

1827 Adams Mill Road NW
Washington, DC 20009

1827 ADAMS MILL ROAD, NW WASHINGTON, DC



NOTE:
LANDSCAPING SHOWN IS CONCEPTUAL ONLY. FINAL SIDEWALK AND LANDSCAPING DESIGN AND MATERIAL IN PUBLIC SPACE AND WITHIN THE BUILDING RESTRICTION LINE ARE SUBJECT TO PUBLIC SPACE REVIEW AND APPROVAL BY DDOT. SIGNAGE WORDING IS INDICATED FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RETAIL/SERVICE TENANTS ARE NOT KNOWN AT THIS TIME.

BZA SUBMISSION

BZA Relief Requested - Parking and Roof Structures

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- A3.2 SECTION 2

1827 ADAMS MILL ROAD, NW

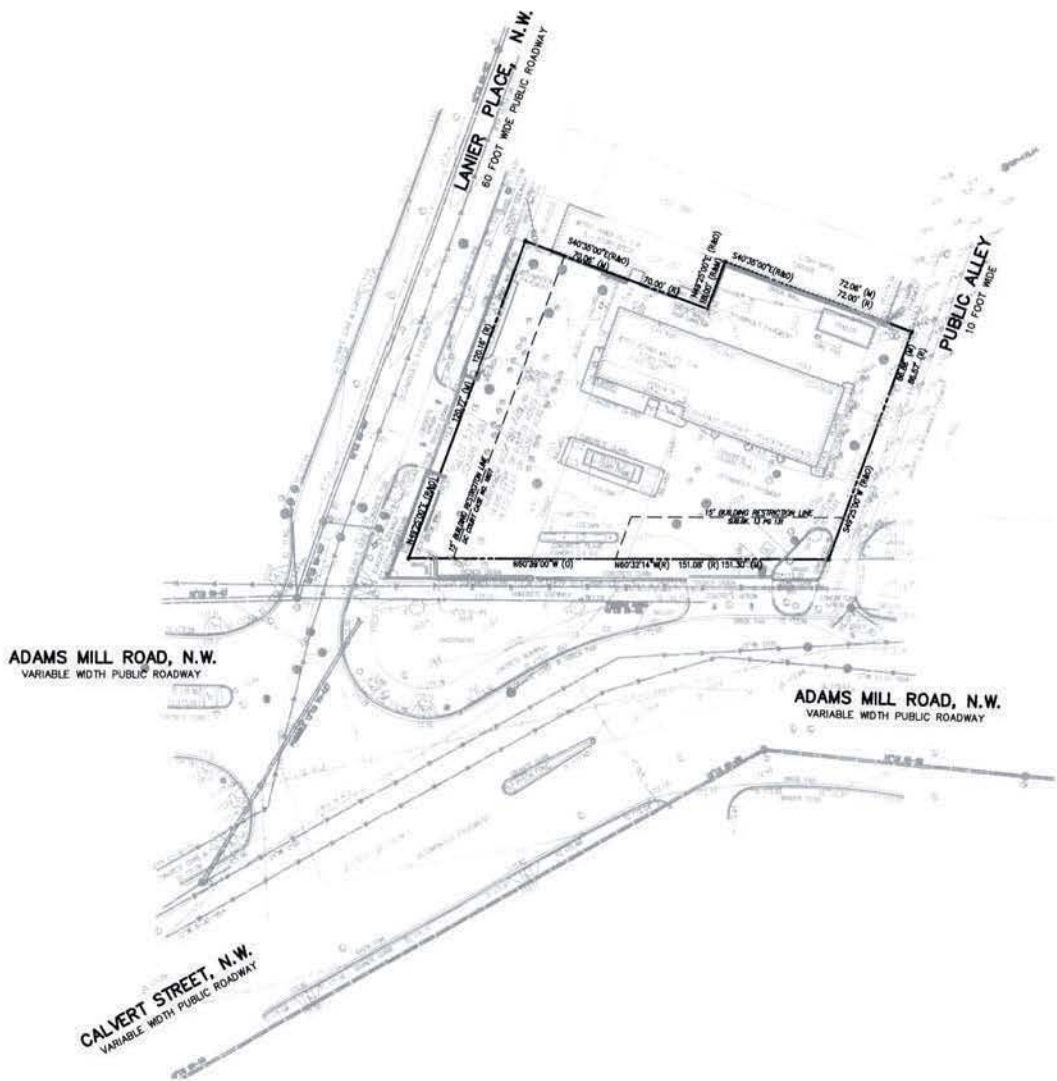
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COVER SHEET | A 0.0

BZA FINAL SUBMISSION Date: 03/26/13
Board of Zoning Adjustment
District of Columbia
CASE NO. 18533
EXHIBIT NO. 26G



NOTES:

1. THE SUBJECT PROPERTY IS IDENTIFIED AS TAX ASSESSMENT 2000 0021 (FIRST ADAMS MILL ROAD, N.W.).
2. THE HORIZONTAL DATUM IS BASED ON PLANS FROM THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA.
3. VERTICAL DATUM IS BASED ON DODGE, 1050 BENCH MARK 8-44 (ELEV=186.17).
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE 14 AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 1700020002G, FOR WASHINGTON, D.C. DATED SEPTEMBER 27, 2015).
5. PROPERTY MARKERS WERE NOT SET AS PART OF THIS SURVEY.
6. THIS ALTA/CADASTRAL LAND TITLE SURVEY IS FOR THE USE OF THE SPECIFIC ENTITIES LISTED IN THE SURVEYOR'S CERTIFICATE FOR ACQUISITION/ LENDING/ REFRAINING PURPOSES, AND IS NOT INTENDED FOR RECORD OR CONSTRUCTION PURPOSES, INCLUDING THE INSTALLATION OF FENCES OR CONSTRUCTION OF OTHER IMPROVEMENTS. UTILITY LINES MAY NOT BE SHOWN AS ACTUAL WIDTHS AND SIZES.

DC BOUNDARY NOTE

BOUNDARY INFORMATION FROM HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND WORKED IN THE FIELD AS FAR AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH ACTUAL MEASUREMENTS. ALL PROPERTY LINES IN THE OFFICE OF THE SURVEYOR ARE SUBJECT TO CHANGE WITH THE FINAL DETERMINATION TO BE MADE BY THE OFFICE OF THE SURVEYOR. A "BATTERY TO BATTERY" PREPARED BY DISTRICT OF COLUMBIA REGISTERED LAND SURVEYOR AND VERIFIED BY THE OFFICE OF THE SURVEYOR MAY BE REQUIRED TO ESTABLISH A FINAL BOUNDARY DETERMINATION AND CORRECTION FOR THIS PROPERTY.

ZONING NOTE:

THE FOLLOWING INFORMATION WAS TAKEN FROM DODGE.DC.GOV WEB SITE:
LOT 521 SQUARE 2000 0-2-A (COMMERCIAL DISTRICT)
THIS INFORMATION DOES NOT CONSTITUTE A "ZONING OPINION" AND IS NOT SUBJECT TO THE SURVEYOR'S CERTIFICATION SHOWN HEREON.

