

TECHNICAL MEMORANDUM

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Subject Halcyon House – Parking and Loading Statement

INTRODUCTION

This memorandum presents the findings of a parking and loading operations study for Halcyon House located at 3400 Prospect Place, NW in the Georgetown neighborhood of Washington, D.C. A Special Exception is being applied for in order to allow S&R Foundation, a 501(c)(3), non-profit corporation, to conduct its operations, seminars and events at Halcyon House. The S&R Foundation ("Foundation" or "S&R Foundation") seeks to support talented individuals with great potential and high aspirations in the arts and sciences, especially those who are furthering international cultural collaboration. S&R intends to headquarter one of its divisions, the International Institute of Global Resilience (IIGR), at Halcyon House. IIGR is a think tank dedicated to improving and enhancing the readiness and professionalism of the Emergency Management community through education and research. Also, S&R intends to locate Illuminate at Halcyon House, which merges visionary ideas across a broad range of fields, including the arts, sciences, and international relations in order to convene passionate, forward-thinkers through an enlightening series of lectures and discussions. Events associated with these programs - such as seminars, presentations and the occasional fundraiser - are expected to take place at Halcyon House. Additionally, S&R desires to conduct a few events associated with its other programs, including Overtures and the Global Leadership Program, as well as a very limited number of events for third party non-profit or corporate organizations that share one or more of S&R Foundation missions.

This memorandum seeks to evaluate the impacts of the different types of events that are proposed to take place at Halcyon House. It also develops a comprehensive parking management plan in order to minimize the overall impacts to the surrounding neighborhood. The following conclusions were made regarding event day operations:

- Over the course of a five-year development period, up to 88 events are proposed to take place at Halcyon House annually in addition to the short-term IIGR residency and Illuminate incubator residency programs, four, three-week art exhibits, and the business offices of the Foundation programs. Forty of the 88 events are associated with IIGR meetings and seminars, and all of those seminars and meetings are planned for fewer than 50 persons, with more than half planned for 20 or fewer attendees.
- There is an on-site parking and loading area that can accommodate up to 24 vehicles. Extensive loading activity is not expected for most of the events at Halcyon House, except for some of the few larger events which may require more than one delivery.
- Parking for events of less than 50 guests will be accommodated on-site and will be managed by S&R staff.

- Valet parking services will be utilized for all events that expect more than 50 guests. Nearby parking garages will be used for events ranging from 50 to 250 guests. Larger off-site garages and/or parking lots, further from the site, will be used for events expecting more than 250 guests.
- On-street parking in the area is highly utilized. However, all Halcyon House parking demand will be accommodated on-site or within nearby off-street parking facilities.

EVENT PROGRAMMING

Halcyon House is expected to provide event space for IIGR, Illuminate, other S&R Foundation events, and a small number of third party non-profit or corporate organization events sharing the S&R Foundation missions. Overall, within a five-year period, it is expected that there may be up to approximately 88 events on an annual basis. Additionally, there will be a one IIGR residency program, up to four Illuminate incubator programs, and four art exhibits with a three-week duration that are open to the public on a limited basis. The breakdown of Halcyon House events is shown in Table 1.

Table 1: Summary of Maximum Expected Halcyon House Event Schedule

Event	Program Component	Permitted Days/Hours	# of Guests	Annual Maximum
International Institute for Global Resilience (IIGR)	Meetings/Seminars	Monday-Sunday, 9 am – 10 pm (Some overnight stay)	1-20 21-50	24 16
		Residency Program	June to August	6-8
Illuminate	Incubator	Three to six months	1-6	2-4
S&R Foundation Events	Concerts/Presentations/ Fund-raising events	Monday-Friday, 10 am – 4 pm; Monday-Friday, 7 pm – 10 pm;	1-50 51-100	12 12
		Friday, 7 pm – 11 pm and Saturday – Sunday, 11 am – 11 pm	101-200	8
		Art Exhibits	Thursday – Sunday, 10 am – 4 pm 3-week maximum exhibit period	Open to Public
	Gala	Saturday – Sunday, 11 am – 11 pm	201-350	2
	Third Party Non-Profit or Corporate Organization		Monday-Friday, 10 am – 4 pm; Saturday – Sunday 7 pm – 10 pm	1-50 1-200
Events sharing S&R Foundation missions		Saturday – Sunday, 11 am – 11 pm	201-350	2
Maximum Total Events (excluding residencies and art exhibits)				88

Scheduling of activities for events with more than 150 guests at Halcyon House will take into account other potential events in the immediate vicinity of the facility as to not overwhelm the local street grid. At most, there will be 20 events per year that fit this description; however, it is likely that this number will be closer to 10 to 12 events. In addition, the four significant events of up to 350 persons will be scheduled so as not to simultaneously occur when large events Georgetown University (including graduation weekend, Parent's weekend, etc.) are scheduled. Georgetown also has many university affiliated buildings that surround Halcyon House, such as the Spagnuolo Art Gallery and the School of Continuing Studies, which occasionally may host large events, as well.

The Holy Trinity School is also located nearby and has no dedicated off-street parking for those working or visiting the school. Therefore, larger planned events will also be coordinated with the school. Other large event spaces in the area include City Tavern Club and the Powerhouse, both of which are located about four blocks from Halcyon House. City Tavern Club has a capacity of 500 people and the Powerhouse has a capacity of 480 people, although these spaces will more frequently host smaller events. Even so, Halcyon House will coordinate with these two spaces to minimize the impacts of events scheduled at all facilities.

ON-SITE FACILITIES

There is an area located on the southern end of Halcyon House that will be utilized for parking and loading activities. A diagram of the location and the dimensions of the area is shown in Figure 1. In addition, parking and loading for two smaller vehicles is available via the driveway for the townhome that is immediately adjacent to the west side of Halcyon House on Prospect Street. This section describes how these areas are expected to be used for different events at Halcyon House in regards to parking and loading.

