



1827 ADAMS MILL ROAD, NW WASHINGTON, DC

BOARD OF ZONING ADJUSTMENT

District of Columbia

CASE NO. 18533

EXHIBIT NO. 9

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
Washington, DC 20009



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BZA SUBMISSION

BZA Relief Requested - Parking

LIST OF DRAWINGS:

- A0.0 COVER SHEET
- C1.1 CIVIL- EXISTING CONDITIONS
- C1.2 CIVIL- PROPOSED UTILITY LOCATIONS
- A0.1 SITE PLAN AND ZONING CRITERIA
- A0.2 SITE PLAN RENDERED
- A0.3 SITE AERIAL
- A0.4 SITE PHOTOS
- A0.5 CONEXT PHOTOS
- A0.6 CONTEXT PHOTOS
- A0.7 GARAGE PLAN WITH SITE CONTEXT
- A0.8 GROUND FLOOR PLAN WITH SITE CONTEXT
- A0.9 ROOF PLAN WITH SITE CONTEXT
- A0.10 ELEVATIONS WITH SITE CONTEXT
- A0.11 RENDERED PERSPECTIVE
- A0.12 RENDERED PERSPECTIVE
- A1.0 GARAGE PLAN
- A1.1 GROUND FLOOR PLAN
- A1.2 TYPICAL FLOOR PLAN (FLOORS 2-4)
- A1.3 ROOF PLAN
- A2.1 SOUTH ELEVATION- ADAMS MILL ROAD
- A2.2 WEST ELEVATION- LANIER PLACE
- A2.3 NORTH ELEVATION- REAR
- A2.4 EAST ELEVATION- ALLEY SIDE
- A3.1 SECTION 1

COVER SHEET

A 0.0

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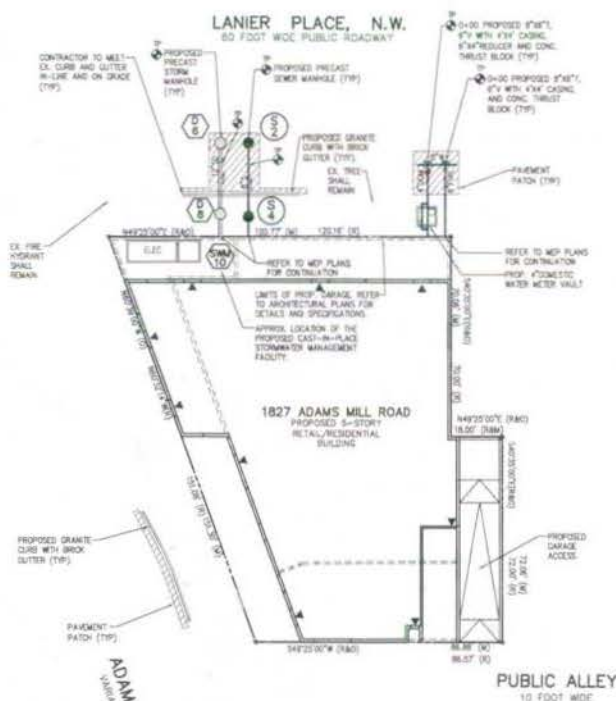
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CALVERT STREET, N.W.
VARIABLE WIDTH PUBLIC ROADWAY

ADAMS MILL ROAD, N.W.
APPROXIMATELY 1/2 MILE SOUTH OF

LANIER PLACE, N.W.
60 FOOT WIDE PUBLIC ROADWAY



ADAMS MILL ROAD, N.W.
APPROXIMATE WIDTH PUBLIC ROADWAY

PROPOSED SANITARY SEWER

PROPOSED WATER LINE

TEST PIT

EXISTING CONTOUR LINE

PROPOSED CONTOUR LINE

BUILDING ENTRANCE

PROPOSED SPOT ELEVATION

PAVEMENT RESTORATION

TEST PIT NOTE:
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, ELEVATIONS, AND SIZES OF EX. UTILITIES BY DIGGING TEST PITS BY HAND AT ALL POINTS OF CONNECTION AND AT CROSSINGS. RESULTS FROM THESE TEST PITS SHALL BE SUBMITTED TO THE ARCHITECT FIVE (5) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION AND/OR ORDERING MATERIALS.



FOR LOCATION OF UTILITIES CALL
1-414-486-2377 OR LOG ON TO
www.414.org/311 IN ADVANCE OF ANY
WORK IN THIS VICINITY"

1. THE BUILDING INFORMATION (UTILITY CONNECTIONS, ETC.) SHOWN
ON THIS PLAN WAS TAKEN FROM PLANS/SKETCHES PREPARED BY

FOR ARCHITECTS	12/21/2013
ARCHITECT	DATE
DRAWN (ENGINEER)	
WED	2013

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT IMPROVED ARCHITECTURAL / MEP PLANS AND COORDINATE THE SAME WITH THE SITE PLAN PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.

THE CONTRACTOR IS TO VERIFY THAT THE INDICATION OF ANY UTILITY IN CONFLICT WITH THE CONSTRUCTION HAS BEEN IDENTIFIED AND THAT THE UTILITY IS:

1. THE CONTRACTOR HAS ANY QUESTIONS AS TO THE NATURE, METHOD OR DETAIL OF THE PERFORMANCE OF HIS WORK, THE CONTRACT DOCUMENTS OR SPECIAL CONDITIONS, HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY BY TELEPHONE, FAX, MAIL, OR PERSONALLY BY THE CONTRACTOR'S DESIGNATED REPRESENTATIVE.

2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR WARNING LOCATIONS OF EXISTING UTILITIES AT 1-800-323-7777. HE MUSTS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

3. INFORMATION CONCERNING THE LOCATION OF UTILITIES WAS OBTAINED FROM PLANS AND FIELD SURVEY OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATIONS AND DEPTHS OF THE UTILITIES BY DRIVING BOLT OR STAKE MARKS AT SPECIFIC LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES ARE LISTED HEREON. LOCATIONS ARE LISTED HEREON ON THIS PLAN ON AT LEAST 12 INCH OF THE OTHER SIDE OF THE SPECIFIED UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OTHER UNLISTED UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.