UTILITY NOTE

THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE ABOVE AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPARE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE CORRECT LOCATION INDICATED ALTHOUGH THE SURVEYOR CERTIFIES THAT THE INFORMATION NOTED IN THE TABLE ABOVE WAS OBTAINED FROM THE RECORD INFORMATION OBTAINED BY THE SURVEYOR. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, UNLESS SPECIFICALLY NOTED ON THE DRAWING. THE FOLLOWING UTILITY COMPANIES HAVE BEEN SELECTED FOR THEIR PLANS AND RECORD UTILITY DRAWINGS. LISTED BELOW ARE SPECIFIC PLANS/SHEET NUMBERS OF DRAWINGS PROVIDED BY THE UTILITY COMPANY OR LACK OF RESPONSE IS NOTED:

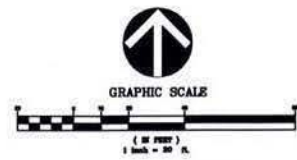
UTILITY COMPANY	PLAN & / SHEET #
VERTEC	MAP NO. 9-000 8 (SHARD COPY FORMAT)
2001 Georgetown Boulevard - 3rd Floor	RECEIVED JULY 11, 2013
SECTION 2, SQUARE 2000	
30 West Gales Drive	NO REPLY AT THIS TIME
Map Sheet 2000	
WASHINGTON GAS/LEAK REPLACEMENT SECTION	NO SAVED PLANS USED (PDF FORMAT)
6001 Industrial Road	RECEIVED JULY 5, 2013
Springfield, VA 22151	
1431 WILCOX	NO UTILITY IN THE PROJECT AREA
2200 Lumbard Road	RECEIVED JULY 11, 2013
Houston, TX 77068	
PECO	NO REPLY AT THIS TIME
4001 POWERMILL ROAD	AS OF 03-25-2013
CALVERTON, MD 20740	
DC WATER	NW-0-11 & NW-0-12 PLANS USED (PDF FORMAT)

THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION.

LEGEND

- | | | | |
|----------------------------------|----------------------------|---------------------------|----------------------------------|
| CABLE TELEVISION CONDUIT | SANITARY CLEANOUT | SANITARY MANHOLE | CONC. — CONCRETE |
| ELECTRICAL CONDUIT | STORM DRAIN MANHOLE | TRAFFIC CONTROL BOUL | CAS — CURB AND OUTER |
| EDGE OF PAVEMENT | ELECTRICAL JUNCTION BOX | CABLE TELEVISION PEDESTAL | BLDG. — BUILDING |
| FENCE LINE | FIRE DEPARTMENT CONNECTION | UNKNOWN UTILITY MANHOLE | STY — STREET |
| NATURAL GAS CONDUIT | GAS MANHOLE | WATER METER | TRN — ELECTRICAL TRANSFORMER |
| TELEPHONE/COMMUNICATIONS CONDUIT | GUY POLE | WATER VALVE | ASPH. — ASPHALT |
| PROPERTY LINES | GAS VALVE | WATER VALVE | EMTL — EXISTENT |
| PUBLIC UTILITIES EASEMENTS | STORM DRAIN CONDUIT | WATER VALVE | CONC. — REINFORCED CONCRETE PIPE |
| SANITARY SENIOR CONDUIT | WATER CONDUIT | WATER VALVE | CMF — CORRUGATED METAL PIPE |
| STORM DRAIN CONDUIT | | WATER VALVE | IMP. — BUILDING RESTRICTION LINE |
| WATER CONDUIT | | WATER VALVE | R/Y — RIGHT-OF-WAY |

FOR LOCATION OF UTILITIES CALL
811 or 1.800.251.7777 OR LOG ON TO
at 48 HOURS IN ADVANCE OF ANY
WORK IN THIS VICINITY



1827
ADAMS MILL ROAD N.W.
LOT 521, SQUARE 2000
SUBDIVISION 10
WASHINGTON, D.C.

EXISTING CONDITIONS PLAN
VKA CAPITOL REVISIONS

DATE SUBMITTED
03/07/2013
DATE DECORATED
2013
DES. SC. DWL. CAD
SCALE: 1"=20'
PROJECT/FILE NO.
01488
SHEET NO.
C-01

PROJECT COORDINATOR: SONIA CHARLES
E-MAIL: sonia@vka.com
VKA CAPITAL
WASHINGTON • D.C.
• 440 LANDMARKS AVENUE, 14th FLOOR, N.W. • WASHINGTON, DC 20004 •
• WWW.VKACAPITAL.COM

ADAMS MILL ROAD, N.W.
VARIABLE WIDTH PUBLIC ROADWAY

CALVERT STREET, N.W.
VARIABLE WIDTH PUBLIC ROADWAY

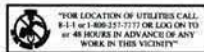
LANIER PLACE, N.W.
80 FOOT WIDE PUBLIC ROADWAY

PUBLIC ALLEY
10 FOOT WIDE

ADAMS MILL ROAD, N.W.
VARIABLE WIDTH PUBLIC ROADWAY

DEMOLITION LEGEND

- | | |
|--|---|
| 1 EX. BUILDING SHALL REMAIN. | 16 EX. FIRE HYDRANT SHALL REMAIN. |
| 2 EX. BUILDING SHALL BE REMOVED. | 17 EX. WATER SHALL REMAIN. |
| 3 EX. PAVEMENT SHALL BE REMOVED. | 18 EX. COMBINED SEWER SHALL REMAIN. |
| 4 EX. SIGN SHALL BE REMOVED. | 19 EX. STORM INLET SHALL REMAIN. |
| 5 EX. PUMPS AND CONCRETE ISLAND SHALL BE REMOVED. | 20 EX. GAS SHALL REMAIN. |
| 6 EX. WALL SHALL BE REMOVED. | 21 EX. COMMUNICATIONS SHALL REMAIN. |
| 7 EX. WALL SHALL REMAIN. | 22 EX. ELECTRIC SHALL REMAIN. |
| 8 EX. CONCRETE APRON SHALL BE REMOVED. | 23 EX. ALLEY SHALL REMAIN. CONTRACTOR SHALL REPAIR AS NECESSARY FOR THE SITE AND UTILITY IMPROVEMENTS. |
| 9 EX. TRENCH DRAIN SHALL BE REMOVED. | 24 EX. BITUMINOUS PAVEMENT SHALL REMAIN. CONTRACTOR SHALL REPLACE AS NECESSARY FOR THE SITE AND UTILITY IMPROVEMENTS. |
| 10 EX. TREE SHALL BE REMOVED. SEE NOTE #4, THIS SHEET. | 25 EX. HANDICAP RAMP SHALL REMAIN. |
| 11 EX. TREE SHALL REMAIN. | 26 EX. LANDSCAPING SHALL REMAIN. |
| 12 EX. LIGHT SHALL BE REMOVED. | 27 EX. SIDEWALK SHALL REMAIN. CONTRACTOR SHALL REPAIR AS NECESSARY FOR THE SITE OR UTILITY IMPROVEMENTS. |
| 13 EX. UTILITY POLE SHALL BE REMOVED/RELOCATED. | 28 EX. CURB & GUTTER SHALL REMAIN. CONTRACTOR SHALL REPAIR AS NECESSARY FOR THE SITE OR UTILITY IMPROVEMENTS. |
| 14 EX. LIGHT SHALL REMAIN. | 29 EX. CURB SHALL BE REMOVED. |
| 15 EX. TRAFFIC SIGNAL SHALL REMAIN. | |



DEMOLITION NOTES:

