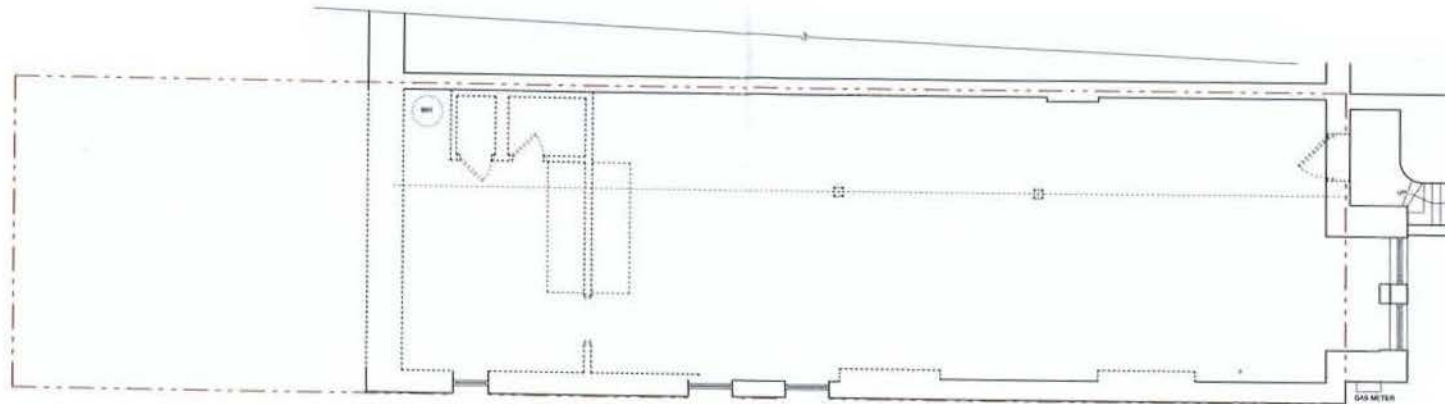


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1
A1
BASEMENT - DEMOLITION PLAN
SCALE: 1/8" = 1'-0"
LEGEND
--- EXIST. WALL TO REMAIN
--- EXIST. WALL TO BE REMOVED
--- DEMOLITION WALL

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 18521
EXHIBIT NO. 11

Design. From the Inside Out.

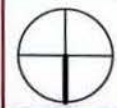
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819 6TH STREET
819 6th Street, NW
Washington, DC 20001

BASEMENT
DEMOLITION PLAN

08/23/12 CONCEPT DESIGN



A1

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Board of Zoning Adjustment
District of Columbia

CASE NO. 18521

EXHIBIT NO. 11

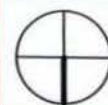
2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317

Design. From the Inside Out.

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1ST FLOOR
DEMOLITION PLAN

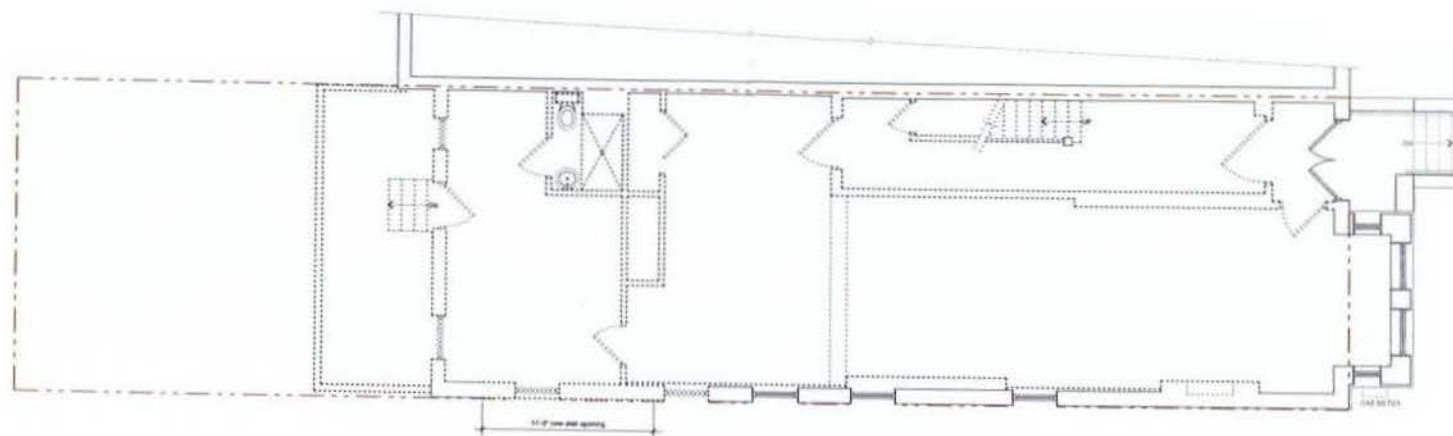
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A2

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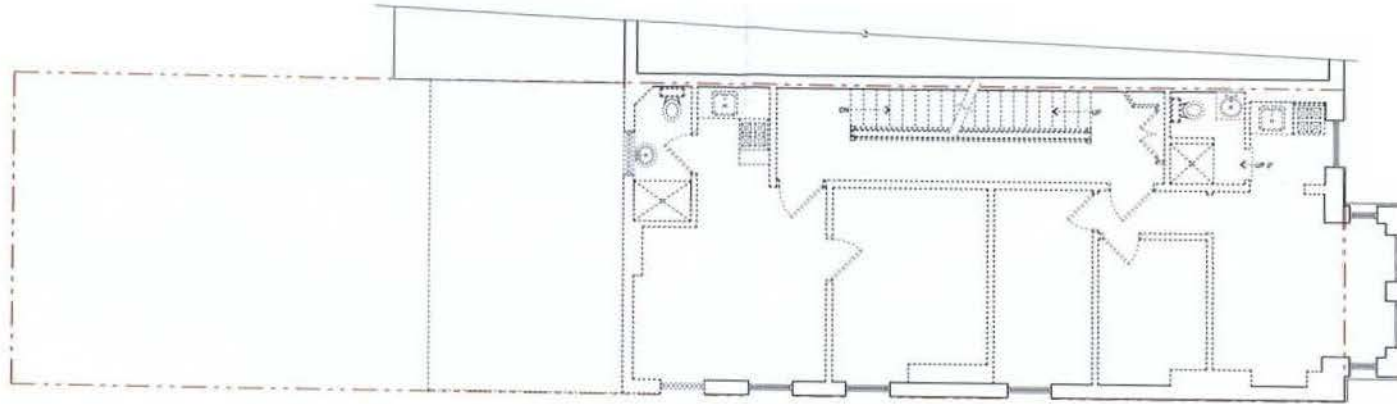


