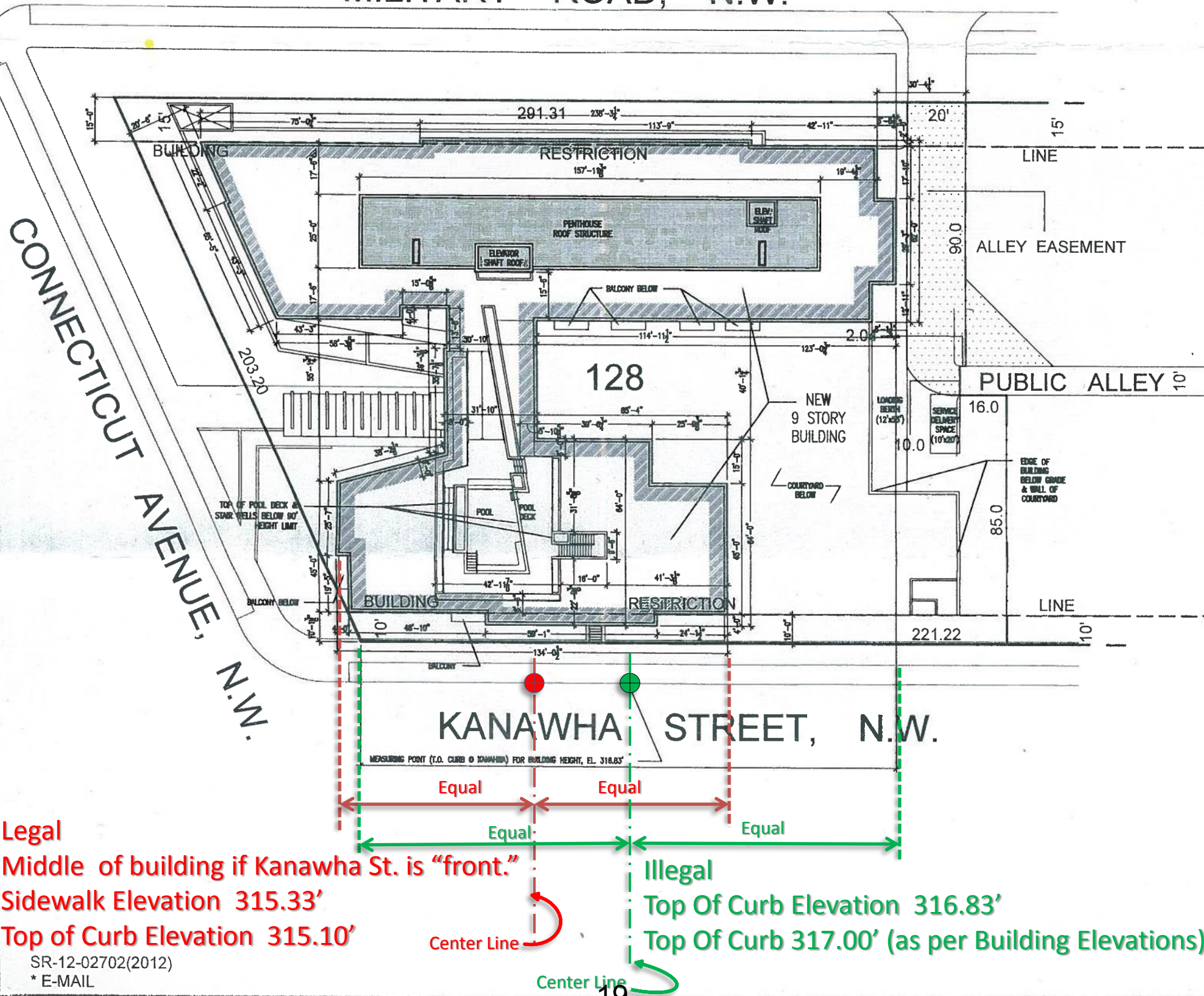
(Signature of owner or his authorized agent)

By: A.S. *Am*

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

Measuring Point for Building Height if Kanawha St. is Front

MILITARY ROAD, N.W.



Legal

Middle of building if Kanawha St. is "front."

Sidewalk Elevation 315.33'

Top of Curb Elevation 315.10'

SR-12-02702(2012)

* E-MAIL

Illegal

Top Of Curb Elevation 316.83'

Top Of Curb 317.00' (as per Building Elevations)

DISTRICT OF COLUMBIA GOVERNMENT

OFFICE OF THE SURVEYOR

December 21, 2012 *For Mr. For Survey, D.C.*
Washington, D.C., March 23, 2012

FILE COPY

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For Mr. For Survey, D.C.

Date:

12/19/2012

Signature

(Signature of owner or his authorized agent)

By: A.S. *Signature*

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

Segments of Façade used in Kanawha Street Elevation to determine "Middle" of Facade

MILITARY ROAD, N.W.

CONNECTICUT AVENUE, N.W.

KANAWHA STREET, N.W.