4. IF THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY PARTY (MAYBE THE OWNER) AND/OR ANY AGENCY OF UTILITIES FOUND BY ANY CONTRACTOR ORKING IN OR ABOUT THE SITE.

5. DRIVING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT POSSIBLE DAMAGE.

6. THE CONTRACTOR SHALL MAKE FIELD READING TO UTILITIES, WHEN NECESSARY, TO DETERMINE THE CONTRACTOR'S RESPONSIBILITY TO THE UTILITY.

7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER OF THE UTILITY TO BE ADJUSTED PRIOR TO COMMENCING WORK.

8. ALL EXISTING UTILITIES AND STRUCTURES NOT SHOWN TO BE REMOVED ARE TO REMAIN AND BE PROTECTED.

9. REPAIRS TO UTILITIES OR PROPERTY DAMAGED AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE OR METHOD OF OPERATION MUST BE MADE AT THE CONTRACTOR'S EXPENSE.

1. IF K&A CAPITAL IS NOT PROVIDING SURVEY/TEST SERVICE, THE CONTRACTOR TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THIS PROJECT. IN ADDITION, THE CONTRACTOR IS TO:
a. COMPUTE THE LAZY/LAY OF THE ENTIRE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE VARIOUS PLANS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENTLY APPROVED ARCHITECTURAL, A/E/P PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE FOLLOWING UTILITY COMPANIES SERVING THE DISTRICT:
PUEBLO, VERMONT, WASHINGTON GAS, DISTRICT CABLE, VERISON.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY (DCWAHA) FOR TAPPING FEES AND DETERMINING THE EXTENT OF WORK (FOR WATER CONNECTION) TO BE ACCOMPLISHED BY DONATOR.
5. CONTRACTOR TO COORDINATE WITH THE OFFICE OF THE DC SURVEYOR TO OBTAIN A SURVEY LICENSE BY THAT OFFICE TO PREPARE A WATERSHED SURVEY AS REQUIRED BY THE DC CODE IN ADVANCE OF ANY PLANNING OR CONSTRUCTION OF THE PROJECT.
6. NOTIFY DONATOR ONE WEEK PRIOR TO START OF CONSTRUCTION. UTILITY INSPECTION SECTION AT 202-787-4298, WATER SERVICES 202-692-3460 OR DRAIN AND SEWER SERVICES 202-264-3624 OR 2629.
7. DEVELOPERS, CONTRACTORS AND PRINCIPALS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DONATOR INSPECTORS FOR REVIEW AND APPROVAL. UPON COMPLETION OF NEW UTILITIES IN PUBLIC SPACE, APPLICANT MUST SUBMIT THESE AS-BUILT DETAILS TO THE DISTRICT OF COLUMBIA, ENGINEERING, ELEVATION, ILLUSTRATION OF ANY DONOR-OWNED UTILITIES AND PERTINENT INFORMATION.
8. ONCE THE DONATOR INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DISTRICTS AND PENNSYLVANIA DISTRICTS OF COLUMBIA WATER AND SEWER SERVICE SECTION AT 2000 OVERLOOK AVE., E.W. 13TH FLOOR.
9. ALL NEW WORK MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF PUBLIC WORKS DISCIPLINE, AND THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY (DCWAHA).
10. CONTRACTOR SHALL CONTRACT DONOR TO CLEAN ALL SURROUNDING PUBLIC SPACE DRAIN BULBS AND

1. ALL ROADWAY WORKS WILL BE PERFORMED IN ACCORDANCE WITH DGS STANDARDS AND SPECIFICATIONS.
2. ALL EXISTING UTILITIES WILL BE ADJUSTED TO GRADE AS NECESSARY BY THE CONTRACTOR.
3. STABLE SUBGRADE IS DEFINED AS THAT SOIL, UNDISTURBED EARTH CAPABLE OF SUPPORTING STREET LOADINGS WITHOUT DAMAGING SETTLEMENT AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
4. WHERE UNSTABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE MADE STABLE BY COMPACTION OR REPLACEMENT, AS REQUIRED.
5. CONTRACTOR TO PROVIDE ROADWAY UNDERDRAINS PER GEOTECHNICAL DIRECTION IF REQUIRED.



VICINITY MAP
SCALE: 1" = 2000'

