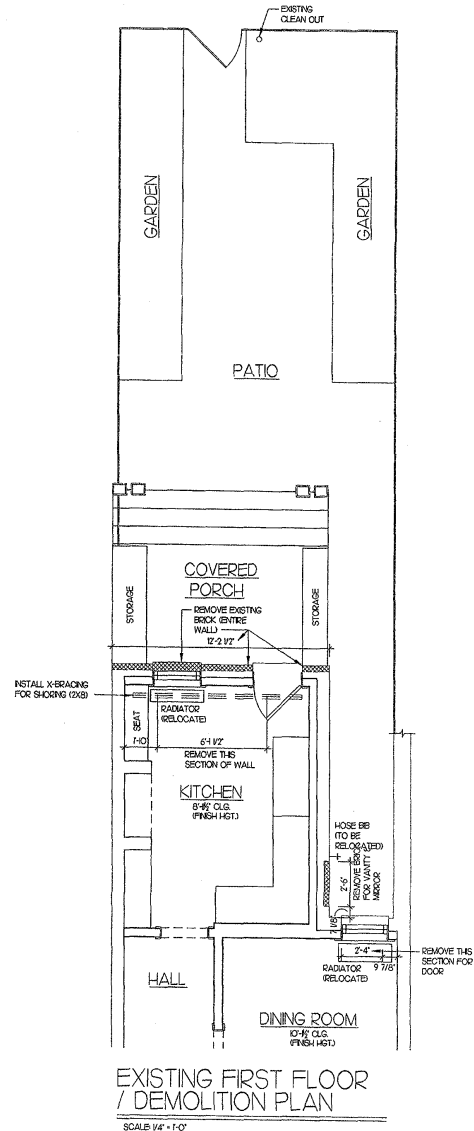




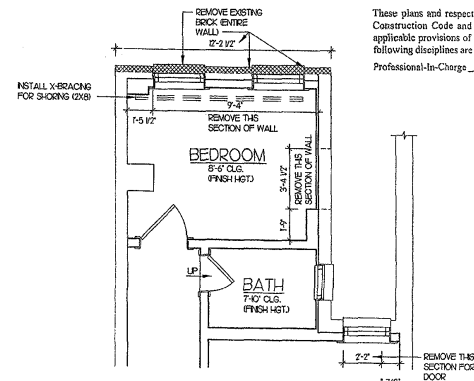
EXISTING FIRST FLOOR / DEMOLITION PLAN

SCALE 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE 1/4" = 1'-0"



EXISTING SECOND FLOOR / DEMOLITION PLAN

SCALE 1/4" = 1'-0"

Bello, Bello & Associates, LLC
Zoning, Land Use & Development Consultants
900 24th St., NE, Suite 6
Washington, DC 20002

THIRD PARTY PLANS REVIEW CERTIFICATION
These plans and respective application have been reviewed for compliance with the Construction Code and to the best of our knowledge and belief, the plans comply with the applicable provisions of the code. Consequently, the respective reviews of the following disciplines are recommended for approval.

Professional-In-Charge

- ☒ Mechanical
☒ Electrical
☒ Structural / Architectural
☒ Plumbing
☐ Fire Protection
☐ Elevator

Date: 9/15/12

Handwritten signature

dgl
25400 Old Hundred Road
Dickinson, Maryland 20842
(301) 831-9776

#	REVISION	DATE
1	MISC. CHANGES	5/27/12
2	3RD PARTY CHANGES	9/22/12
3	ENGINEER'S CHANGES	9/30/12

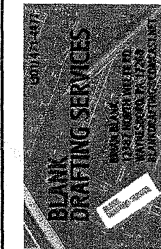
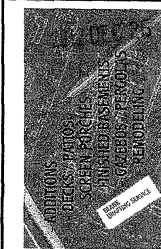
KITCHEN ADDITION

CUSTOMER NAME & ADDRESS

VALERIE BALDWIN
608 CONSTITUTION AVE. NE
WASHINGTON D.C. 20002

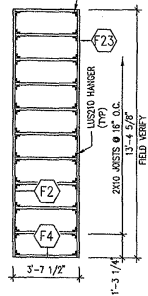
DATE	5-8-12	SHEET	2 OF 6
		PAGE	

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WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF
D.G. LU, INC. AND BLANK DRAFTING SERVICES