Parking

The area behind Halcyon House can accommodate a maximum of 24 vehicles. This space is expected to accommodate up to 6 vehicles to be used by full-time employees who staff the IIGR offices during typical weekday business hours. Thus, there is availability for up to 18 additional vehicles for some of the smaller events that will take place at Halcyon House. These are likely to include all IIGR and Illuminate events with the possibility of some other S&R Foundation events and other outside/corporate events that expect less than 50 people. Parking at the townhome adjacent to Halcyon House may be used by staff, drop-off/pick-up, or for VIP parking for smaller events.

IIGR events are typically catered towards small group meetings (seminars, presentations, etc.) involving professionals from around the world. It is highly likely that many attendees will be traveling from out of the area and will not have access to a personal vehicle for the purpose of traveling to and from Halcyon House. Therefore, the 40 IIGR events – and residency program – are not likely to require significant parking.

Due to the nature of other Foundation events, and limited other events, it is expected that there will be significant carpooling as well as a significant amount of guests that utilize public transit, taxis, walking, or bicycling. Some events with less than 50 people, primarily those hosted outside/corporate organizations, will employ valet services. Additionally, events with more than 50 people will always employ valet parking services to ensure that all parking is accommodated off-street. For these types of events, the Halcyon House parking area will still be used as an additional parking location for the valet services to be used (as discussed later in this document).

Loading

The area behind Halcyon House will also serve as a loading area. Due to its constrained nature, trucks must back into the driveway from 34th Street as there is no room to turnaround within the space. However, it is likely that for the majority of smaller events only van-sized deliveries will be made which will not require backing maneuvers. For the large events, it is expected that trucks no larger than a standard box truck will require access to the loading area. These trucks will utilize the area prior to the start of the event and after the event is over and will be coordinated so that there will be no conflicting overlap between parking and loading activity. Smaller delivery vehicles may be able to use the adjacent townhome driveway for brief loading and unloading as well.

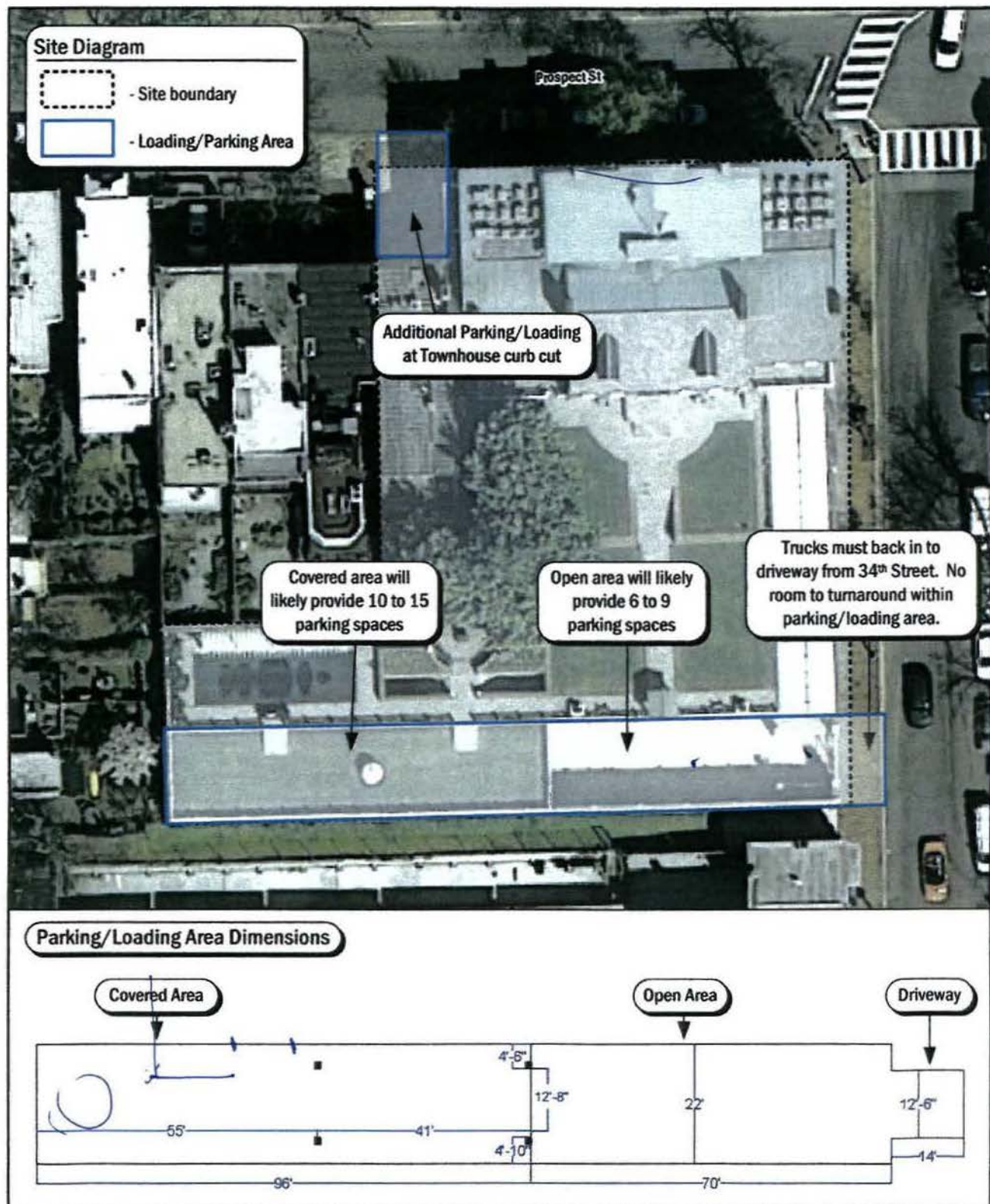


Figure 1: Parking/Loading Area

VALET PARKING SERVICES

Valet services will be necessary for events that anticipate more than 50 guests, with the option of using valet services for events with less than 50 guests as well. These services will be managed by a parking management company who will supply a team for each event and work with staff at Halcyon House to continually improve and streamline the process. Self-parking results in unnecessary circulation that ultimately increases the vehicular impact. Valet parking services will vastly reduce the amount of people that are self-parking within the neighborhood, whether in parking garages or on-street. This section describes the potential valet parking locations in addition to the general operations of the valet parking services.