1827
ADAMS MILL ROAD N.W.
LOT 853, SQUARE 2580
WASHINGTON, D. C.

SITE AND UTILITY PLAN

VKA CAPITAL
REVISIONS

DATE: DECEMBER, 2012	
DES. SC	DWN. CAD

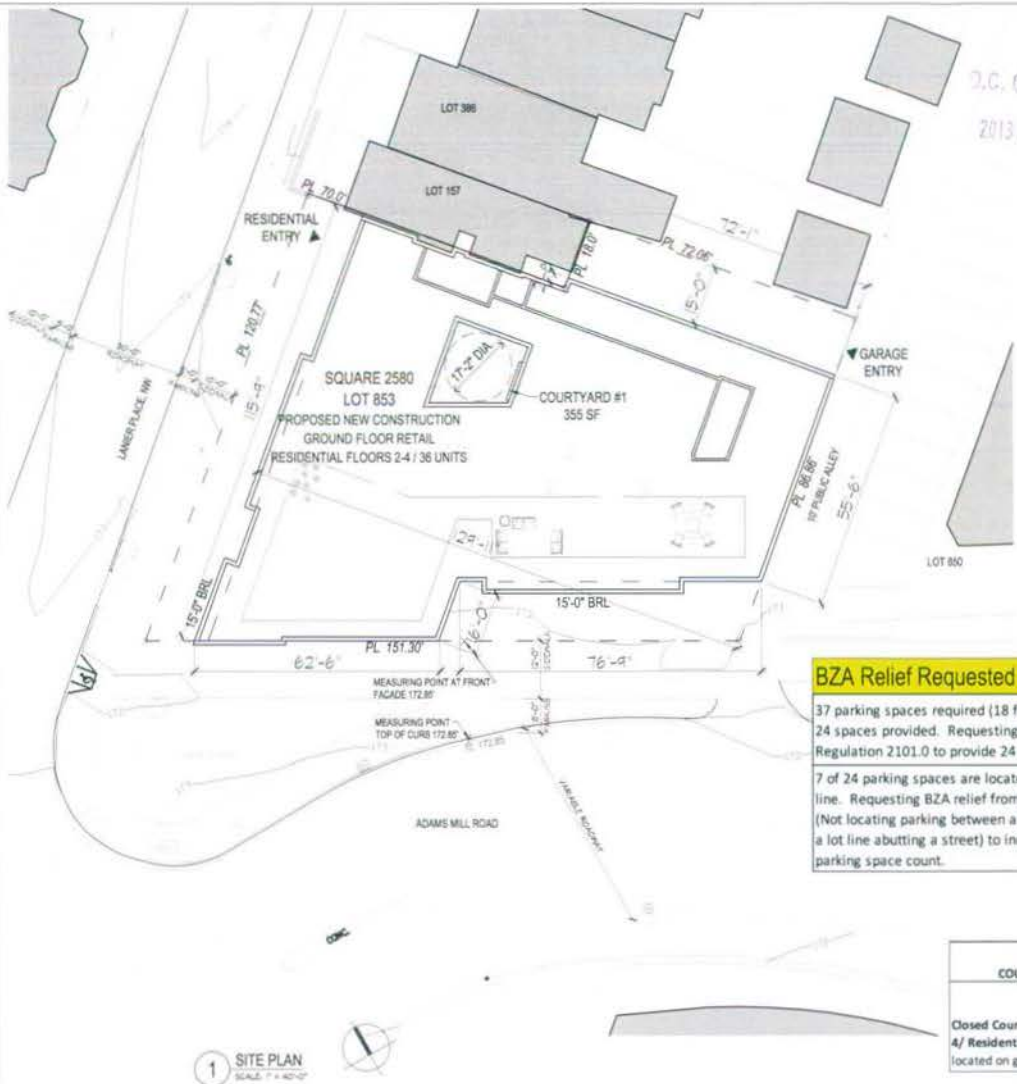
SCALE: 1"=20'

SHEET NO:
C-02

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1827 ADAMS MILL ROAD, NW
Square 2580 Lot 0853



PROJECT DESCRIPTION

New construction, Ground Floor: Retail, Floors 2-3: Residential, 36 Units Total.
Existing site: gas station

ZONING CRITERIA

SPECIFICATIONS	REQUIRED	PROVIDED	NOTES
Zoning District	C-2-A		
Lot Area	14,695		
Lot Occupancy (60% w/out (2)	75%	72%	Calculation Building Footprint 10,590 SF/Lot Area 14,695 SF
Total Permitted FAR w/ (2) (2.5 w/out (2)	3	2.88	
FAR	44,085	42,352	
Height	50'-0"	50'-0"	
Stories	No Limit	4	
Side Yard Setback	None required, if provided, 2"/ft per bldg height, but not less than 6'-0".	None	
Rear Yard Setback	15'-0"	15'-0"	
Penthouse Height	18'-6"	10'-0"	
Parking (Residential Requirement)	1 space per 2 units = 18	18	
Parking (Retail Requirement)	First 3,000 SF- none, then 1 space for each 300 of gross floor area = 19	6	Calculation 8,692 SF-3,000 SF= 5,692 SF/300= 18.9
Parking Spaces Required Total	37	17	BZA Relief Needed
Parking space size			
Regular size	9'-0" x 19'-0"	23 (Including Spaces Beyond BRL) 16 (Not Including Spaces Beyond BRL)	
Van size	11'-0" x 19'-0"	1	
One-way driveway width	Minimum 12'-0"	12'-0"	
Two-way driveway width	Minimum 14'-0"	14'-0"	
Loading Berth (Retail Requirement)	1 @ 30' deep	1 @ 30' deep	Minimum 12'-0" wide, 14'-0" vertical clearance.
Loading Platform (Retail Requirement)	1 @ 100 SF	1 @ 100 SF	10'-0" vertical clearance.
Loading Space (Retail Requirement)	None required	None	
Loading Berth, Platform, Space (Residential Requirement)	None required; less than 50 units.	None	
Bicycle Parking Spaces (Retail Requirement)	5% of Parking Spaces = 1 (5% x 19 = .95)	1	Space dimensions: 2'-0" x 6'-0", aisle: 5'-0" wide.
Bicycle Parking Spaces (Residential Requirement)	1 per 3 units = 12 (36 units/3)	12	
Bicycle Parking Spaces Required TOTAL	13	13	

COURTYARDS	MIN. WIDTH REQUIREMENT	MIN. WIDTH CALCULATION	MIN. AREA REQUIREMENT	MIN. AREA CALC.	AREA PROVIDED
Closed Courtyard 1 Floors 2-4/ Residential Use (Not located on ground floor)	Width of court shall be minimum of 4"/foot of height measured from the lowest level of the court; width shall not be less than 15'-0".	(37'-0" x 4")/12 = 12'-3" min. width. (13'-0" taken out of 50'-0" total building height for ground floor retail).	Minimum area shall be at least twice the square width of the court based upon the height, but not less than 350 SF.	(12'-3") ₂ x 2 = 305 SF	355 SF

1827 ADAMS MILL ROAD, NW

SITE PLAN WITH ZONING CRITERIA A 0.1

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1 RENDERED SITE PLAN
SCALE: N.T.S.