- CONTRACTOR IS TO COORDINATE WITH DC WATER & SEWER AUTHORITY, WASHINGTON GAS, BELL ATLANTIC TELEPHONE AND POWER TO PROPERLY TERMINATE AND REMOVE EXISTING SERVICE CONNECTIONS TO THE SITE. SERVICES TO ALL EXISTING RESIDENCES AND BUILDINGS WHICH ARE LOCATED ON THIS PROJECT SITE ARE TO BE PROPERLY TERMINATED AND REMOVED.
- CONTRACTOR IS TO WALK THE SITE AND FAMILIARIZE HIMSELF WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
- REMOVAL SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND DISPOSAL OF CONCRETE PAVES, FOUNDATIONS, SLABS, STEPS AND STRUCTURES. ABANDONED UTILITIES, BUILDINGS, FURNITURE, SINKS, VEGETATION AND ALL MATERIALS CLEARED AND GRABBED.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY AND STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED.
- INDIVIDUAL BUILDING SERVICES ARE NOT INDICATED ON THE DEMOLITION PLAN AND SHALL BE LOCATED AND REMOVED BY THE CONTRACTOR TO THE POINT OF UTILITY COMPANY CUT OFF OR PUBLIC AGENCY MAINTENANCE.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM DRAINAGE UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS. MAINTENANCE SHALL INCLUDE TEMPORARY REDUCING WITH THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION AND THE ARCHITECT. ANY EXISTING SERVICES INTERRUPTED OR DAMAGED BY THE CONTRACTOR AND/OR HIS OPERATIONS SHALL BE REPAIRED AND / OR REPLACED AS NEEDED AT HIS EXPENSE.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY NOT TO BE RECONSTRUCTED SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- CONTRACTOR SHALL ERECT ALL NECESSARY PROTECTIVE DEVICES AROUND THE LIMITS OF DEMOLITION AND PROVIDE ANY AND ALL PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AS DETERMINED BY THE OWNER AND DC.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTER AND SIDEWALK TO BE DEMOLISHED.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARD, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE ARCHITECT. REFER TO CONTRACT SPECIFICATIONS FOR SPECIFIC INFORMATION.
- THE SITE SHALL BE FENCED AS NECESSARY TO PREVENT INGRESS/EGRESS BY THE GENERAL PUBLIC TO CONTRACTOR AREAS. FENCE SHALL BE AT LEAST 6' HIGH CHAIN LINK.
- ALL EXISTING WATER CONNECTIONS NOTED TO BE ABANDONED ARE TO BE REMOVED AT THE PUBLIC UTILITY PER DCWASA REQUIREMENTS.
- ALL EXISTING SEWER CONNECTIONS NOTED TO BE ABANDONED ARE TO BE ABANDONED AT THE PROPERTY LINE AND REMOVED AT THE EXISTING SEWER AND OR MANHOLE PER DCWASA REQUIREMENTS.

NOTE: ABANDONMENT OF WATER SERVICES

WATER SERVICES ARE INSTALLED BY TAPPING THE PUBLIC WATER MAIN AND INSTALLING A CORPORATION STOP. ABANDONMENT CONSIST OF REMOVING THE CORPORATION STOP AND INSTALLING A PLUG IN THE CAP. THE REMAINING WATER SERVICE PIPE IS ABANDONED IN PLACE.

WATER CONNECTIONS ARE INSTALLED BY CUTTING IN A TEE AND SLEEVE IN THE PUBLIC WATER MAIN WITH A VALVE ON THE BRANCH OF THE TEE. THE ABANDONMENT CONSIST OF REMOVING THE VALVE AND INSTALLING A PLUG ON THE BRANCH OF THE EXISTING TEE. IF THE TEE IS BEHIND A JOINT, IF THE EXISTING TEE IS LEAKY AND IS 12" OR SMALLER, THE EXISTING TEE MUST BE REMOVED FROM THE PUBLIC WATER MAIN AND REPLACED WITH A STRAIGHT RUN OF PIPE. IF THE TEE IS LEAKY JOINTS AND IS LARGER THAN 12", THE PIPE OUT OF THE BRANCH OF THE TEE CAN BE CUT AND CAPPED WITH CONCRETE BLOCK AND HARNED BACK TO THE TEE. THE REMAINING WATER CONNECTION PIPE IS ABANDONED IN PLACE.

NOTE: ABANDONMENT OF STORM/SEWER SERVICES AND CONNECTIONS

- WYE BRANCH CONNECTIONS MUST BE REMOVED AND CONNECTED TO PUBLIC SEWER UP STRAIGHT.
- IF CONNECTION GOES TO A MANHOLE, BULK HEAD THE PIPE IN THE MANHOLE.
- ALL TREES GREATER THAN 17" IN DIAMETER IN THE DISTRICT OF COLUMBIA ARE CONSIDERED "SPECIAL TREES" AND WILL REQUIRE A SEPARATE PERMIT FROM THE DISTRICTS URBAN FORESTRY ADMINISTRATION PRIOR TO DEMOLITION.



PROJECT COORDINATOR: SHEL CHANES
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1827
ADAMS MILL ROAD N.W.
LOT 521, SQUARE 2590
SUBDIVISION BOOK 207, PAGE 46
WASHINGTON, D.C.

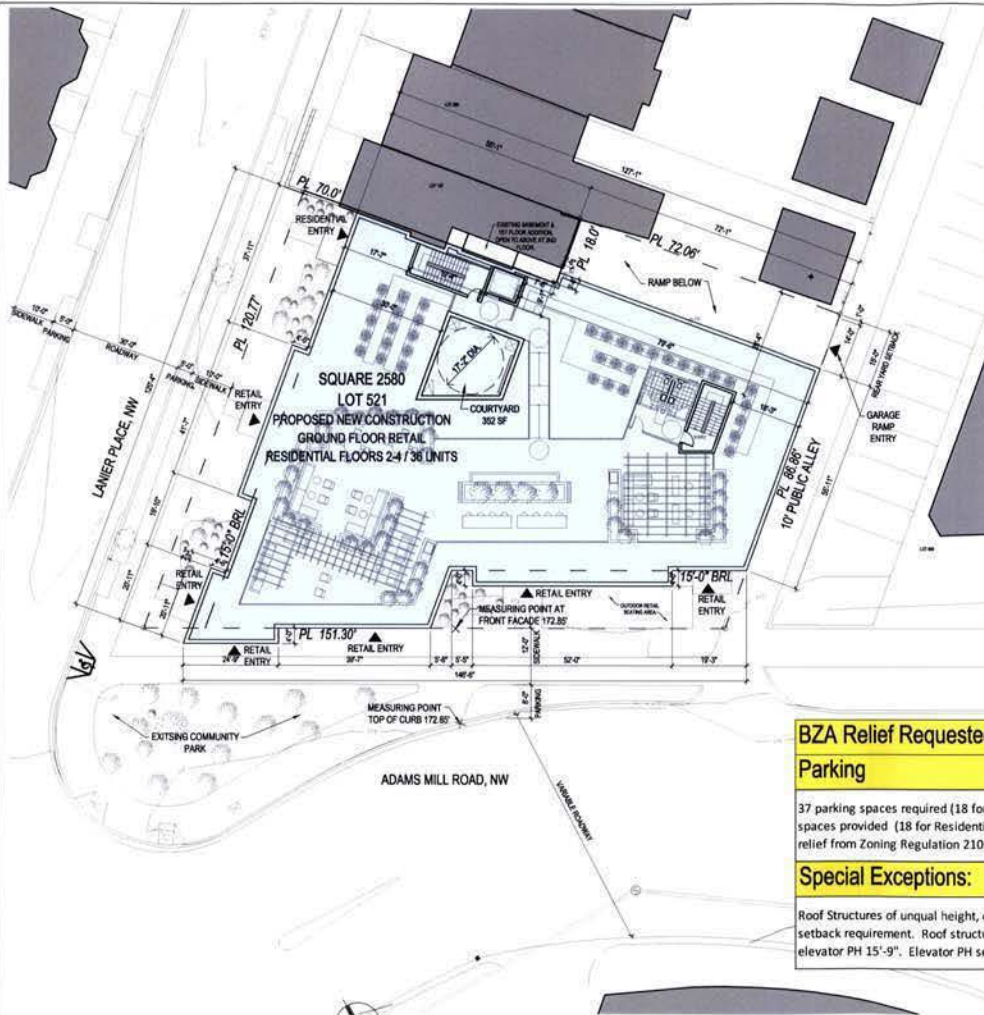
SITE DEMOLITION PLAN

VKA CAPITAL
REVISIONS

NO.	DATE	DESCRIPTION
1	05/07/2013	FOR SUBMISSION
2	05/07/2013	DATE: DECEMBER, 2012
3	05/07/2013	DES: SC DWA: CAD
4	05/07/2013	SCALE: 1"=20'
5	05/07/2013	PROJECT/FILE NO: 01488
6	05/07/2013	SHEET NO: C-02

3/24/2023 1:13:58 PM

1827 Adams Mill Road, NW
Washington, DC 20009
3/24/2023 1:13:58 PM



1 SITE PLAN
SCALE: 1" = 40'-0"

NOTE:
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BZA Relief Requested

Parking

37 parking spaces required (18 for Residential, 19 for Retail). 24 spaces provided (18 for Residential, 6 for Retail). Requesting BZA relief from Zoning Regulation 2101.0 to provide 24 spaces.