Valet Parking Locations

The parking management team will coordinate with surrounding parking locations in order to provide an adequate amount of off-site parking for all events. Halcyon House and parking management representatives currently anticipate off-site locations to include the following:

- PMI parking garage on Bank Street
- Georgetown Court parking garage at 3251 Prospect Street
- Georgetown Visitation Preparatory School surface lot
- Georgetown University parking garages and surface lots

These locations, in addition to proposed routing between these parking locations and Halcyon House, are shown in Figure 2 and Figure 3. Due to the size and proximity, the Bank Street parking garage is expected to be utilized for most events with less than 250 people with the Prospect Street parking garage to be utilized if additional parking is necessary. Events anticipating more than 250 people will utilize either the Georgetown Visitation parking lot or Georgetown University parking garages/lots, as described in more detail below.

Valet Parking Operations

In order to maintain an efficient and effective valet parking system without causing any unnecessary impacts to the surrounding neighborhood, the parking management team has developed a valet plan that fits to the specific needs of the site and the particular needs of the planned events. This plan will be continually adapted in order to streamline the process based on continued experience at the site.

Typical Procedures

The typical procedures that will be associated with all events at Halcyon House include the following:

- For all valet events the employees, staff, caterers, etc. are expected to park off-site at the identified valet lots such that the on-site parking can be utilized for premium valet parking and staging.
- Guests of events at Halcyon House will be asked to RSVP noting whether or not they will be driving and if they anticipate carpooling with one or more people. This will give the parking management team a way to estimate the number of expected vehicles beforehand and better plan for the number of valet employees to bring to the event.
- The parking management team intends to supply one (1) valet for every ten (10) vehicles expected. Additionally, there will be a team member stationed at the front to greet guests and facilitate the valet operations and one stationed at the off-site parking facility. After the parking management team has more experience at the site they

will be able to adjust the number of valets in order to achieve the most efficient and cost effective valet parking system

- For the purpose of this event day planning analysis, it was assumed that a vehicle occupancy of 2 people per vehicle would be appropriate. Due to the nature of events that implement valet parking (i.e. fund-raisers, galas, etc.) it is expected that guests will travel to the event with one, if not more, additional guests.
- Parking management representatives and valets will provide guests with valet tickets that will include text capability to valet services. When guests are ready to leave, they will be able to text the valet in order to accelerate the delivery of their vehicle to the valet staging area on their departure.

Valet Staging Area

In order to minimize impacts to the neighborhood it will be necessary to designate a valet staging area outside of Halcyon House. The optimum location for a valet staging area is along the south side of Prospect Street at the front entrance to Halcyon House. The entire space along the front of the Halcyon House will be used, which amounts to approximately four parking spaces, currently designated as Residential Parking Permit spaces. In addition, the curb cut serving the townhouse adjoining Halcyon House to the west (which is part of Halcyon House property) will be utilized for valet operations as well.

The parking management team will work with Halcyon House and DDOT to acquire the appropriate permitting for the proposed valet staging area and will ensure that proper steps are taken to sign and enforce restrictions at these spaces during events at Halcyon House.

Small Event Strategies

It is currently expected that valet parking for events anticipating more than 50 and less than 250 guests will be accommodated by the PMI parking garage located on Bank Street off of Prospect Street between 33rd and 34th Street. This parking garage is approximately one block away from the site, which will allow for the impact of vehicular traffic to be significantly minimized. As shown in Figure 3, the routing from the garage back to Halcyon House is less direct in order to access the valet staging area, however, it is not expected to create detrimental impacts to the neighborhood. This parking garage has a managed capacity of about 150 vehicles, thus at events up to 250 guests it is anticipated that this garage, in addition to the available on-site parking, will provide an adequate amount of parking.

During the infrequent instances when the Bank Street parking garage is not able to accommodate all vehicles, overflow valet parking will be available at the parking garage on Prospect Street between Potomac Street and Wisconsin Avenue. Although this garage is further away, it is located directly east of the site thus valet traffic is expected to be routed along Prospect Street for trips to the garage. Similar to the Bank Street garage, trips from the Prospect Street garage back to Halcyon House will require a slightly longer route in order to access the valet staging area.

Large Event Strategies

Valet parking for the four events with more than 250 guests will be accommodated either at the surface parking lot at Georgetown Visitation Preparatory School or parking garages and/or surface parking lots located within the Georgetown University campus. As these lots are further away, a shuttle service will be utilized to transport valets to and from the site and accelerate the overall process. These shuttles will travel along a small loop that would take the valets close to the intended locations without interrupting the valet parking services.