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
Washington, DC 20009

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RENDERED SITE PLAN

A 0.2

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1 AERIAL
SCALE: 1" = 40'-0"

1827 ADAMS MILL ROAD, NW

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SITE AERIAL | A 0.3
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1 CONTEXT PHOTO ADAMS MILL ROAD
SCALE: NTS



2 CONTEXT PHOTO ADAMS MILL ROAD
SCALE: NTS



3 CONTEXT PHOTO INTERSECTION OF ADAMS MILL ROAD & LANIER PLACE
SCALE: NTS



4 CONTEXT PHOTO LANIER PLACE
SCALE: NTS

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
Washington, DC 20009



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Pereous 1827 Adams Mill Investments, LLC
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SITE PHOTOS

A 0.4

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1 CONTEXT PHOTO ADJACENT BUILDING ON LANIER
SCALE: N.T.S.



2 CONTEXT PHOTO ADAMS MILL ROAD SOUTH SIDE
SCALE: N.T.S.



3 CONTEXT PHOTO ADAMS MILL ROAD LOOKING WEST
SCALE: N.T.S.



4 CONTEXT PHOTO ADAMS MILL ROAD LOOKING WEST
SCALE: N.T.S.

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
Washington, DC 20009

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CONTEXT PHOTOS

A 0.5

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1827 Adams Mill Road NW
Washington, DC 20009

A 0.6

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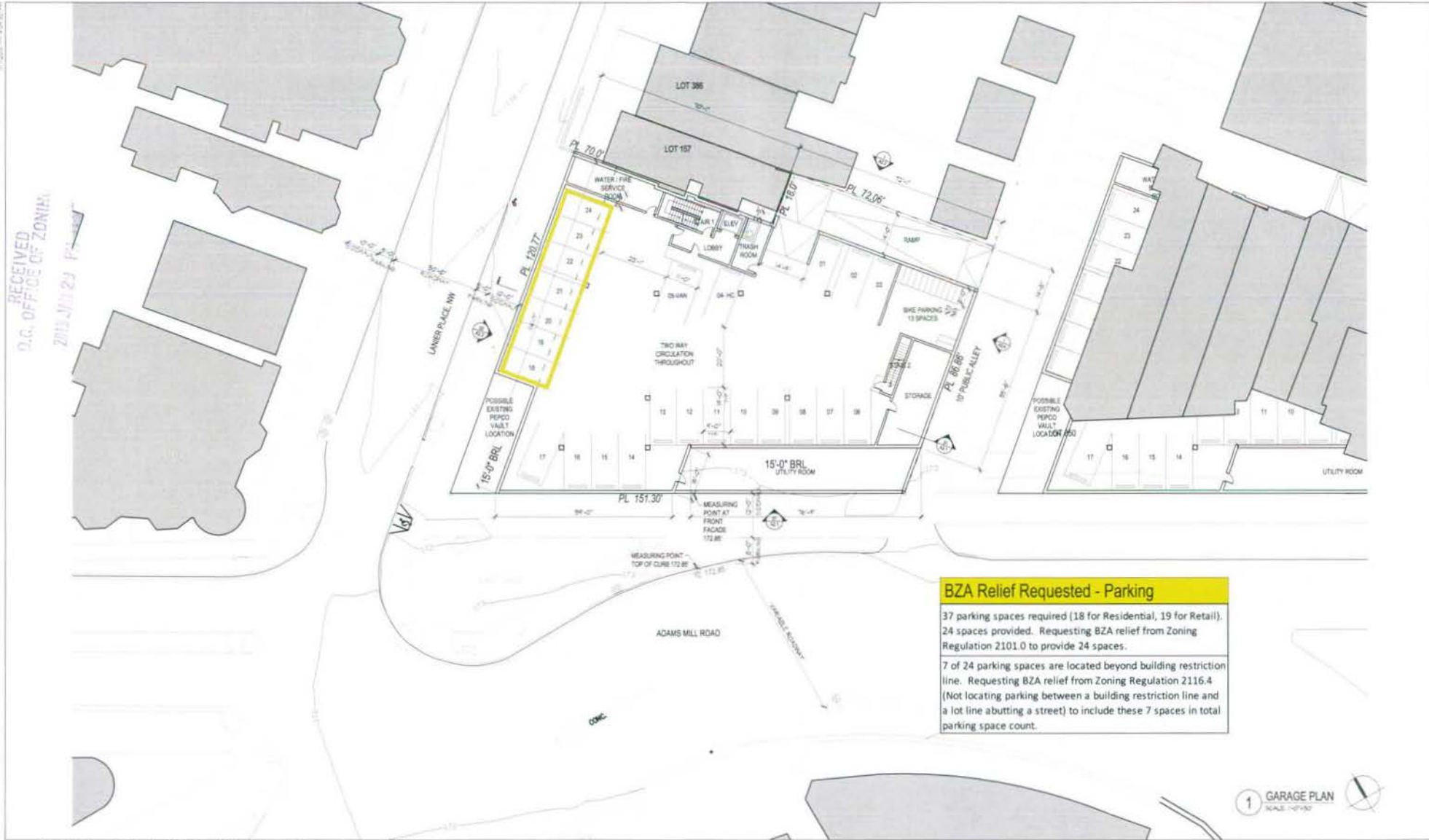


Perseus 1527 Adams Mill Investments, LLC
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C:\Users\j2022\OneDrive\Documents\1827 Adams Mill Road\1827 Adams Mill Road\1827 Adams Mill Road.dwg
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BZA Relief Requested - Parking

37 parking spaces required (18 for Residential, 19 for Retail).
24 spaces provided. Requesting BZA relief from Zoning Regulation 2101.0 to provide 24 spaces.

7 of 24 parking spaces are located beyond building restriction line. Requesting BZA relief from Zoning Regulation 2116.4 (Not locating parking between a building restriction line and a lot line abutting a street) to include these 7 spaces in total parking space count.