1 FIRST FLOOR - DEMOLITION PLAN
A2 SCALE: 1/8" = 1'-0"

LEGEND

===== EXIST. WALL TO REMAIN
----- EXIST. WALL TO BE REMOVED
===== NEW PARTITION WALL

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1 SECOND FLOOR - DEMOLITION PLAN
A3 SCALE: 1/8" = 1'-0"

LEGEND
--- EXIST. WALL TO REMAIN
- - - - - EXIST. WALL TO BE REMOVED
--- NEW PARTITION WALL

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819 6TH STREET
819 6th Street, NW
Washington, DC 20001

2ND FLOOR
DEMOLITION PLAN

08/23/12 CONCEPT DESIGN

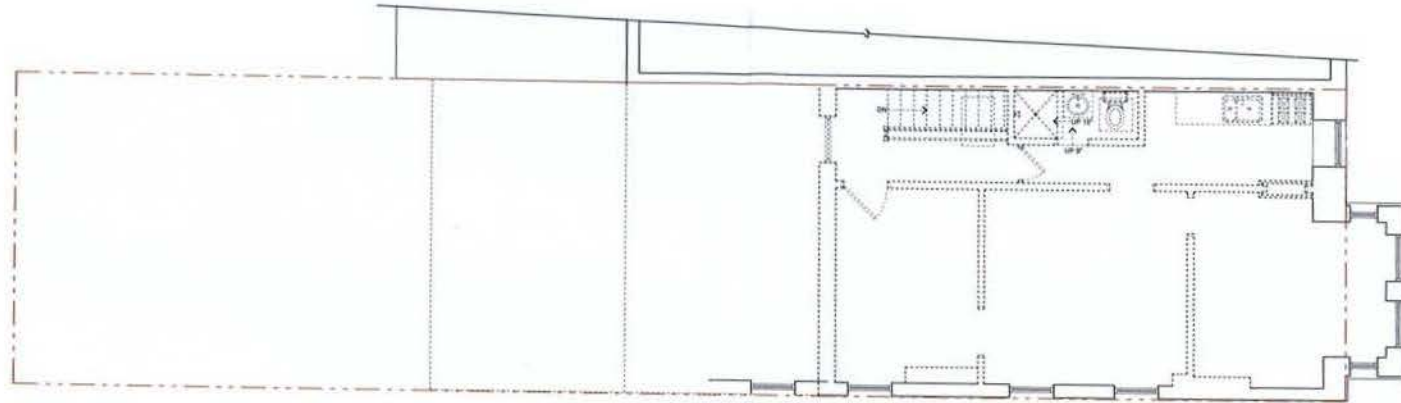


A3

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2013 JAN -2 PM 12:22



1 THIRD FLOOR - DEMOLITION PLAN
A4 SCALE: 1/8" = 1'-0"

LEGEND
——— EXIST. WALL TO REMAIN
- - - - - EXIST. WALL TO BE REMOVED
..... NEW PARTITION WALL

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819 6th Street, NW
Washington, DC 20001

3RD FLOOR
DEMOLITION PLAN

08/23/12 CONCEPT DESIGN

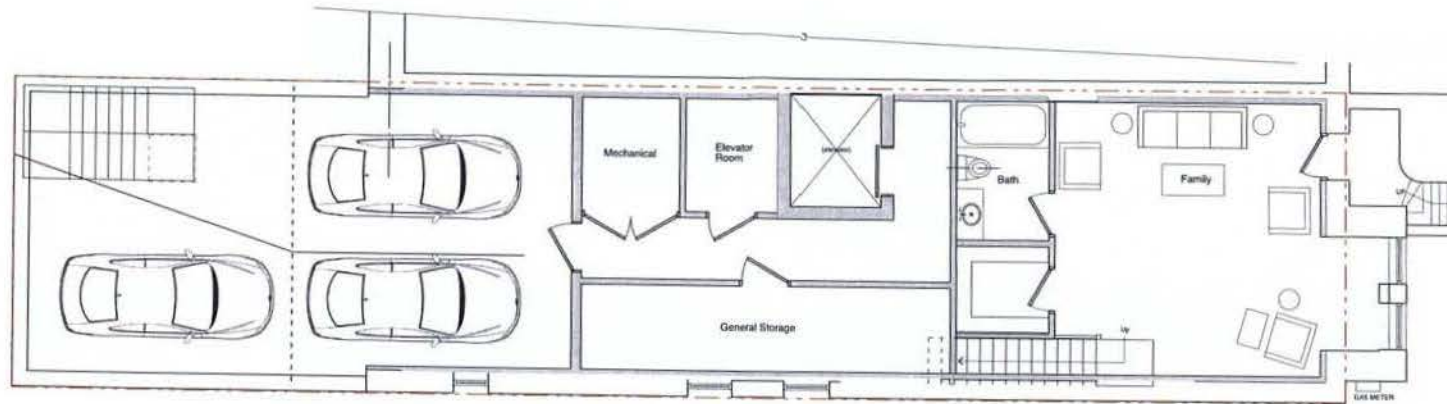


A4

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1
A5
BASEMENT - PARKING / UNIT 1 LOWER LEVEL
SCALE: 1/8" = 1'-0"

LEGEND

— EXIST. WALL TO REMAIN
--- EXIST. WALL TO BE REMOVED
.... NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):

Basement Level = 995 sf
1st Floor = 1,360 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf

Total FAR = 10,400 maximum.