The surface lot at Georgetown Visitation is the more favorable option due to its location and ability to accommodate all expected vehicles. The School and the adjacent parking lot are located along P Street NW with the primary vehicular entrance at the intersection of 35th Street and Volta Place. Therefore, vehicles being taken to valet parking would travel along 33th Street and turn left on Volta Place. Vehicles being taken back to the valet staging area would be able to travel south on 35th Street, turn left onto Prospect Street and be positioned directly in front of the building. This lot can accommodate up to 250 vehicles which will be adequate for the amount of vehicles expected for the largest events at Halcyon House. The four events at Halcyon House that have a maximum cap of 350 guests are expected to require valet parking for 175 vehicles, assuming a ratio of one vehicle per two guests.

An alternative to the Georgetown Visitation lot is the garages/lots located on the Georgetown University campus. The primary garage is located at the end of Prospect Street. However, access to the lot requires a much more circuitous route in order to avoid M Street, as depicted in Figure 2, thus making this option less desirable for the overall operations of the valet parking services. Halcyon House will coordinate further with Georgetown University if valet parking is located on campus. The Lauinger Library parking lot located at the intersection of Prospect Street and 37th Street and it may also be utilized for valet parking. This lot is closer to Halcyon House although it does not have enough capacity to accommodate all vehicles for large events. Therefore a combination of both the garage and the surface lot will be used when valet parking occurs at Georgetown University.



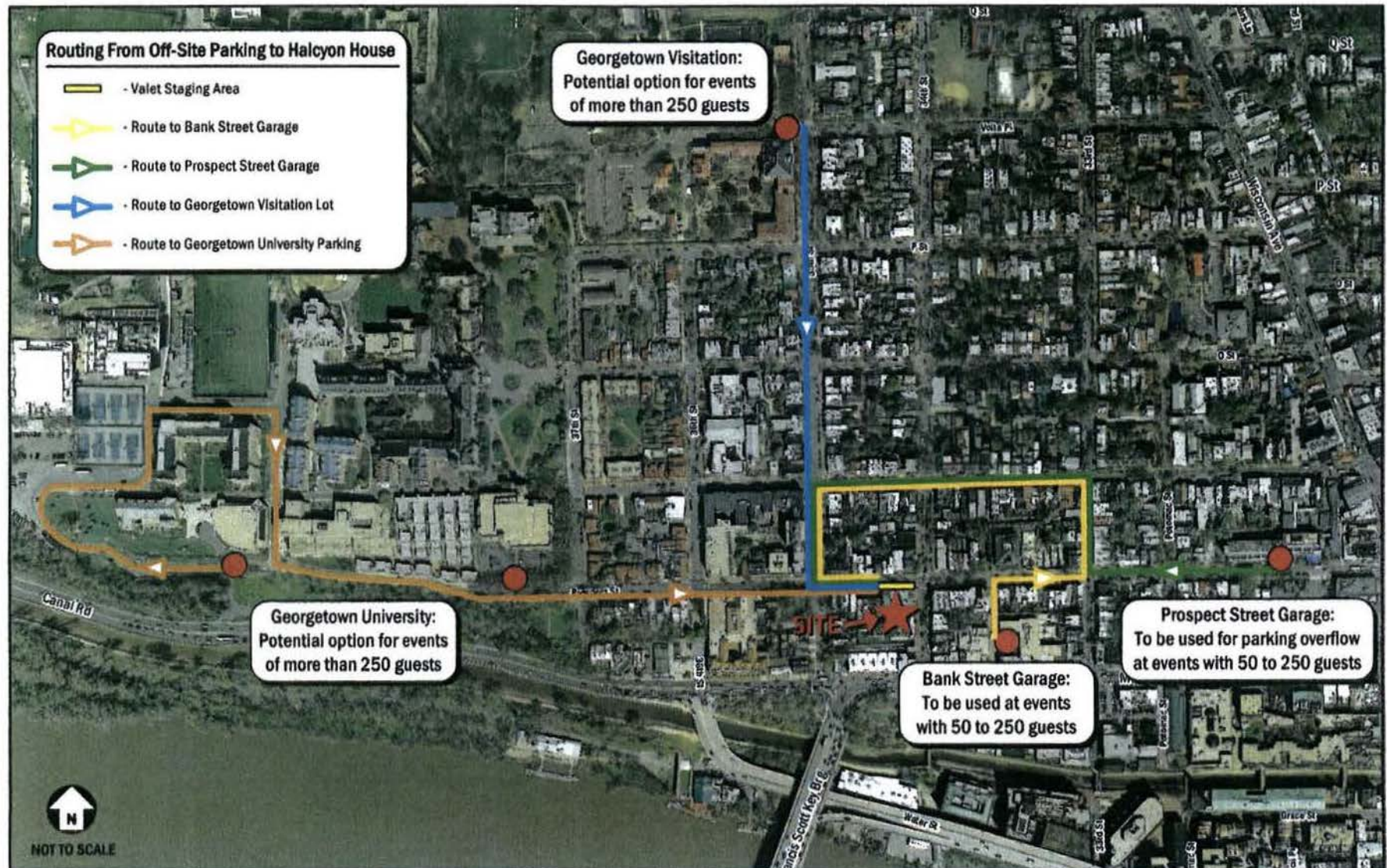


Figure 3: Routing From Off-Site Parking to Halcyon House

ON-STREET PARKING

Halcyon House is committed to ensuring all of their parking demand is accommodated off-street. However, at DDOT's request, on-street parking data was collected in order to determine the existing neighborhood parking conditions. The larger events planned at Halcyon House are expected to occur Friday and Saturday evenings with the potential of some large events during the day as well. This section presents the findings of an on-street parking study, including a full inventory of available parking spaces and a parking occupancy count within a two block radius of the site.

Parking Inventory

An inventory of available on-street parking facilities was conducted on Friday, July 26, 2013 that included tabulating the number of parking spaces by block face and identifying any relevant parking restrictions. A total of approximately 614 parking spaces were inventoried within the 2 block radius. Of these 614 spaces, some are restricted based on vehicle type or time period, thus there are anywhere from 565 to 604 spaces available on weekdays and 607 spaces available on weekends.