1 GARAGE PLAN
SCALE: 1/8"=1'-0"

1827 ADAMS MILL ROAD, NW

GARAGE PLAN WITH SITE CONTEXT A0.7

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Washington, DC 20009

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1827 ADAMS MILL ROAD, NW

GROUND FLOOR PLAN WITH SITE CONTEXT

A0.8

1827 Adams Mill Road NW
Washington, DC 20009

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1827 ADAMS MILL ROAD, NW

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Washington, DC 20006
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1 ROOF PLAN
SCALE: 1/8"=1'-0"



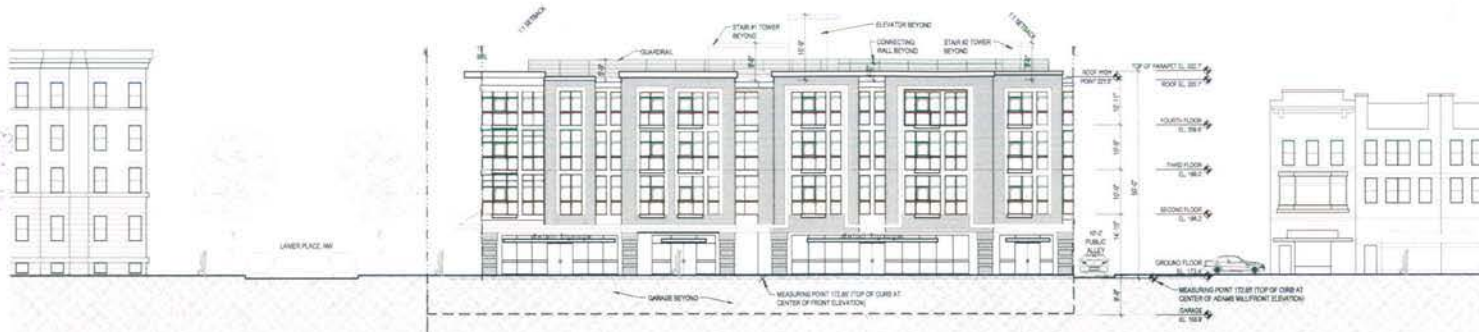
ROOF PLAN WITH SITE CONTEXT

A0.9

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1 SOUTH ELEVATION ADAMS MILL ROAD
SCALE: 1" = 30"



2 WEST ELEVATION LANIER PLACE
SCALE: 1" = 30"



1827 ADAMS MILL ROAD, NW

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ELEVATIONS | A0.10
BZA SUBMISSION | Date: 01/22/13



1 RENDERED PERSPECTIVE LOOKING EAST ON ADAMS MILL ROAD
SCALE: NTS

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
Washington, DC 20009



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RENDERED PERSPECTIVE

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LANIER PLACE, NW

POSSIBLE
EXISTING
PEPCO
VAULT
LOCATION

15'-0" BRL

PL 70.0'

LOT 157

WATER / FIRE
SERVICE
ROOM

STAIR 1

ELEV

LOBBY

TRASH ROOM

PL 72.06'

RAMP

BIKE PARKING
13 SPACES

STAIR 2

STORAGE

PL 86.86'
10' PUBLIC ALLEY

POSSIBLE
EXISTING
PEPCO
VAULT
LOCATION 86

15'-0" BRL
UTILITY ROOM

PL 151.30'

MEASURING POINT AT
FRONT
FACADE
172.85'

MEASURING POINT
TOP OF CURB 172.85'

1 GARAGE PLAN
SCALE: 1/8" = 1'-0"

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
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GARAGE PLAN

A1.0

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LANIER PLACE, NW

RESIDENTIAL ENTRY

RESIDENTIAL LOBBY

LOT 157

STAIR 1

ELEV

TRASH

SERVICE CORRIDOR

LOADING PLATFORM
102 SF

RAMP

GARAGE ENTRY

RETAIL TENANT TBD
8,675 GROSS SF

(GROSS SF- Measured from the exterior face on the Adams Mill / Lanier facades, and to the inside face of residential lobby, service corridor, stair walls.)

LOADING BERTH

STAIR 2

PL 86.86'
10' PUBLIC ALLEY

LOT 85

15'-0" BRL

15'-0" BRL

PL 151.30'

MEASURING POINT 172.85'

MEASURING POINT
TOP OF CURB 173.85'