Design, From the Inside Out.

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819 6TH STREET

819 6th Street, NW
Washington, DC 20001

BASEMENT
PROPOSED PLAN

08/23/12 CONCEPT DESIGN



A5

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819 6th Street, NW
Washington, DC 20001

**1ST FLOOR
PROPOSED PLAN**

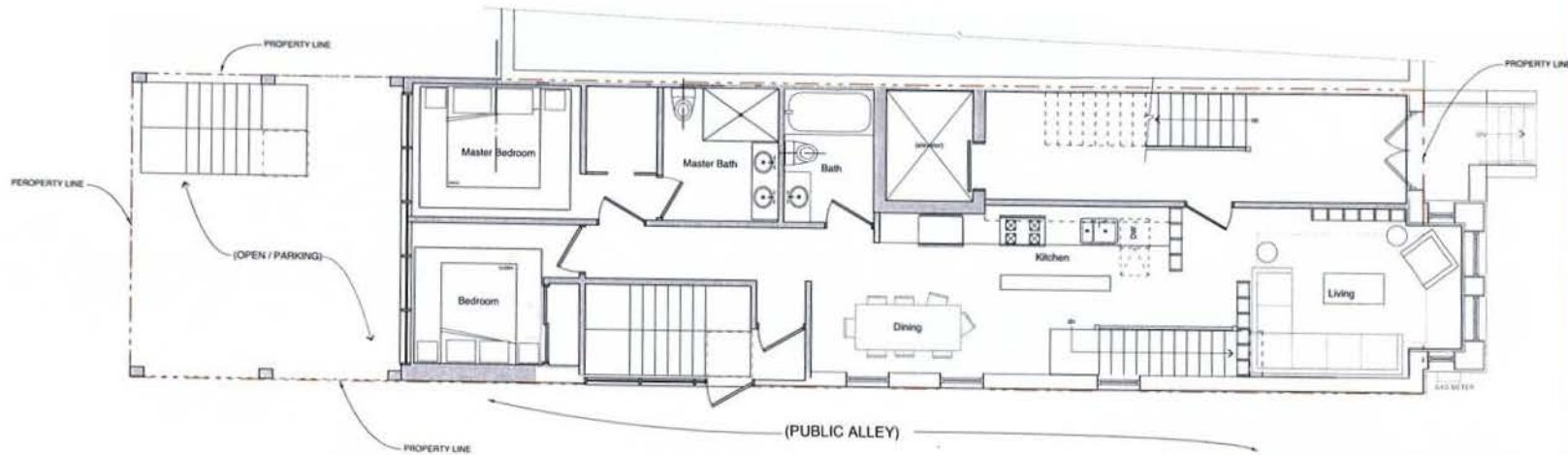
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A6

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Washington,
P: 202.387.3003 | I



1 FIRST FLOOR - UNIT 1 MAIN FLOOR
SCALE: 1/8" = 1'-0"

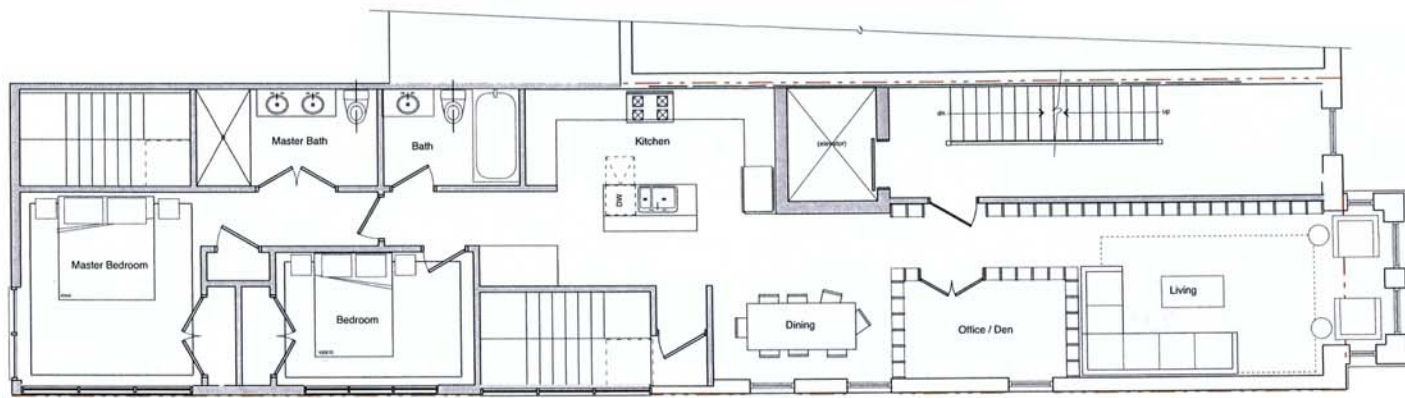
LEGEND
— EXIST. WALL TO REMAIN
--- EXIST. WALL TO BE REMOVED
--- NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):

Basement Level = 995 sf
1st Floor = 1,360 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf

Total FAR = 10,400 maximum.

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1 SECOND FLOOR / UNIT 2
A7 SCALE: 1/8" = 1'-0"

LEGEND
 ——— EXIST. WALL TO REMAIN
 - - - - EXIST. WALL TO BE REMOVED
 ■■■■ NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):
 Basement Level = 995 sf
 1st Floor = 1,360 sf
 2nd Floor = 1,725 sf
 3rd Floor = 1,725 sf
 4th Floor = 1,238 sf
 5th Floor = 1,238 sf
 6th Floor = 1,238 sf
 7th Floor = 1,238 sf
 Total FAR = 10,400 maximum.