Of these spaces, the majority are Residential Permit Parking (RPP) with a 2 hour parking limit from 9:00 AM – 7:00 PM on Monday through Saturday for those without a Zone 2 parking permit. Those that live in Ward 2 and have obtained a Zone 2 parking pass may park in these spaces at any time without a time limit. There are nearly 100 metered spaces in the area. Almost all of the metered spaces enforce a two hour time limit with varying hours of enforcement; however, in most cases metered parking on Saturdays is enforced for a larger portion of the day than on Monday through Friday. Additionally, all metered parking in the study area is free on Sundays. There are just over 50 spaces in the study area which have some kind of parking restriction for part of the day. Some of the spaces are restricted during peak hours and some enforce a 2 hour time limit during a portion of the day. However, some of these spaces are completely unrestricted for the entirety of the day. Figure 4 shows a breakdown of the parking inventory. It should be noted that each block face denotes the type of parking that occupies the majority of the spaces if there is more than one type. As shown, the majority of the parking around the site consists of RPP with some metered spaces south of the site along M Street. Additionally there is one block face with unrestricted parking just to the east of the site; anyone may park on this block at any time with the exception of 4:00 to 6:30 PM on Monday through Friday to allow for a higher vehicular capacity during the PM peak hour as this is a primary route to access the Key Bridge.

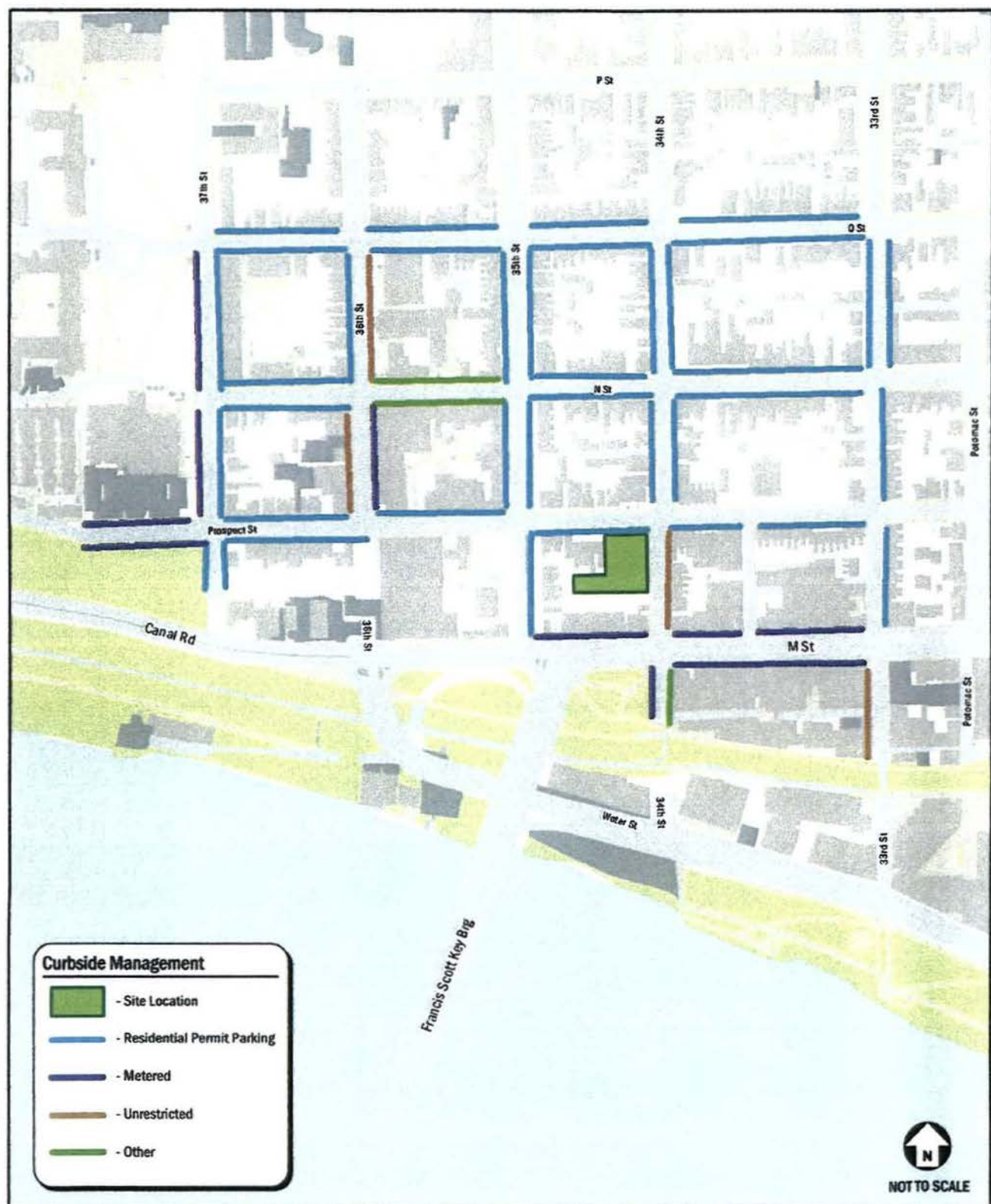


Figure 4: Curbside Management

Parking Occupancy

Occupancy data was collected on all block faces within a two block radius on Friday, July 19, 2013 from 9:00 AM to 10:00 PM and Saturday, July 20, 2013 from 10:00 AM to 10:00 PM. Parking occupancy rates over the course of the day for Friday and Saturday are shown in Figure 5. As shown, parking occupancy on Friday peaks at 11:00 AM with an overall occupancy of 87% then gradually decreases throughout the rest of the day with a small increase at 8:00 PM. Parking occupancy on Saturday is generally lower with a peak occupancy of 73% occurring at 2:00 PM. For the most part, parking occupancy on Saturday stays relatively constant with no obvious spikes in parking activity.