Special Exceptions:

Roof Structures of unequal height, one structure does not meet strict setback requirement. Roof structures height- Stair towers 9'-0", elevator PH 15'-9". Elevator PH setback 10'-6", required 15'-9".

1827 ADAMS MILL ROAD, NW
Square: 2580 Lot: 521 (Former Lot: 0853)

PROJECT DESCRIPTION

New construction, Ground Floor-Retail, Floors 2-3-Residential, 36 Units Total.
Existing site-gas station

ZONING CRITERIA

SPECIFICATIONS	REQUIRED	PROVIDED	NOTES
Zoning District	C-2-A		
Lot Area	14,695		
Lot Occupancy (60% w/out IZ)	75%	72%	Calculation Building Footprint 10,590 SF/Lot Area 14,695 SF
Total Permitted FAR w/ IZ (2.5 w/out IZ)	3	2.88	
FAR	44,085	42,352	
Height	50'-0"	50'-0"	
Stories	No Limit	4	
Side Yard Setback	None required, if provided, 2'/ft per bldg height, but not less than 6'-0".	None	
Rear Yard Setback	15'-0"	15'-0"	
Penthouse Height	18'-6"	15'-9"	
Parking (Residential)	1 space per 2 units= 18	18	
Parking (Retail)	First 3,000 SF- none, then 1 space for each 300 of gross floor area= 19	6	Calculation 8,665 SF-3,000 SF= 5,665 SF/300= 18.9
Parking Spaces Total	37	24	BZA Relief Needed
Parking space size			
Regular size	9'-0" x 19'-0"	23	
Van size	31'-0" x 19'-0"	1	
One-way driveway width	Minimum 12'-0"	N/A	Two way circulation throughout.
Two-way driveway width	Minimum 14'-0"	14'-0"	
Aisle width	Minimum 20'-0"	20'-0"	For 90 deg parking.
Loading Berth (Retail)	1 @ 30' deep	1 @ 30' deep	Minimum 12'-0" wide, 14'-0" vertical clearance.
Loading Platform (Retail)	1 @ 100 SF	1 @ 102 SF	10'-0" vertical clearance.
Loading Space (Retail)	None required	None	
Loading Berth, Platform, Space (Residential)	None required, less than 50 units.	None	
Bicycle Parking Spaces (Retail)	5% of Parking Spaces= 1 (5% v's 19= 95)	8	Space dimensions- 2'-0" x 6'-0" for horizontal bike parking, 3'-4" x 2'-0" for vertical bike parking, aisle- 5'-0" wide.
Bicycle Parking Spaces (Residential)	1 per 3 units= 12 (36 units/3)	12	
Bicycle Parking Spaces TOTAL	13	20	
Special Exceptions			
Roof Structures of unequal height, one structure does not meet strict setback requirement.	One roof structure. Equal height roof structures. Setback 1:1.	Roof structures height- Stair towers 9'-0", elevator PH 15'-9". Elevator PH setback 10'-6", required 15'-9".	

COURTYARDS	MIN. WIDTH REQUIREMENT	MIN. WIDTH CALCULATION	MIN. AREA REQUIREMENT	MIN. AREA CALC.	AREA PROVIDED	WIDTH PROVIDED
Closed Courtyard 1, Floors 2-4/ Residential Use (Not located on ground floor)	Width of court shall be minimum of 4'/foot of height measured from the lowest level of the court; width shall not be less than 15'-0".	(37'-0" x 4')/12= 12'-3" min. width, (12'-0" taken out of 50'-0" total building height for ground floor retail).	Minimum area shall be at least twice the square width of the court based upon the height, but not less than 350 SF.	(12'-3") x 2= 305 SF	352 SF	12'-2"

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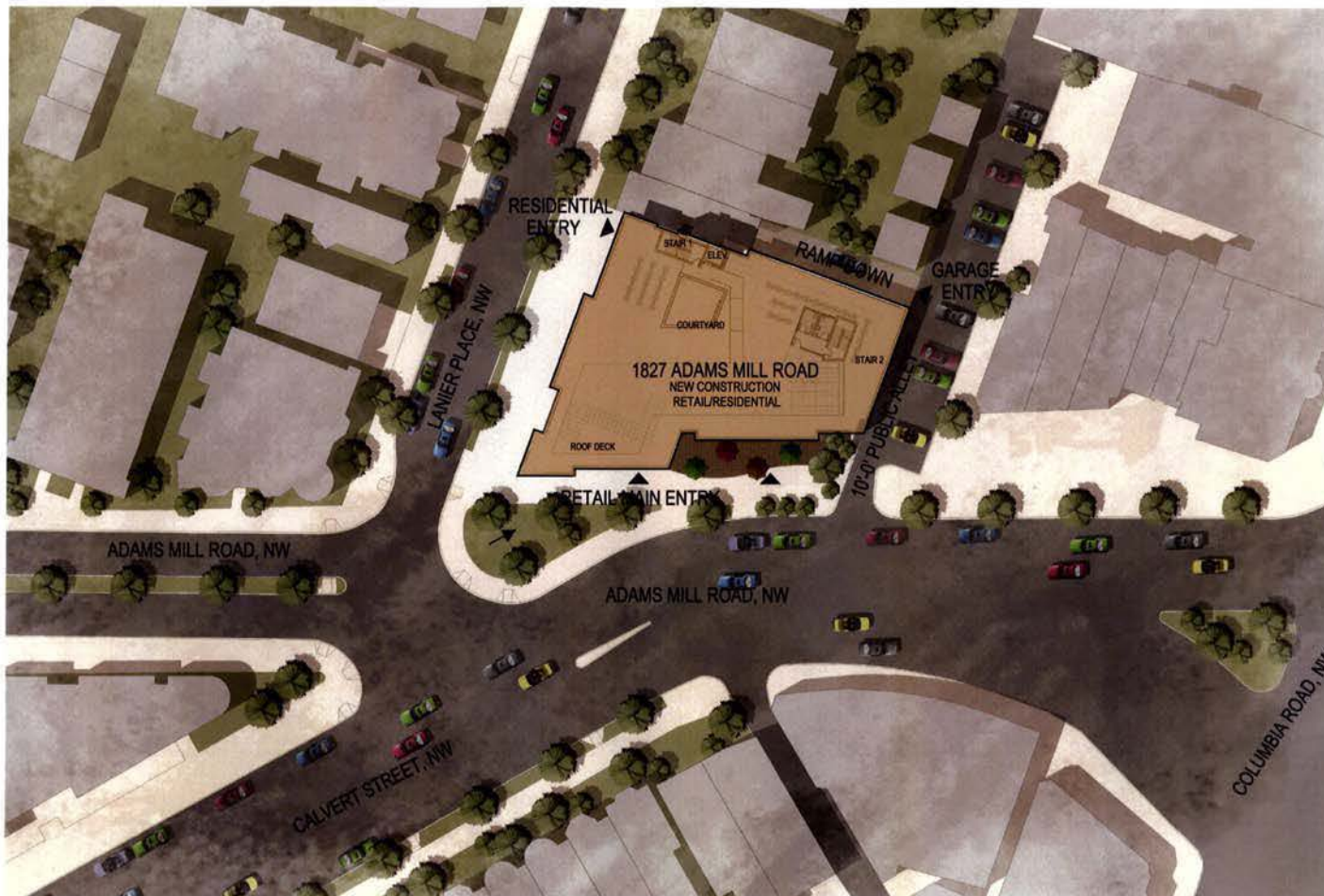
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SITE PLAN AND ZONING CRITERIA | A 0.1

BZA FINAL SUBMISSION | Date: 03/26/13



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1 RENDERED SITE PLAN
SCALE: N.T.S.