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819 6TH STREET
 819 6th Street, NW
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2ND FLOOR
 PROPOSED PLAN

08/23/12 CONCEPT DESIGN



A7

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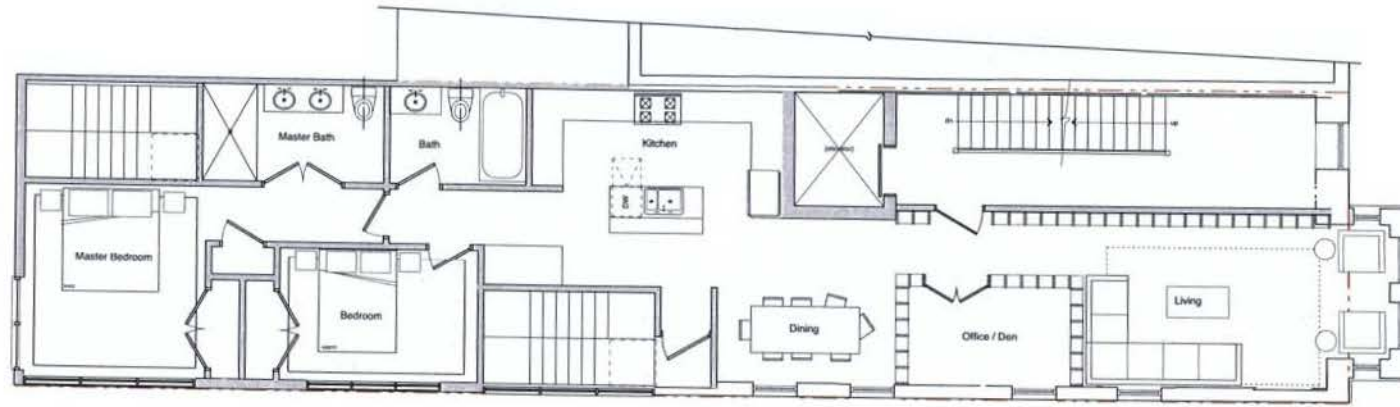
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THIRD FLOOR / UNIT 3
SCALE: 1/8" = 1'-0"

LEGEND

— EXIST. WALL TO REMAIN
--- EXIST. WALL TO BE REMOVED
--- NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):

Basement Level = 995 sf
1st Floor = 1,360 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf

Total FAR = 10,400 maximum.

819 6TH STREET
819 6th Street, NW
Washington, DC 20001

3RD FLOOR
PROPOSED PLAN

08/23/12 CONCEPT DESIGN



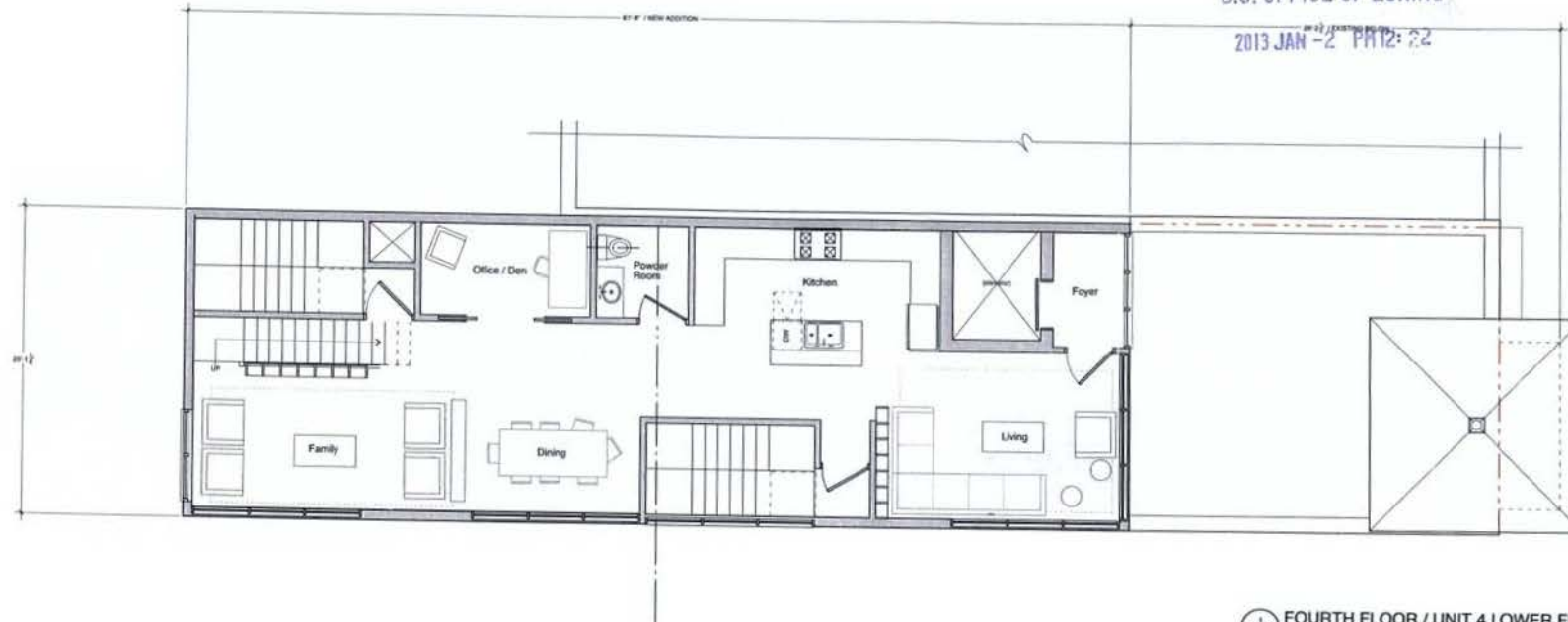
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FOURTH FLOOR / UNIT 4 LOWER FLOOR
SCALE: 1/8" = 1'-0"

LEGEND

--- 6 X 8" WALL TO REMAIN
--- 12 X 12" EXIST. WALL TO BE REMOVED
--- NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):

Basement Level = 995 sf
1st Floor = 1,360 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf

Total FAR = 10,400 maximum.