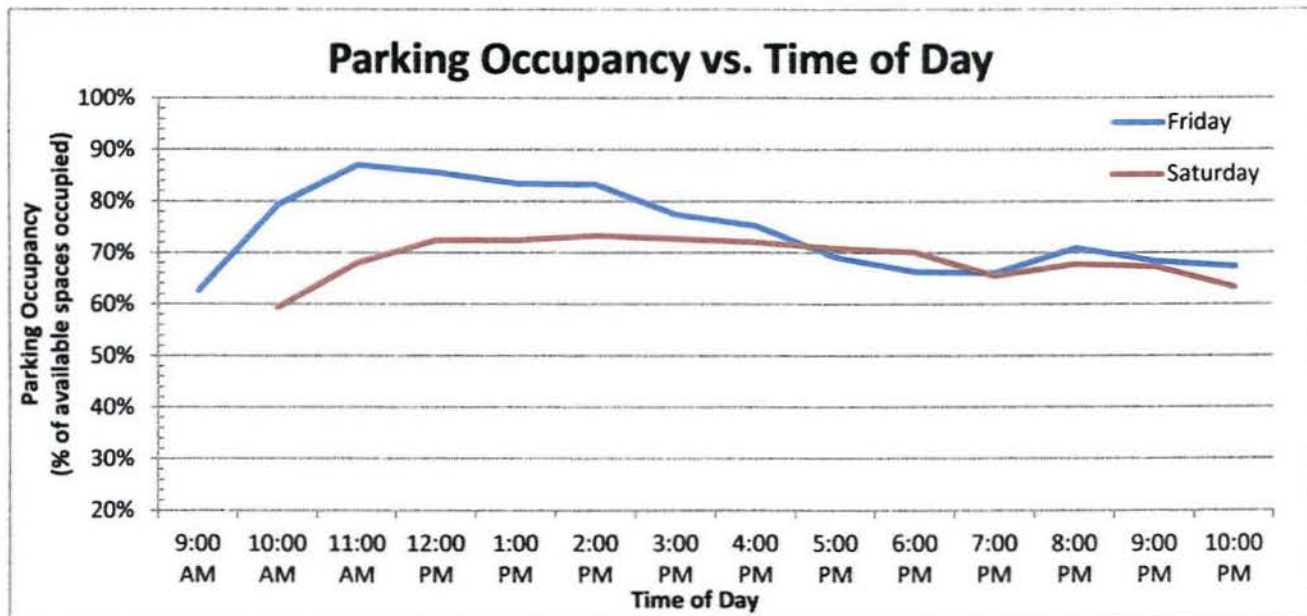


Figure 5: Parking Occupancy vs. Time of Day

The midday and evening parking occupancy peaks for Friday and Saturday were broken down further as shown in Figure 6 through Figure 9. The midday and evening peaks for Friday occur at 11:00 AM and 8:00 PM, respectively; however, the Saturday peaks are more difficult to distinguish. The midday and overall daily peak occurs at 2:00 PM and for the purpose of this study, a 6:00 PM evening peak was analyzed as this is a time period with high parking utilization that will also likely coincide with evening events at Halcyon House.

The graphics show parking directly around the site is primarily over 75% occupied during the peak periods, particularly on the east half of the study area, which is mostly RPP parking. The west half is generally less occupied, potentially due to it being further from the main area of M Street with slightly decreased pedestrian connectivity. Overall, parking occupancy in the surrounding neighborhood is already very high and may deter people from driving and self-parking on-street for events at Halcyon House. It is also likely that those that do drive will end up utilizing a parking garage near the site as opposed to parking on-street. Therefore, due to the constrained parking conditions in Georgetown, the valet services for large events, and the on-site parking and nearby parking garages for smaller events, Halcyon House will not generate enough demand for on-street parking to result in detrimental impacts to the community.