1827 ADAMS MILL ROAD, NW

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Washington, DC 20009

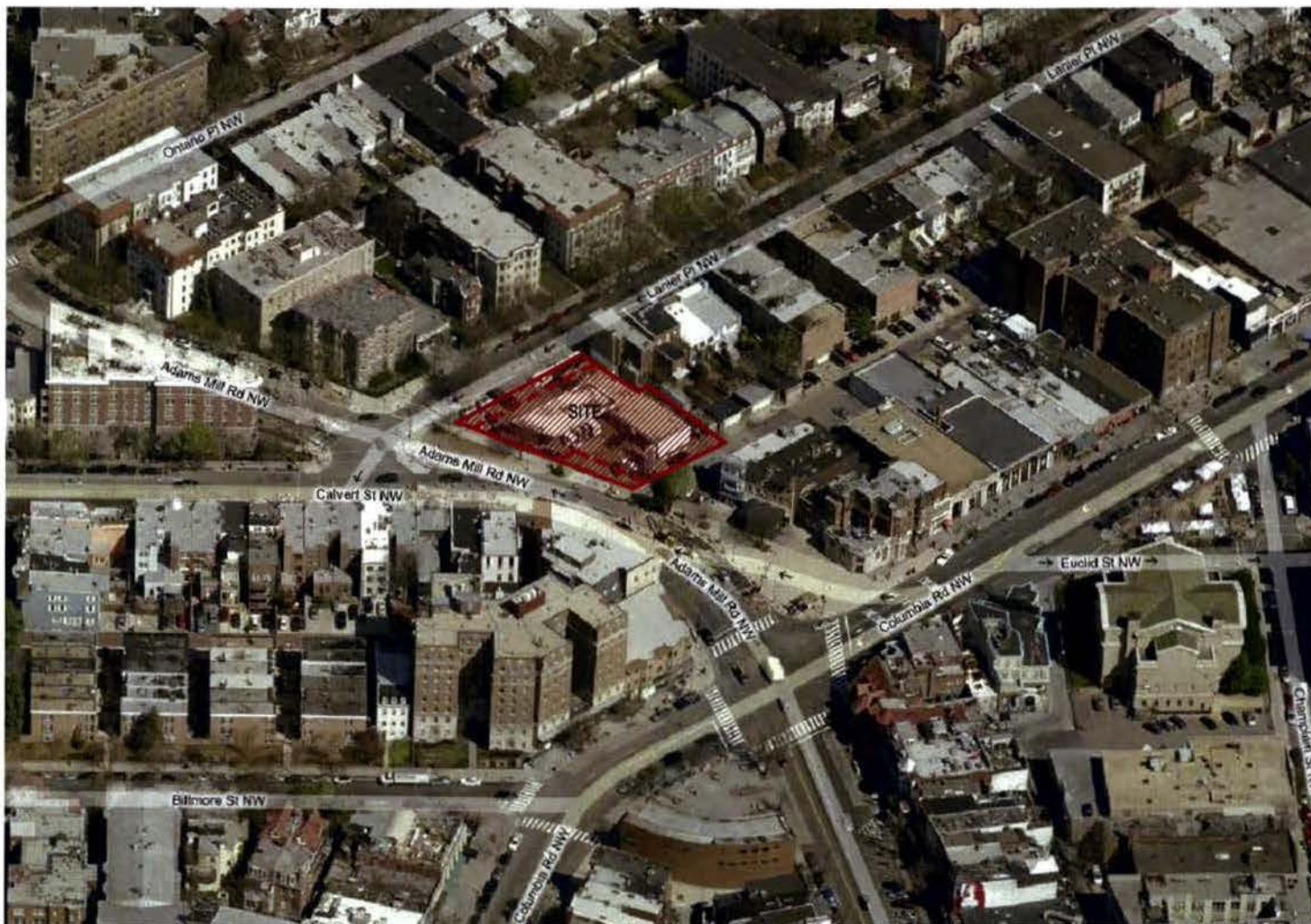
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RENDERED SITE PLAN | A 0.2

BZA FINAL SUBMISSION | Date: 03/26/13



1 AERIAL
 SCALE: 1" = 40'-0"

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SITE AERIAL | A 0.3

BZA FINAL SUBMISSION | Date: 03/26/13



1 CONTEXT PHOTO ADAMS MILL ROAD
SCALE: N.T.S.



2 CONTEXT PHOTO ADAMS MILL ROAD
SCALE: N.T.S.



3 CONTEXT PHOTO INTERSECTION OF ADAMS MILL ROAD & LANIER PLACE
SCALE: N.T.S.



4 CONTEXT PHOTO LANIER PLACE
SCALE: N.T.S.

1827 ADAMS MILL ROAD, NW

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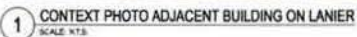
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SITE PHOTOS | A 0.4

BZA FINAL SUBMISSION | Date: 03/26/13



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1 CONTEXT PHOTO ADAMS MILL ROAD LOOKING SOUTH
SCALE: NTS



2 CONTEXT PHOTO ADAMS MILL ROAD SOUTH SIDE
SCALE: NTS



3 CONTEXT PHOTO LANIER PLACE LOOKING NORTHEAST
SCALE: NTS



4 SITE AERIAL
SCALE: NTS

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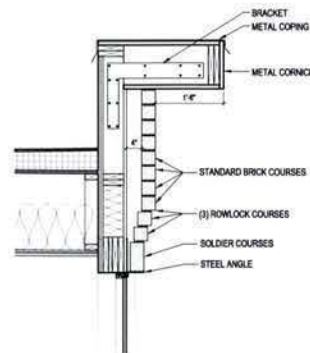
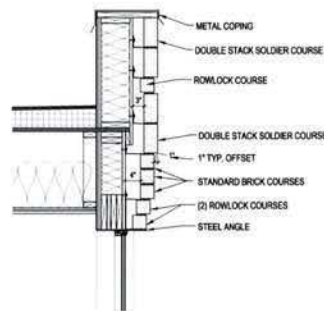
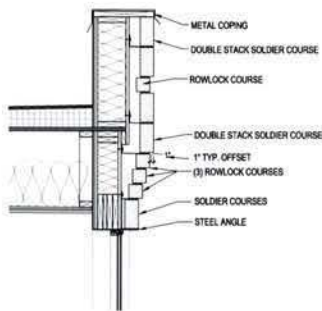
Pereaux 1827 Adams Mill Investments, LLC
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CONTEXT PHOTOS | A 0.6

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1 CONTEXT PHOTOS- STRONG CORNICE LINES & RHYTHM OF ROWHOUSES
SCALE: N.T.S.