Design. From the Inside Out.

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819 6TH STREET
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4TH FLOOR
PROPOSED PLAN

08/23/12 CONCEPT DESIGN



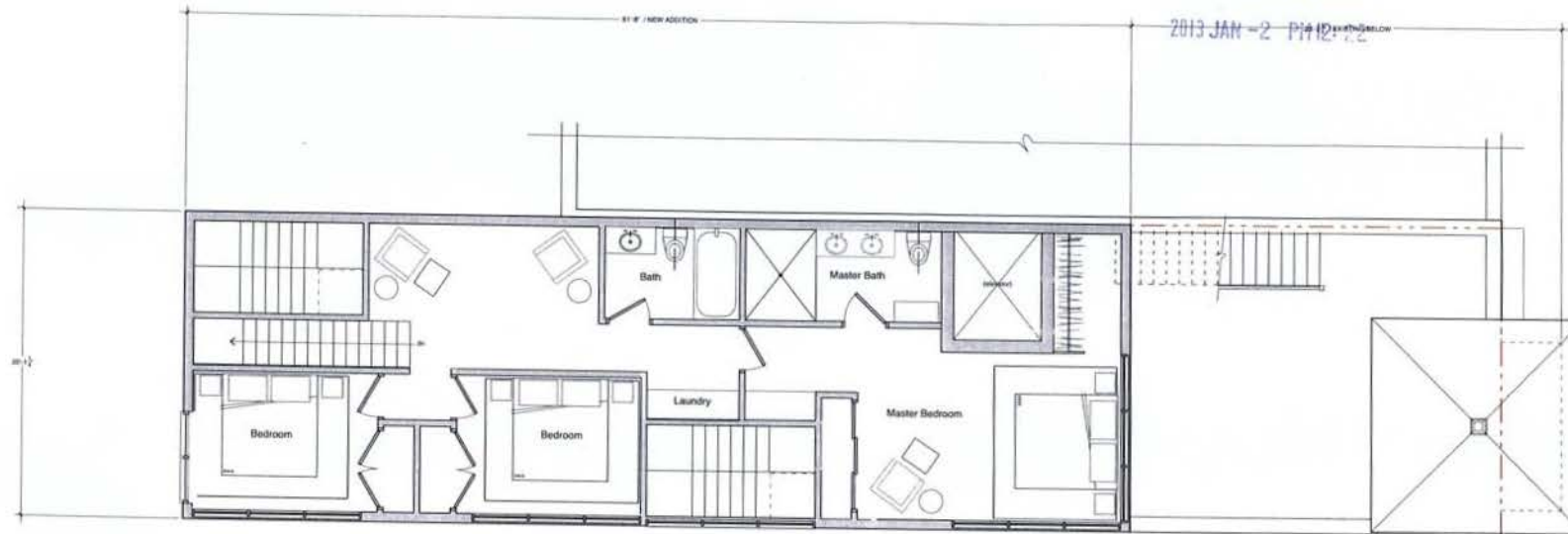
A9

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1
A10 FIFTH FLOOR / UNIT 4 UPPER FLOOR
SCALE: 1/8" = 1'-0"

LEGEND
--- EXIST' WALL TO REMAIN
--- EXIST' WALL TO BE REMOVED
--- NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):

Basement Level = 995 sf
1st Floor = 1,350 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf

Total FAR = 10,400 maximum.

Design. From the Inside Out

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5TH FLOOR
PROPOSED PLAN

08/23/12 CONCEPT DESIGN

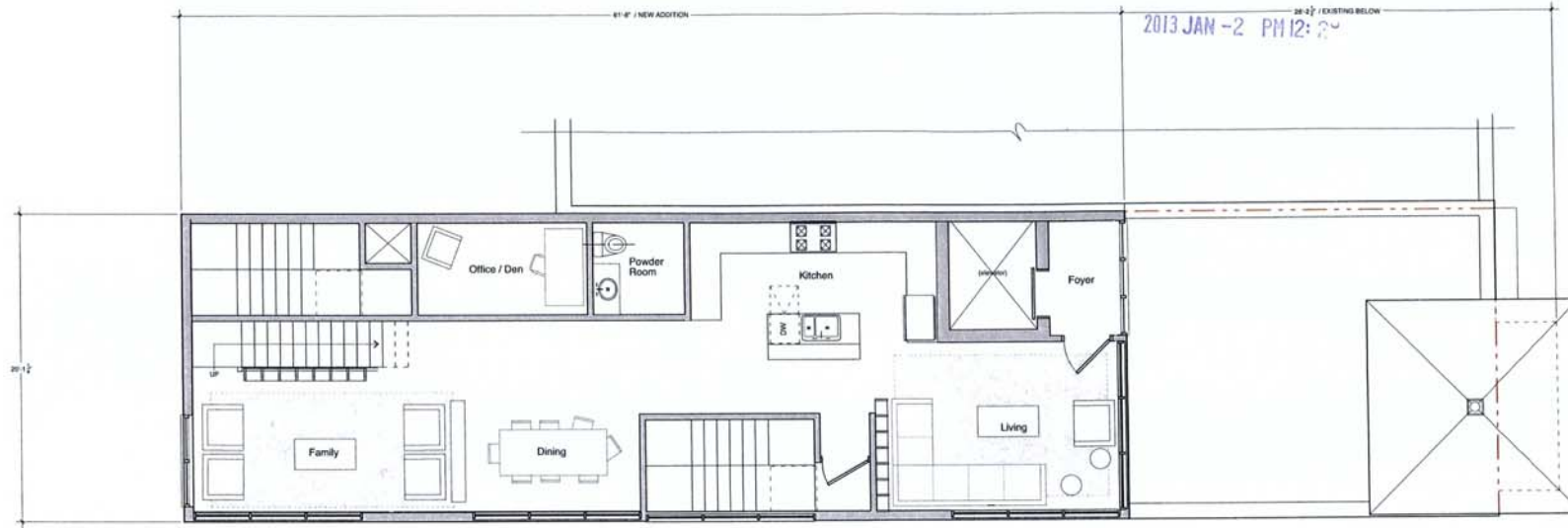
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1 SIXTH FLOOR / UNIT 5 LOWER FLOOR
A11 SCALE: 1/8" = 1'-0"