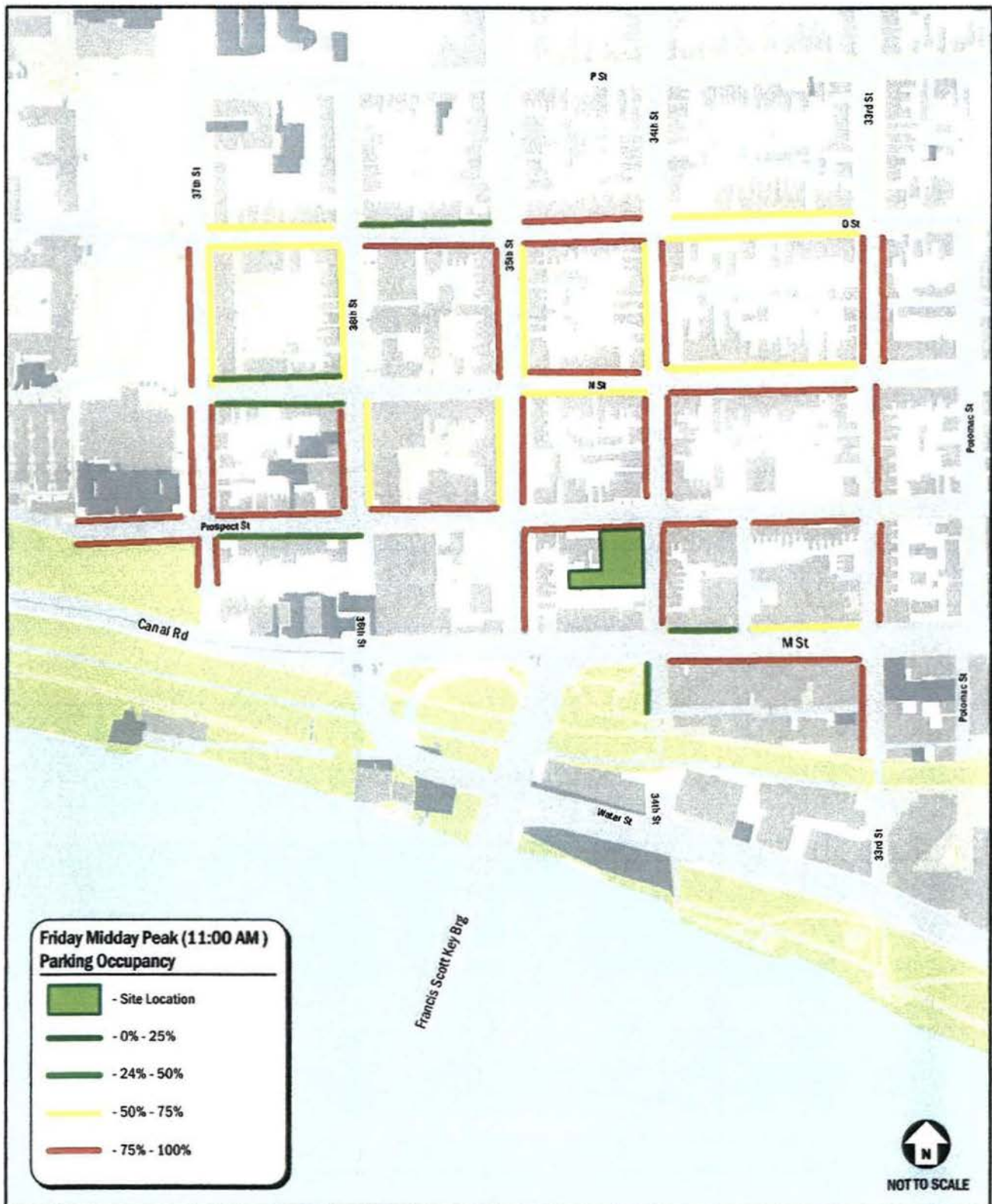


Figure 6: Parking Occupancy - Friday Midday Peak

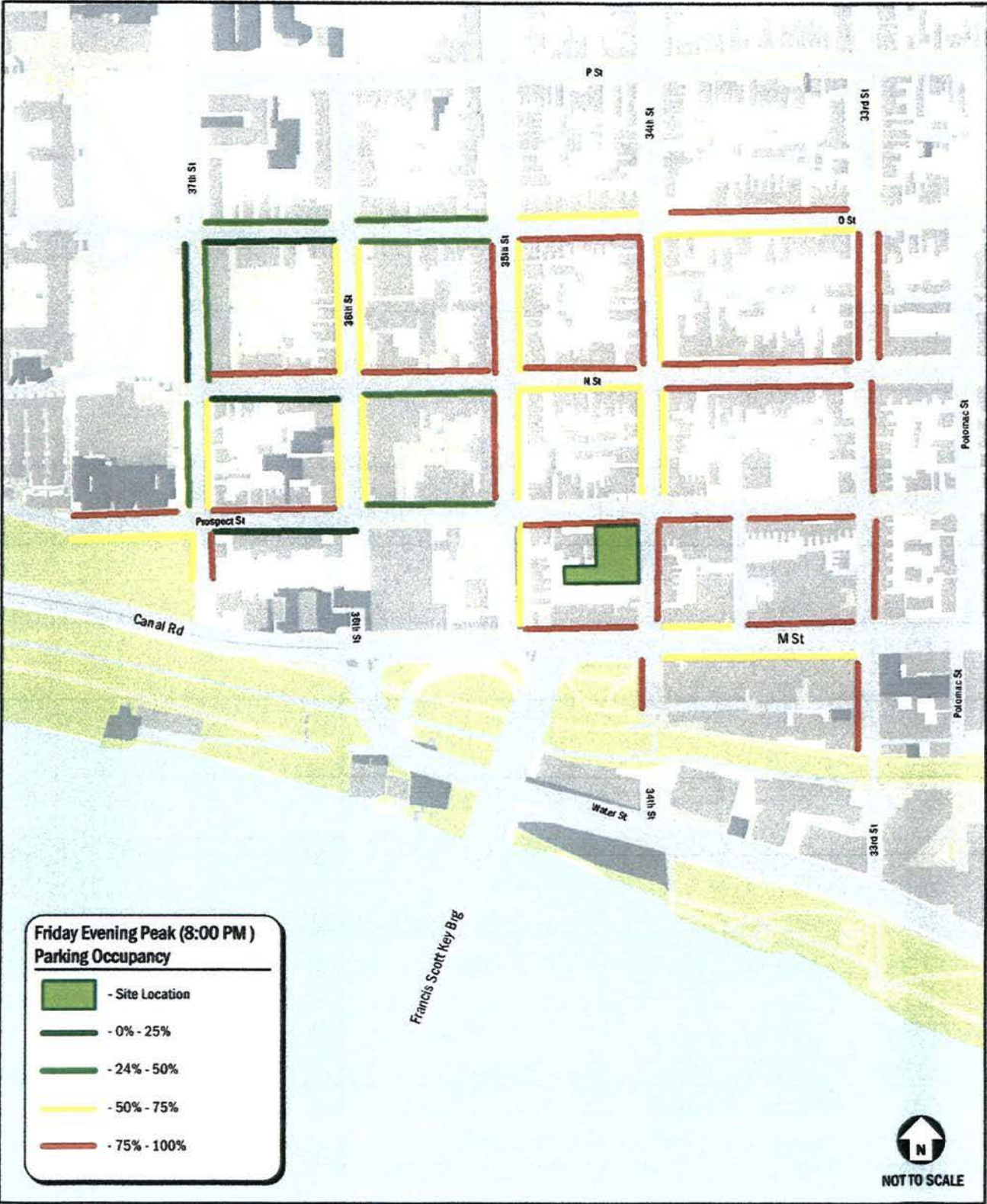


Figure 7: Parking Occupancy - Friday Evening Peak



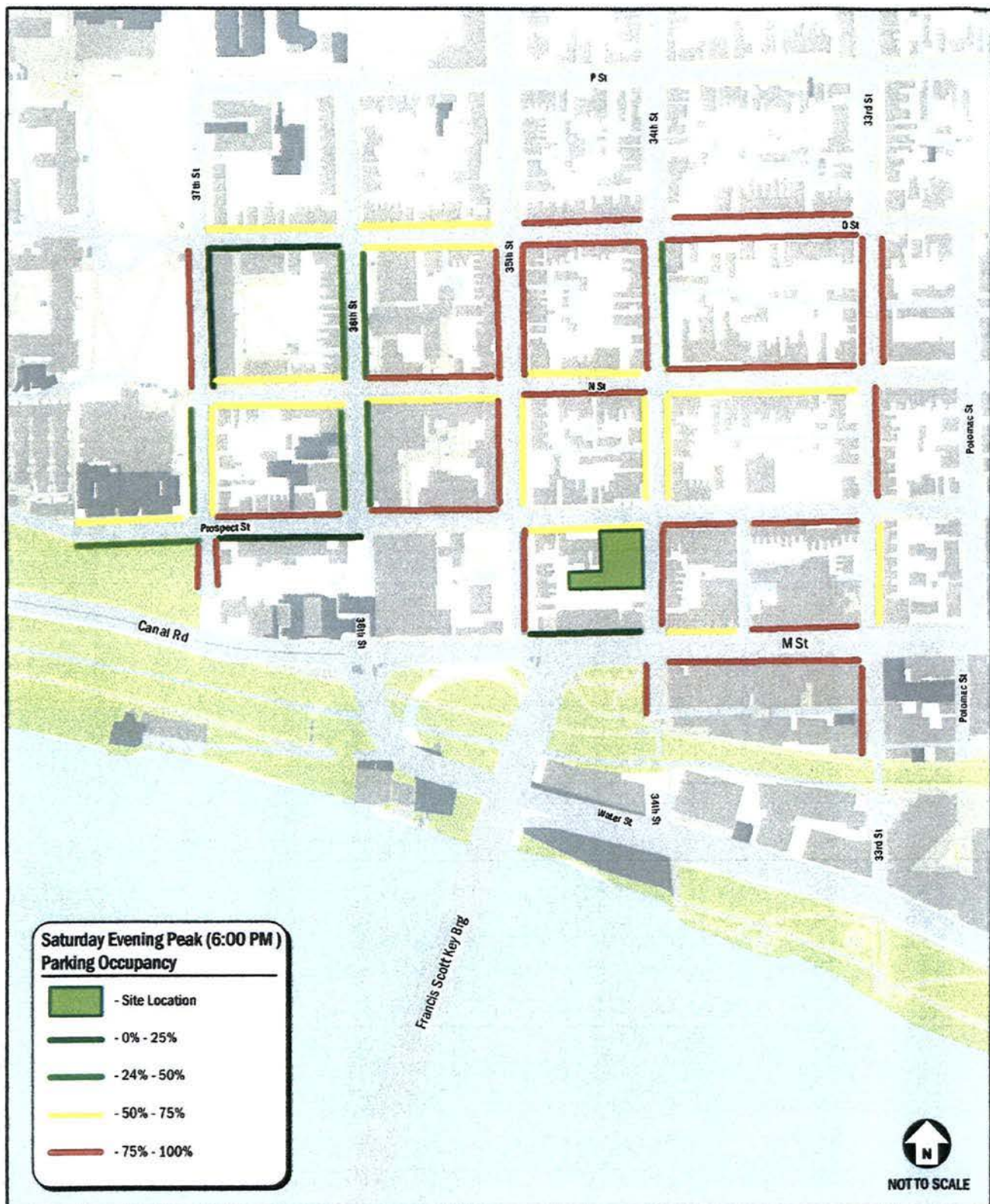


Figure 9: Parking Occupancy - Saturday Evening Peak

CONCLUSIONS

The following conclusions were made in regards to the event day parking and loading operations at Halcyon House

- Over the course of a five-year development period, up to 88 events are proposed to take place at Halcyon House annually in addition to the short-term IIGR residency and illuminate incubator residency programs, four, three-week art exhibits, and the business offices of the Foundation programs. Forty of the 88 events are associated with IIGR meetings and seminars, and all of those seminars and meetings are planned for fewer than 50 persons, with more than half planned for 20 or fewer attendees
- There is an on-site parking and loading area that can accommodate up to 24 vehicles. Extensive loading activity is not expected for most of the events at Halcyon House, except for some of the few larger events which may require more than one delivery
- Parking for events of less than 50 guests will be accommodated on-site and will be managed by S&R staff
- Valet parking services will be utilized for all events that expect more than 50 guests. Nearby parking garages will be used for events ranging from 50 to 250 guests. Larger off-site garages and/or parking lots, further from the site, will be used for events expecting more than 250 guests
- On-street parking in the area is highly utilized. However, all Halcyon House parking demand will be accommodated on-site or within nearby off-street parking facilities