3 BRICK DETAILS
SCALE: N.T.S.



2 COLOR SCHEME, BRICK DETAILING, RUSTICATED BASE
SCALE: N.T.S.

1827 ADAMS MILL ROAD, NW

NEIGHBORHOOD CONTEXT | A 0.7

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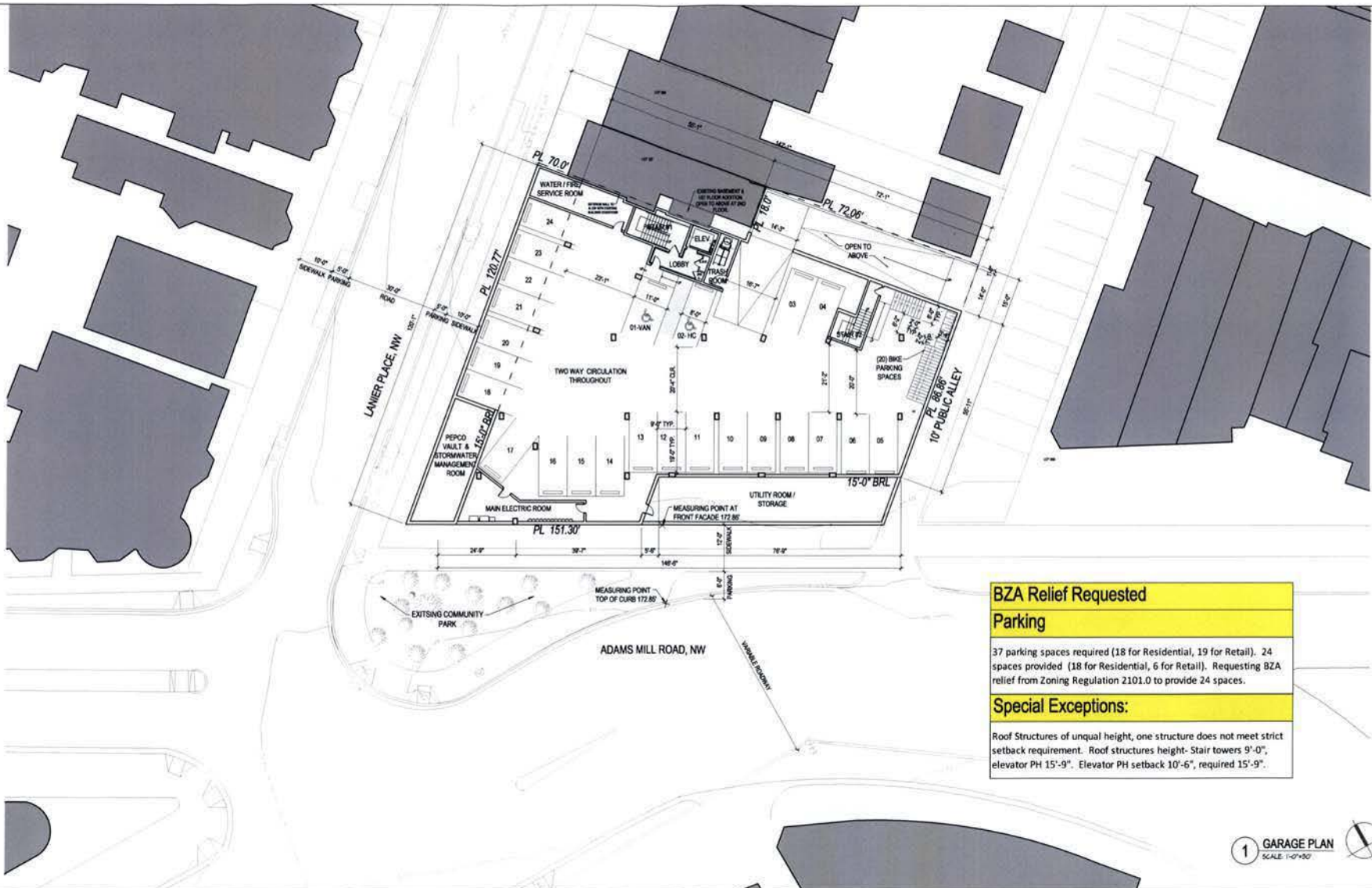
Pereus 1827 Adams Mill Investments, LLC
CIO Pereus Realty, LLC
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3/24/2013 1:40:34 PM

P:\18 - 1827 Adams Mill Road - new garage\plans\1827-0020 1827 Mill Rd. (A0.8) (1827).dwg
3/24/2013 1:40:34 PM



BZA Relief Requested

Parking

37 parking spaces required (18 for Residential, 19 for Retail). 24 spaces provided (18 for Residential, 6 for Retail). Requesting BZA relief from Zoning Regulation 2101.0 to provide 24 spaces.

Special Exceptions:

Roof Structures of unequal height, one structure does not meet strict setback requirement. Roof structures height- Stair towers 9'-0", elevator PH 15'-9". Elevator PH setback 10'-6", required 15'-9".

1 GARAGE PLAN
SCALE: 1/8"=1'-0"

1827 ADAMS MILL ROAD, NW

GARAGE PLAN WITH SITE CONTEXT A0.8

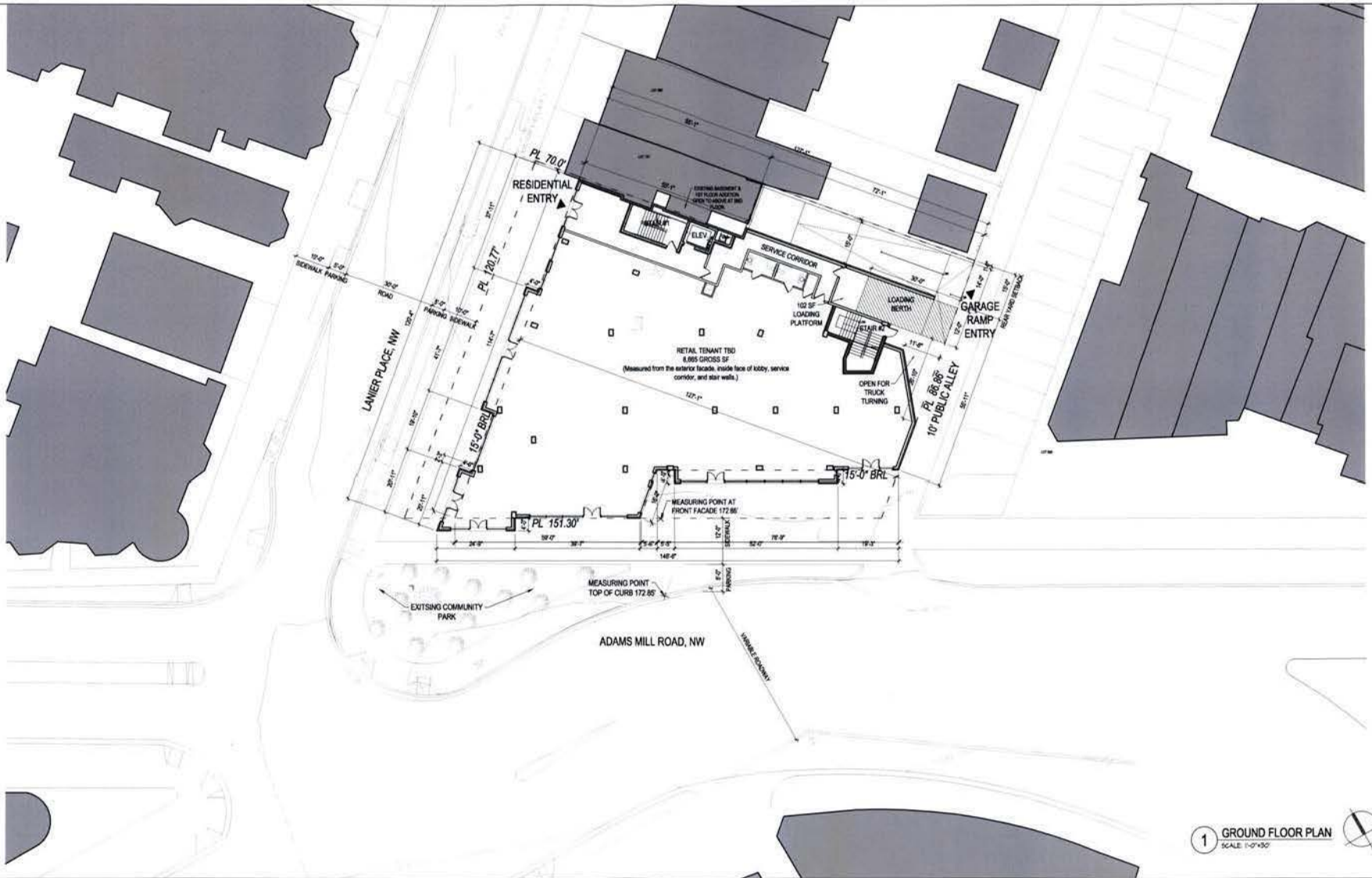
1827 Adams Mill Road NW
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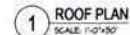
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1827 ADAMS MILL ROAD, NW

GROUND FLOOR PLAN WITH SITE CONTEXT A0.9

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ROOF PLAN WITH SITE CONTEXT

A0.10

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1 RENDERED ADAMS MILL ROAD STREET ELEVATION
SCALE: NTS



2 RENDERED LANIER PLACE STREET ELEVATION
SCALE: NTS

NOTE:
ROOF STRUCTURES ARE NOT SHOWN ON NEIGHBORING BUILDINGS, AS NO INFORMATION WAS READILY AVAILABLE.