LEGEND
——— EXIST. WALL TO REMAIN
--- EXIST. WALL TO BE REMOVED
■■■■ NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):
Basement Level = 995 sf
1st Floor = 1,360 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf
Total FAR = 10,400 maximum.

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819 6TH STREET
819 6th Street, NW
Washington, DC 20001

6TH FLOOR
PROPOSED PLAN

08/23/12 CONCEPT DESIGN

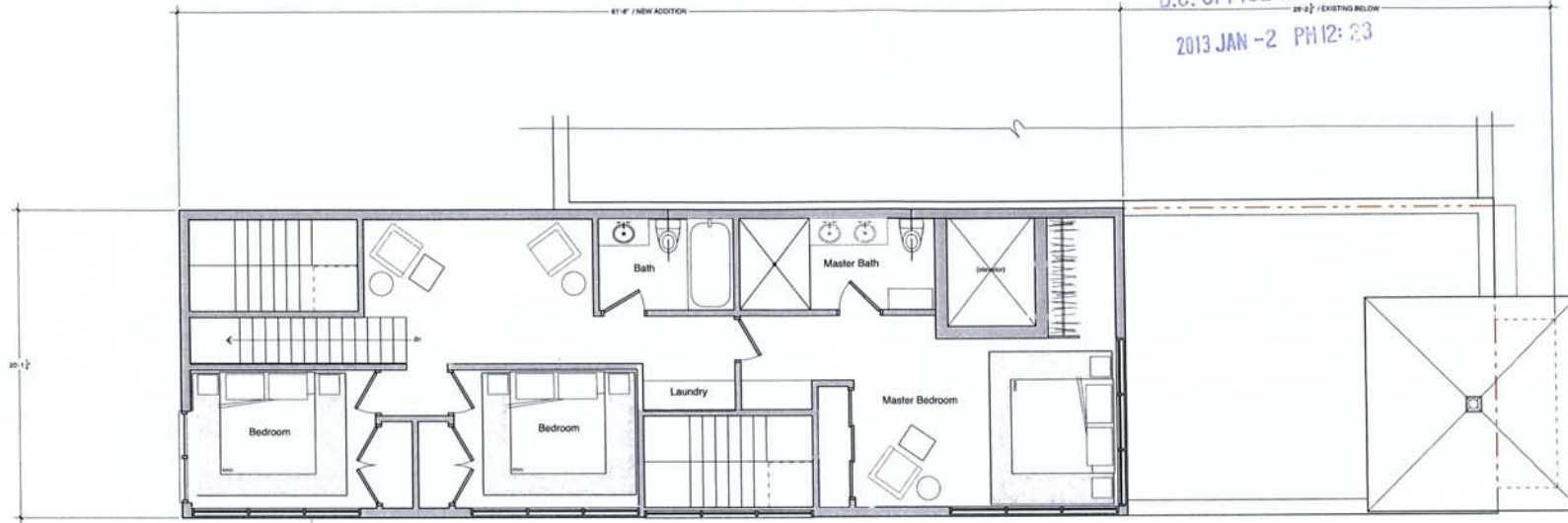


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1
A12
SEVENTH FLOOR / UNIT 5 UPPER FLOOR
SCALE: 1/8" = 1'-0"

LEGEND

EXIST' WALL TO REMAIN
2-1/2" EXIST' WALL TO BE REMOVED
NEW PARTITION WALL

Gross FAR SF (assuming zoning variance):

Basement Level = 995 sf
1st Floor = 1,360 sf
2nd Floor = 1,725 sf
3rd Floor = 1,725 sf
4th Floor = 1,238 sf
5th Floor = 1,238 sf
6th Floor = 1,238 sf
7th Floor = 1,238 sf

Total FAR = 10,400 maximum.

Design. From the Inside Out.

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819 6TH STREET
819 6th Street, NW
Washington, DC 20001

7TH FLOOR
PROPOSED PLAN

08/23/12 CONCEPT DESIGN



A12

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Proposed (4) story addition, set back 25'
Existing building
2013 JAN -2 PM12: 23



View from North East
(not to scale)

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819 6TH STREET
819 6th Street, NW
Washington, DC 20001

PROPOSED VIEW

08/23/12 CONCEPT DESIGN

A13

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Washington, DC 20010
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DEMOLITION KEY

— EXISTING TO REMAIN / RESTORE TO ORIGINAL

- - - - - DEMOLITION

— PROPOSED CONSTRUCTION

① REMOVE EXISTING REAR EXTERIOR WALL ASSEMBLIES.

② EXISTING FLOOR STRUCTURAL ASSEMBLIES TO REMAIN.

③ REMOVE EXISTING DETERIORATED REAR ADDITION - NOT ORIGINAL TO THE STRUCTURE.

④ REMOVE EXISTING BASMENT CONCRETE FLOOR ASSEMBLY.