Segment A B C D E F

EXHIBIT 15

Measuring Point for Building Height if Kanawha Street is Front

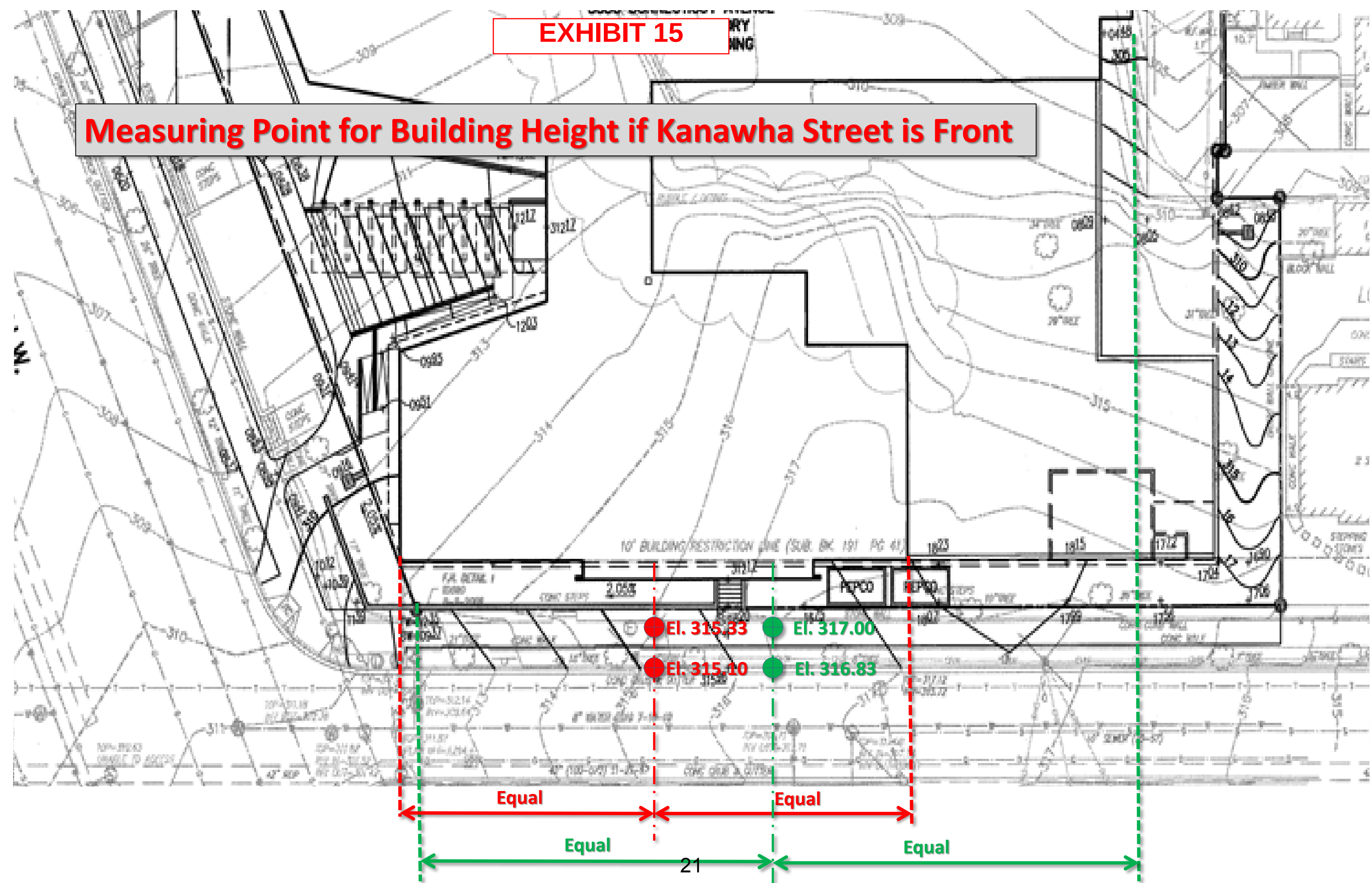


EXHIBIT 16

ELEV. NOTES

FOR ELEVATION NOTES, SEE SHEET A-3.1

**CALVIN CAFRITZ
ENTERPRISES**

1828 L STREET, NW - #703
WASHINGTON, DC 20036

**ERIC COLBERT &
ASSOCIATES, P.C.**

717 5TH STREET, NW WASHINGTON, DC 20001
TEL: 202-289-8800 FAX: 202-289-6810

**5333
CONNECTICUT AVE**

5333 CONNECTICUT AVE, NW
WASHINGTON, DC 20015

ISSUE/	REVISED	DATE
02/13/2012	DD SET	
04/02/2012	FTG PERMIT SET	
04/30/2012	68% CD/PRICING SET	
05/21/2012	PERMIT SET	
06/15/2012	REVISED PERMIT SET	
10/09/2012	BID SET	

RECEIVED

By Foulger-Pratt Contracting, LLC at 2:47 pm, Oct 23, 2012

STAMP

**ELEVATION
KANAWHA**

DRAWING TITLE
SCALE: 3/32" = 1'-0"

A-3.4

SHEET NO.

3 BUILDING ELEVATION @ PENTHOUSE LEVEL

**90 FOOT HEIGHT
CALCULATION IS SHOWN
BELOW BETWEEN FICTITIOUS
KANAWHA STREET
ELEVATION OF 317.33 AND
POOL DECK ELEVATION OF
407.33**

2 BUILDING ELEVATION

1 BUILDING ELEVATION @ FIRST FLOOR