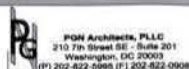
1827 ADAMS MILL ROAD, NW

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RENDERED STREET ELEVATIONS WITH NEIGHBORHOOD CONTEXT

A0.11

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1 RENDERED PERSPECTIVE- ADAMS MILL ROAD
SCALE 1/8"=1'-0"

NOTE:
LANDSCAPING SHOWN IS CONCEPTUAL ONLY. FINAL SIDEWALK AND LANDSCAPING DESIGN AND MATERIAL IN PUBLIC SPACE AND WITHIN THE BUILDING RESTRICTION LINE ARE SUBJECT TO PUBLIC SPACE REVIEW AND APPROVAL BY DDOT. SIGNAGE WORDING IS INDICATED FOR ILLUSTRATION PURPOSES ONLY. ACTUAL RETAIL/SERVICE TENANTS ARE NOT KNOWN AT THIS TIME.

1827 ADAMS MILL ROAD, NW

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RENDERED PERSPECTIVE- ADAMS MILL ROAD

A0.12

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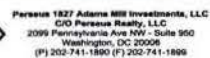


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1827 ADAMS MILL ROAD, NW

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A0.13

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1 RENDERED ELEVATION-ADAMS MILL ROAD
SCALE 1/8"=1'-0"

NOTE:
LANDSCAPING SHOWN IS CONCEPTUAL ONLY. FINAL SIDEWALK AND LANDSCAPING DESIGN AND MATERIAL IN PUBLIC SPACE AND WITHIN THE BUILDING RESTRICTION LINE ARE SUBJECT TO PUBLIC SPACE REVIEW AND APPROVAL BY DDOT.

1827 ADAMS MILL ROAD, NW

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RENDERED ELEVATION- ADAMS MILL ROAD | A0.14

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1827 ADAMS MILL ROAD, NW

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A0.15

BZA FINAL SUBMISSION Date: 03/26/13

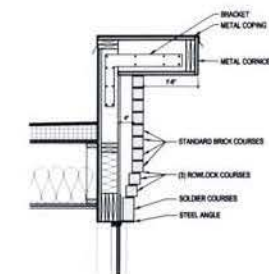
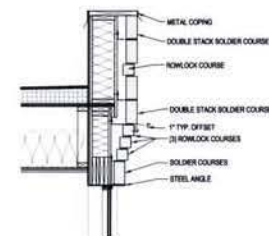


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2 RENDERED ENLARGED CORNICE ELEVATIONS
SCALE: 3/4" = 1'-0"



3 CORNICE DETAILS



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ROOF PLAN | A1.3

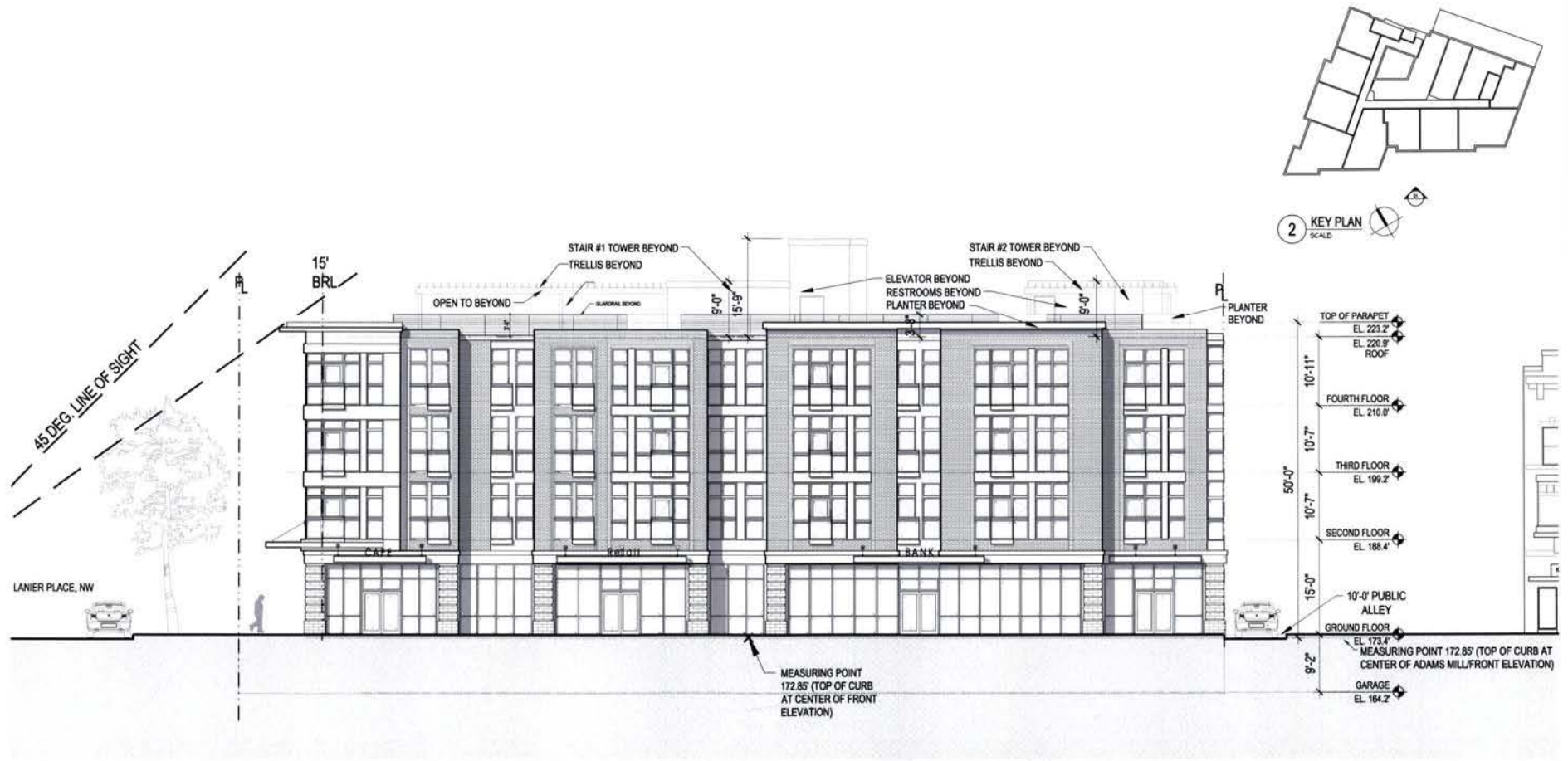
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1 SOUTH ELEVATION- ADAMS MILL ROAD
SCALE: 1/8"=1'-0"

NOTE:
DUE TO THE TRAPEZOID SHAPE OF THE SITE, STAIR TOWERS AND ELEVATOR PH SHOWN FROM ADAMS MILL ROAD. SHEET
A2.5 SHOWS STAIR TOWERS AND ELEVATOR PH SHOWN AS A STREET SECTION ACROSS FROM 1790 LANIER PLACE.