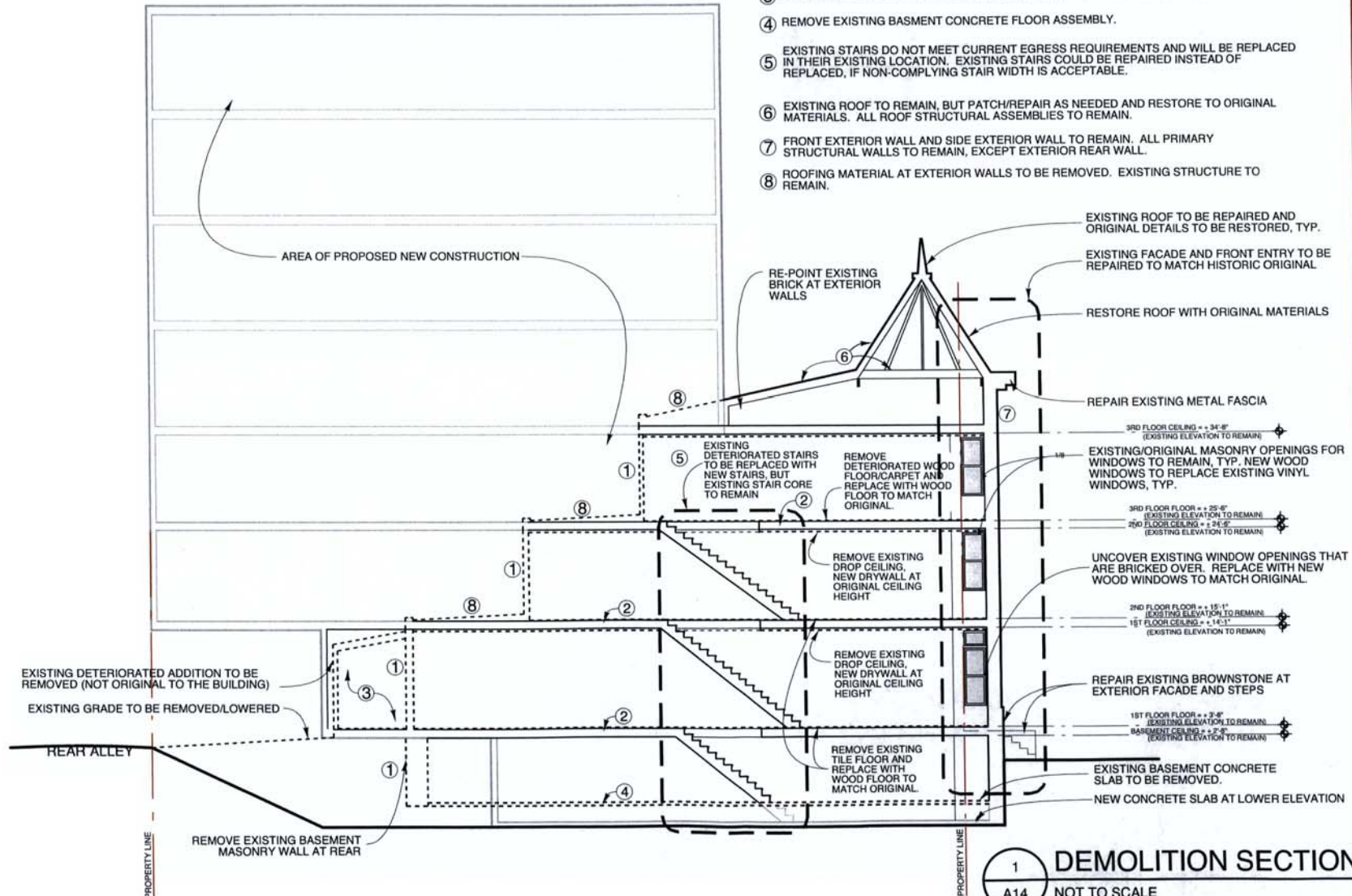
⑤ EXISTING STAIRS DO NOT MEET CURRENT EGRESS REQUIREMENTS AND WILL BE REPLACED IN THEIR EXISTING LOCATION. EXISTING STAIRS COULD BE REPAIRED INSTEAD OF REPLACED, IF NON-COMPLYING STAIR WIDTH IS ACCEPTABLE.

⑥ EXISTING ROOF TO REMAIN, BUT PATCH/REPAIR AS NEEDED AND RESTORE TO ORIGINAL MATERIALS. ALL ROOF STRUCTURAL ASSEMBLIES TO REMAIN.

⑦ FRONT EXTERIOR WALL AND SIDE EXTERIOR WALL TO REMAIN. ALL PRIMARY STRUCTURAL WALLS TO REMAIN, EXCEPT EXTERIOR REAR WALL.

⑧ ROOFING MATERIAL AT EXTERIOR WALLS TO BE REMOVED. EXISTING STRUCTURE TO REMAIN.

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819 6th Street, NW
Washington, DC 20001

DEMOLITION BUILDING SECTION

08/23/12 CONCEPT DESIGN



A14

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DEMOLITION SECTION

NOT TO SCALE

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819 6TH STREET
819 6th Street, NW
Washington, DC 20001