1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

1827 ADAMS MILL ROAD, NW

GROUND FLOOR PLAN | A1.1

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Washington, DC 20009

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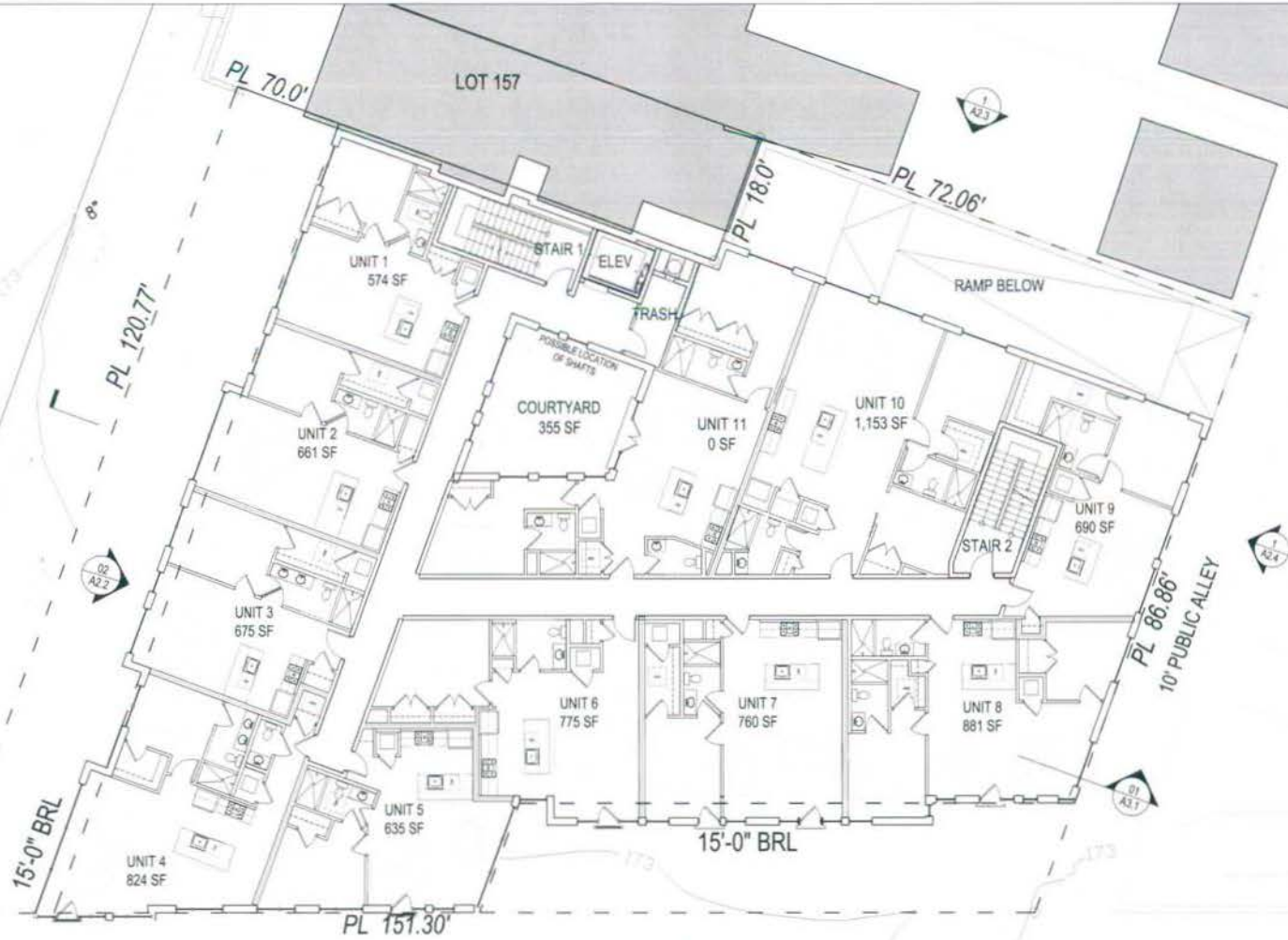
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LANIER PLACE, NW



LOT 8E

1 TYPICAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

1827 ADAMS MILL ROAD, NW

TYPICAL FLOOR PLAN | A1.2

1827 Adams Mill Road NW
Washington, DC 20009

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LANIER PLACE, NW

PL 70.0'

LOT 157

PL 18.0'

PL 72.06'

STAIR TOWER #1

ELEVATOR
PH

WALKWAY TO
ROOF DECK

CONNECTING WALL

WALKWAY TO
ROOF DECK

STAIR TOWER #2

ROOF
DECK

ROOF
DECK

PL 86.86'
10' PUBLIC ALLEY

LOT 86

15'-0" BRL

15'-0" BRL

PL 151.30'

1 ROOF PLAN
SCALE: 1/8" = 1'-0"

1827 ADAMS MILL ROAD, NW

1827 Adams Mill Road NW
Washington, DC 20009



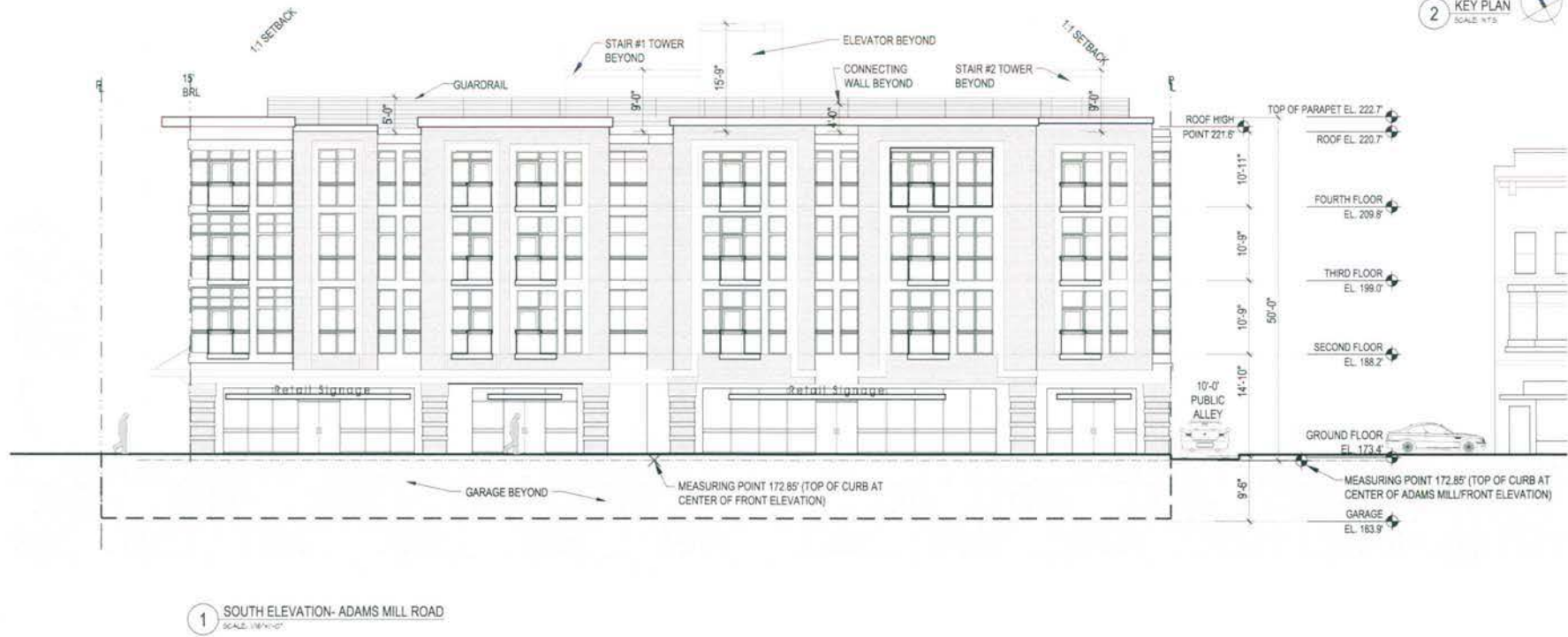
PGN Architects, PLLC
210 7th Street SE - Suite 201
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Pereus 1827 Adams Mill Investments, LLC
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ROOF PLAN A.1.3
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SOUTH ELEVATION