1827 ADAMS MILL ROAD, NW

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SOUTH ELEVATION- ADAMS MILL ROAD

A 2.1

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WEST ELEVATION-LANIER PLACE | A 2.2

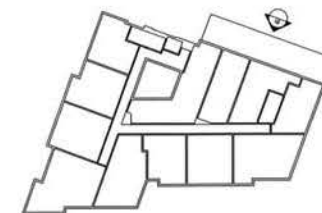
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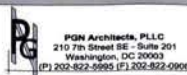


2 KEY PLAN
SCALE

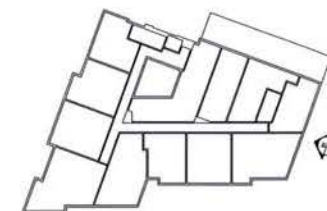
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NORTHEAST ELEVATION- REAR A 2.3

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3 KEY PLAN
(SCALE)

SOUTHEAST ELEVATION- ALLEY SIDE A 2.4

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STREET SECTION SOUTH ELEVATION- ADAMS MILL ROAD A 2.5

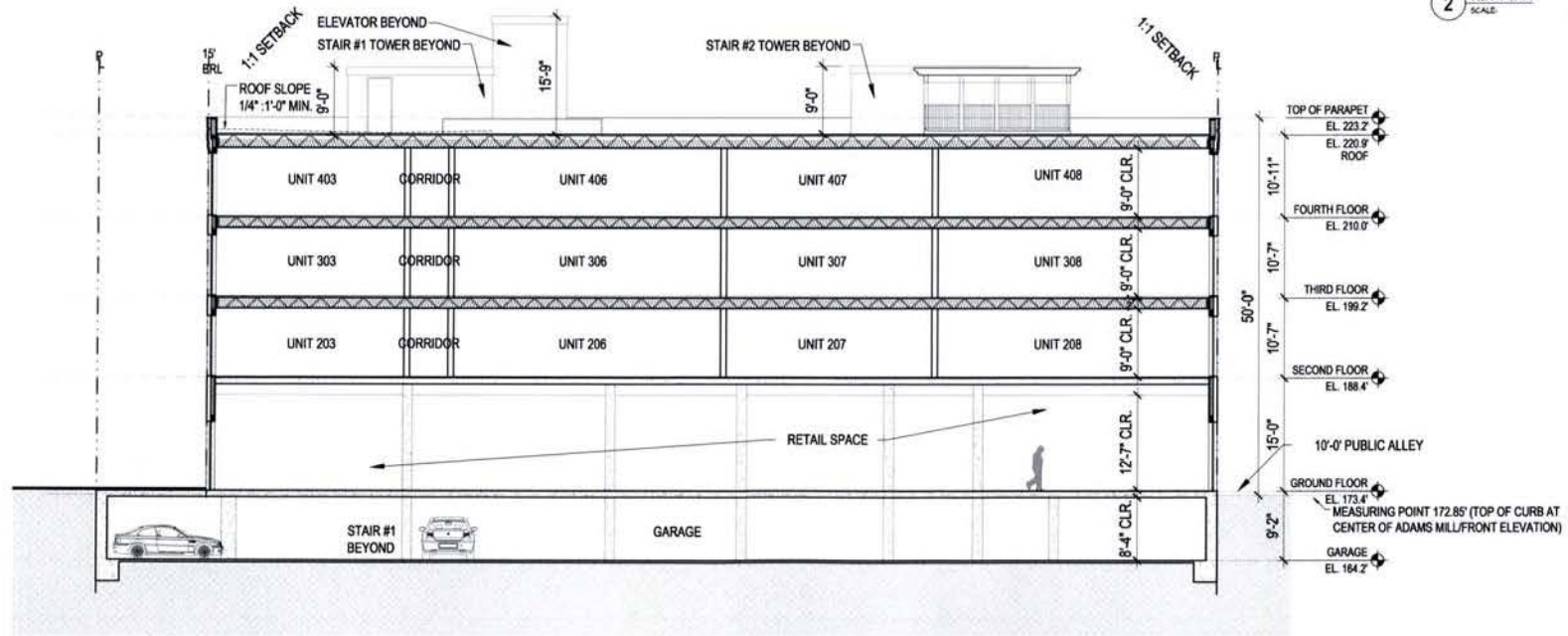


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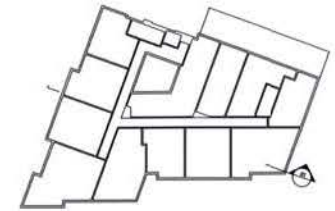


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1 SECTION 1
 SCALE: 1/8\"/>



2 KEY PLAN
 SCALE



1827 ADAMS MILL ROAD, NW

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 Washington, DC 20009



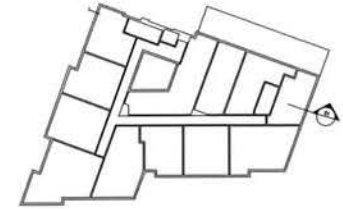
PGM Architects, PLLC
 210 7th Street SE - Suite 201
 Washington, DC 20003
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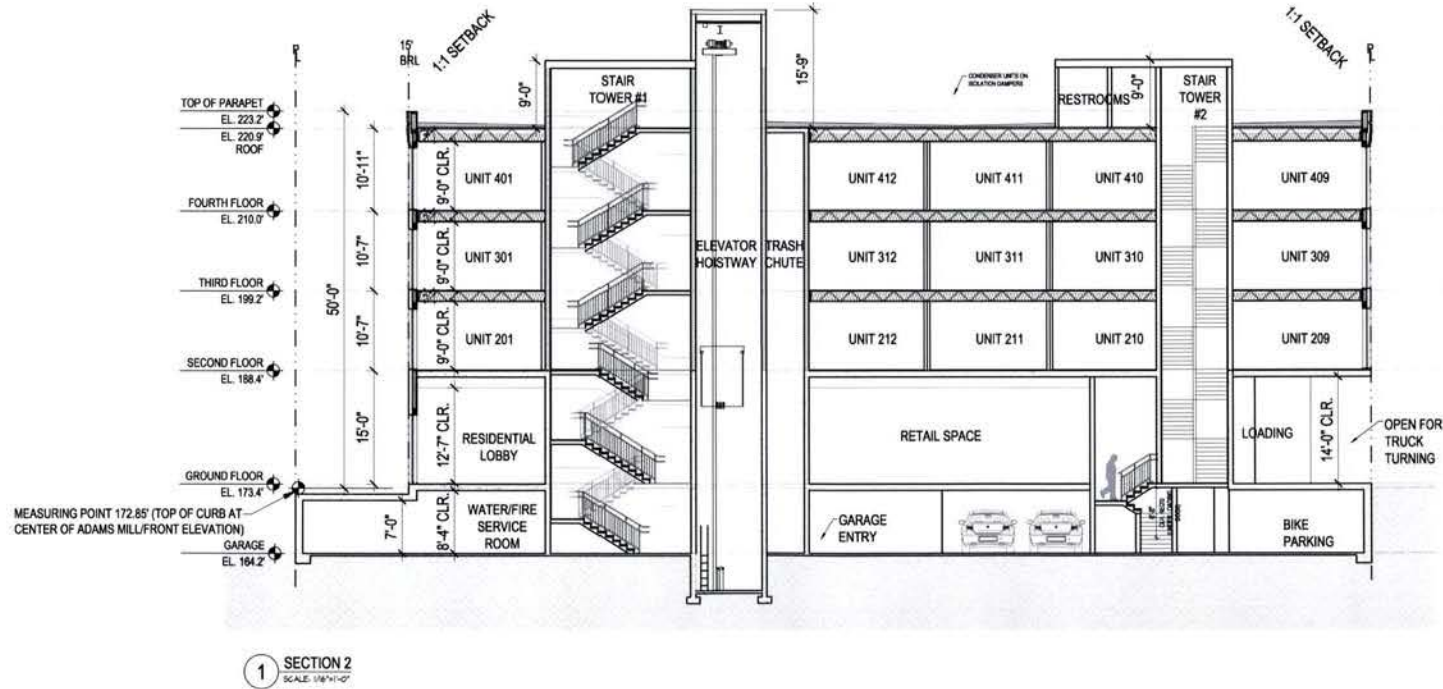
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SECTION 1 | A 3.1

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2 KEY PLAN
SCALE



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SECTION 2 | A 3.2

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