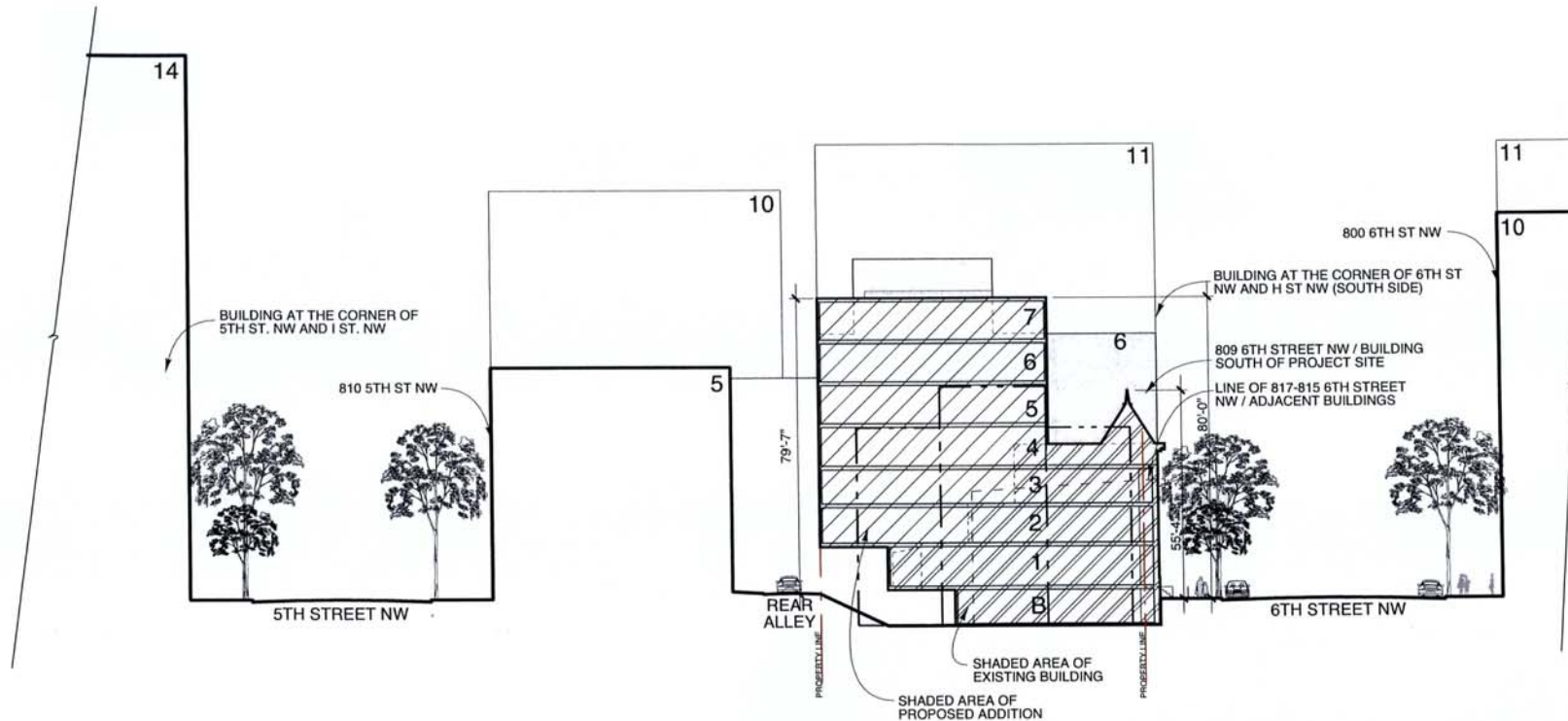
BUILDING SECTION

08/23/12 CONCEPT DESIGN

A15

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1 BUILDING SECTION / CONCEPT DESIGN
A15 NOT TO SCALE

-  EXISTING BUILDING
-  809 6TH STREET NW (SOUTH OF PROJECT SITE)
-  PROPOSED ADDITION
-  508-512 I STREET NW (NORTH OF PROJECT SITE)

Design. From the Inside Out.

Copyright 2012 Studio CrowleyHall, pllc

The drawings and specifications—and the ideas, designs and arrangements represented thereby—are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

819 6TH STREET
819 6th Street, NW
Washington, DC 20001

SITE PLAN

08/23/12 CONCEPT DESIGN



A16

Studio: CrowleyHall, pllc

2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317



1
A16

NEIGHBORHOOD PLAN / BUILDING HEIGHTS

NOT TO SCALE

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., July 16, 2012

Plat for Building Permit of SQUARE 485 LOT 15

Scale: 1 inch = 20 feet Recorded in Book B Page 69

Receipt No. 12-05014

Furnished to: CATHIE HARRISON

I hereby certify that all existing improvements shown hereon, are correct and are correctly platted; that all proposed buildings or construction, or proposed covered porches, are correctly dimensioned and platted and agree with the application; that the foundation plans as shown hereon is correct and accurately to the same scale as the property lines shown on this plat; and that proposed improvements to be erected as shown hereon the size of the premises is not decreased to an area less than is required by the Zoning Regulations and ventilation; and it is further certified and agreed that access to the public alley required by the Zoning Regulations will be reserved in a separate Regulations, and that this area has been correctly drawn and dimensioned and further agreed that the elevation of the accessible parking area with the Department approved curb and alley grade will not result in a rate of driveway at any point on private property in excess of 20% for single-lane or in excess of 12% at any point for other buildings. (The policy of the Department permits a maximum driveway grade of 12% across the public restricted property.)

Date: _____

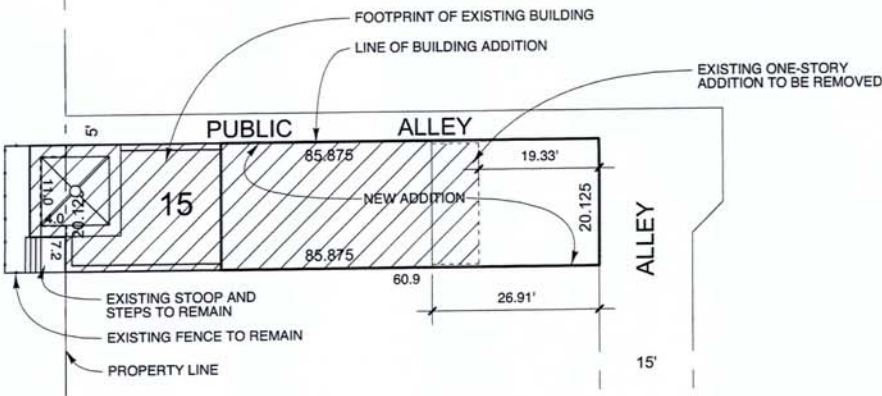
Surveyor, D.C.

By: A.S.

(Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

6th STREET, N.W.



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