A2.1

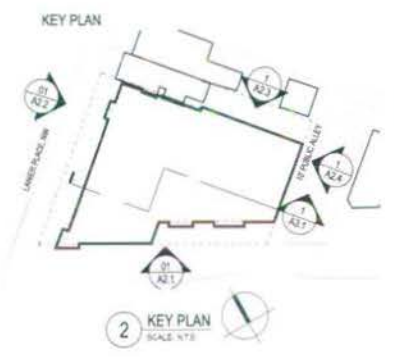
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OUTLINE OF BUILDINGS ACROSS
ADAMS MILL ROAD

ADAMS MILL ROAD

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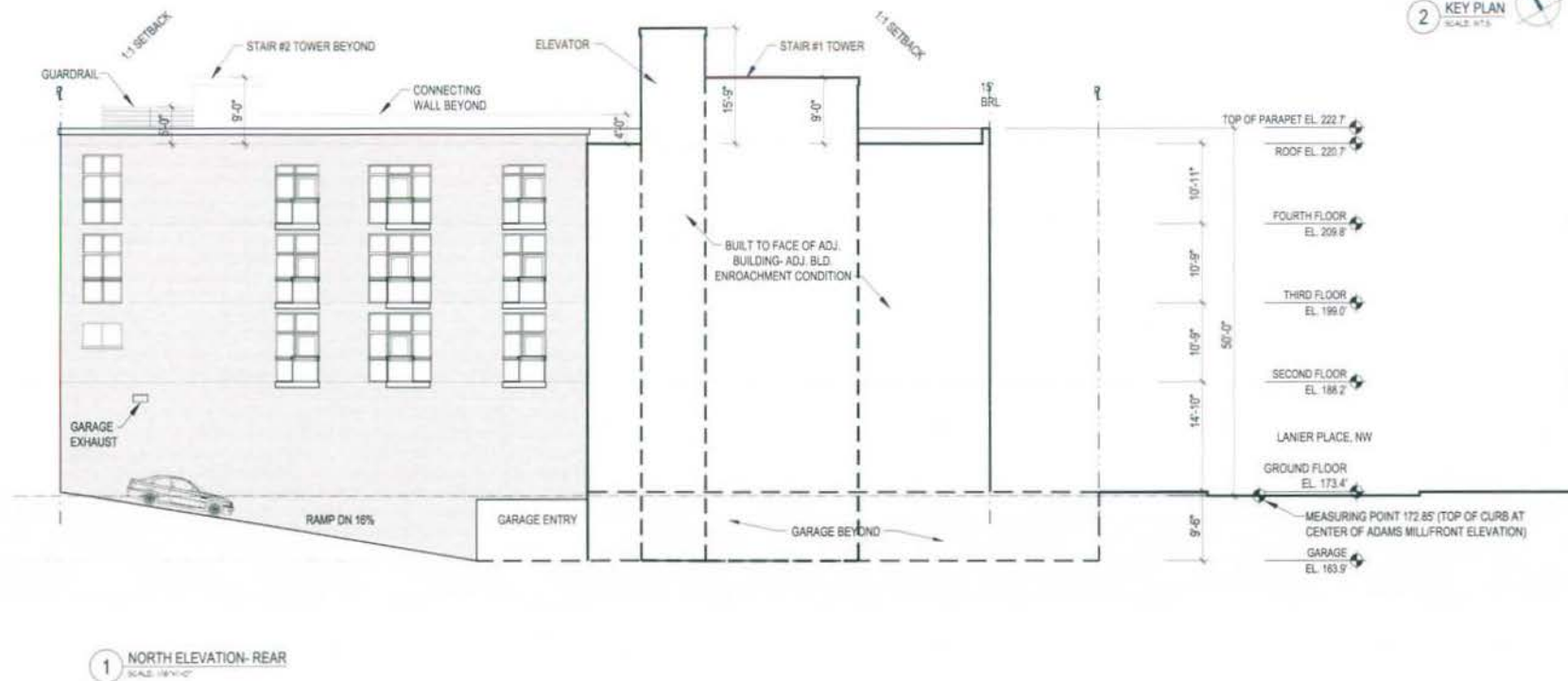


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WEST ELEVATION A2.2
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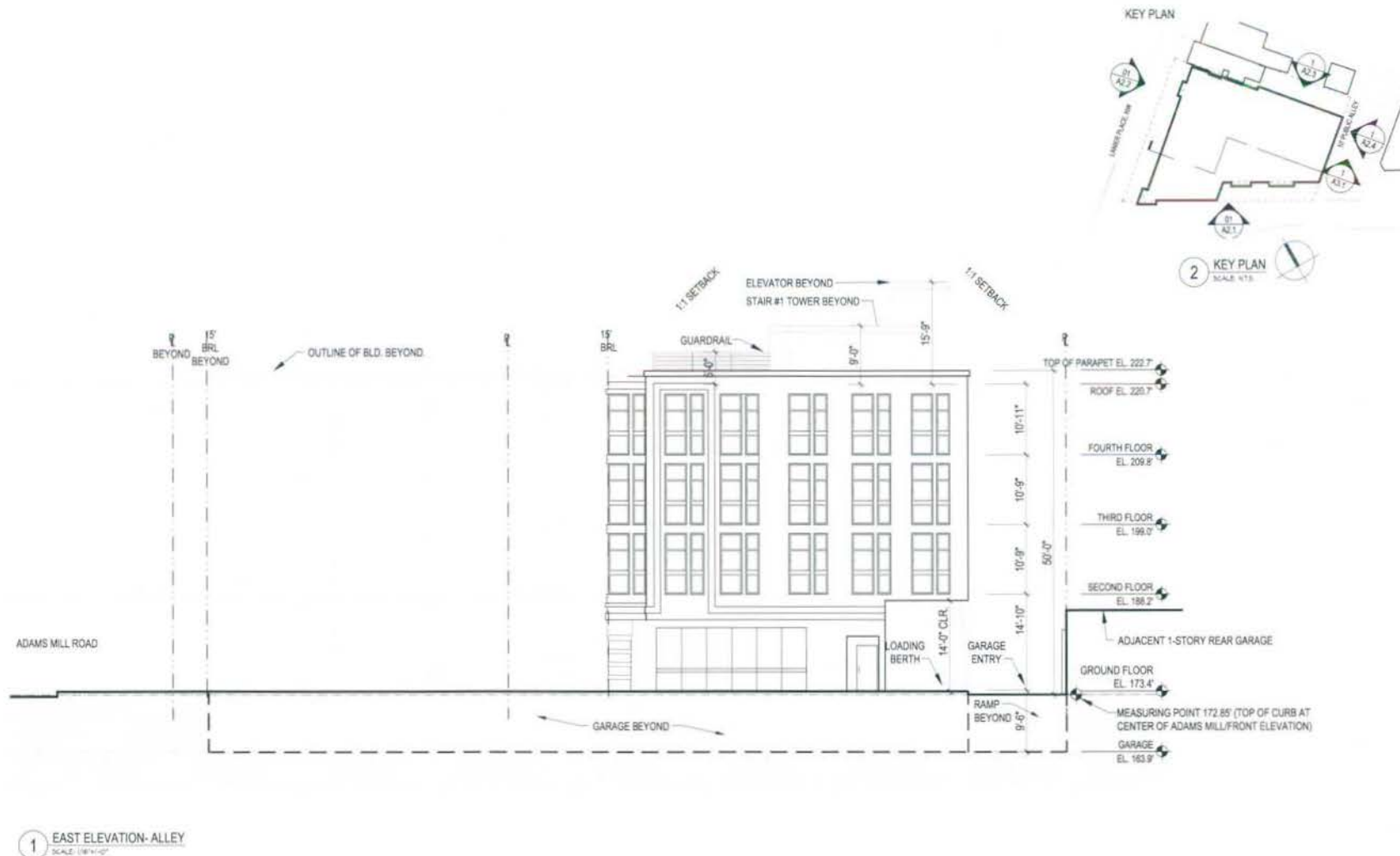
NORTH ELEVATION

A2.3

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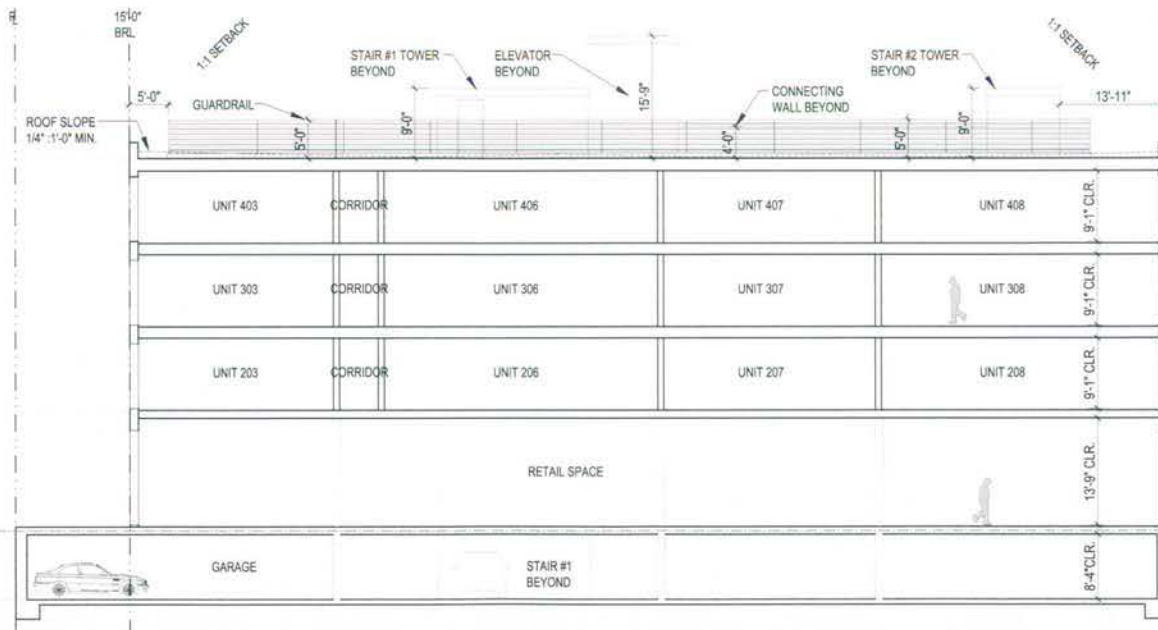
Perseus 1827 Adams Mill Investments, LLC
2009 Pennsylvania Ave NW - Suite 500
Washington, DC 20006
(P) 202-741-1880 (F) 202-741-1889

EAST ELEVATION | A2.4

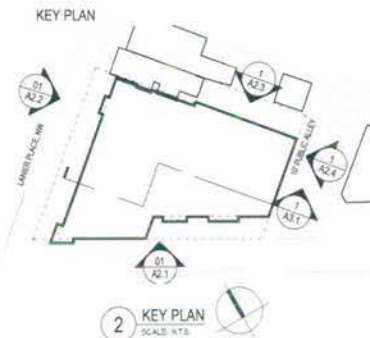
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LANIER PLACE, NW



1 SECTION 1
SCALE: 1/8"=1'-0"



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SECTION A3.1
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