1st FLOOR / FOUNDATION FRAMING NOTES

- (F1) (2) L4 X 3 1/2" X 1/4" STEEL ANGLE UNTEL.
- (F2) PROVIDE A P.T. 2X10 LEDGER WITH 1/2" DIA. EPOXY BOLTS AT 32" O.C. TOP AND BOTTOM STAGGERED WITH 6" EMBEDMENT. HANG THE JOISTS FROM THE LEDGER WITH SIMPSON LUS HANGERS.
- (F3) 2X10 FLOOR JOISTS AT 16" O.C.
- (F4) RM JOIST SHALL BE PRESSURE TREATED. ATTACH THE RM JOIST TO THE EXISTING AND NEW WALL WITH 1/2" DIA. EPOXY BOLTS AT 32" O.C. WITH 6" EMBEDMENT. USE SCREEN TUBES WHEN PLACED IN HOLLOW CELLS.
- (F5) FOOTING SHALL BE OFFSET WHEN PLACED ON THE PROPERTY LINE.
- (F6) NEW 8" CMU WALL WITH #4 BARS AT 32" O.C. IN FILLED CELLS BELOW THE NEW CONCRETE SLAB. DO NOT EACH REBAR INTO THE NEW FOOTING.
- (F7) NEW 16"x10" FOOTING WITH (3) #4 BARS.
- (F8) BOTTOM OF NEW FOOTING SHALL MATCH EXISTING. EPOXY DOVEL REBAR INTO THE EXISTING FOOTING WITH 6" EMBEDMENT. USE SIMPSON SET EPOXY.
- (F9) ATTACH THE NEW WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C.
- (F10) 4" CONCRETE SLAB ON 4" GRAVEL AND 6 MIL POLY VAPOR BARRIER WITH #4 BARS AT 24" O.C. IN EACH DIRECTION. SLOPE LANDING TO SHED WATER AWAY FROM THE HOME WHEN EXTERIOR. PROVIDE RADIAN HEAT AT INTERIOR SLAB.
- (F11) TURN DOWN THE EDGE OF THE STAIRS 30" BELOW GRADE. TURN DOWN SHALL BE 12" WIDE. REINFORCE WITH (2) #4 BARS.
- (F12) CONTROL JOINT.
- (F13) 18" DIA. FOOTING IN CENTER OF ADDITION.
- (F14) 18" LONG #4 BAR DOVELS AT 18" O.C. EPOXY INTO THE EXISTING WALL WITH 6" EMBEDMENT AND SIMPSON SET EPOXY.
- (F15) POCKET NEW SLAB INTO THE EXISTING WALL.
- (F16) EXISTING COLUMN AND FOOTING.
- (F17) EXISTING BEAM.
- (F18) EXISTING MASONRY FOUNDATION WALL AND FOOTING. THE EXISTING SYSTEM CAN SAFELY SUPPORT THE WEIGHT OF THE EXISTING AND THE NEW ADDITION.
- (F19) EXISTING FIRST FLOOR FRAMING.
- (F20) 4" PERFORATED FOUNDATION DRAIN COVERED WITH FILTER FABRIC AND PLACE IN GRAVEL BED COVERED WITH FILTER FABRIC. EXIT TO DAYLIGHT OR A SUMP PUMP.
- (F21) PLACE A TREATED SKI PLATE ON THE CONCRETE SLAB WITH 1/2" DIA. ANCHOR BOLTS AT 48" O.C.
- (F22) PROVIDE A 12" CMU WALL WITH #4 BARS AT 32" O.C. IN FILLED CELLS BELOW THE EXTERIOR WALL. PLACE WALL SO THAT THE EXTERIOR SLAB HAS 4" BEARING. CENTER THE FOOTING BELOW THE EXTERIOR WALL.
- (F23) SBJ# W6X16 CONCEALED FLANGE HANGER (TYP)



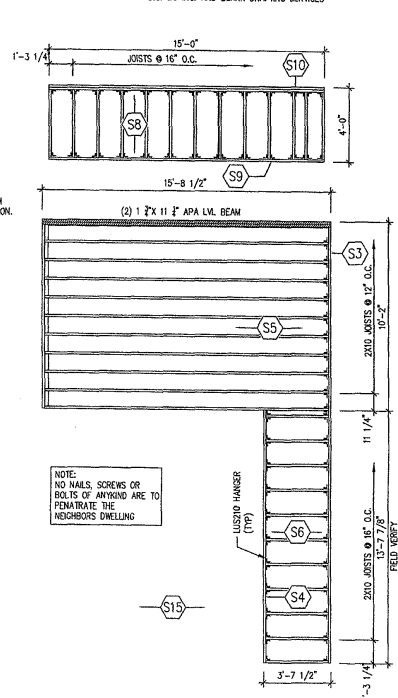
FIRST FLOOR JOIST

SCALE: 1/4" = 1'-0"

2nd FLOOR FRAMING NOTES

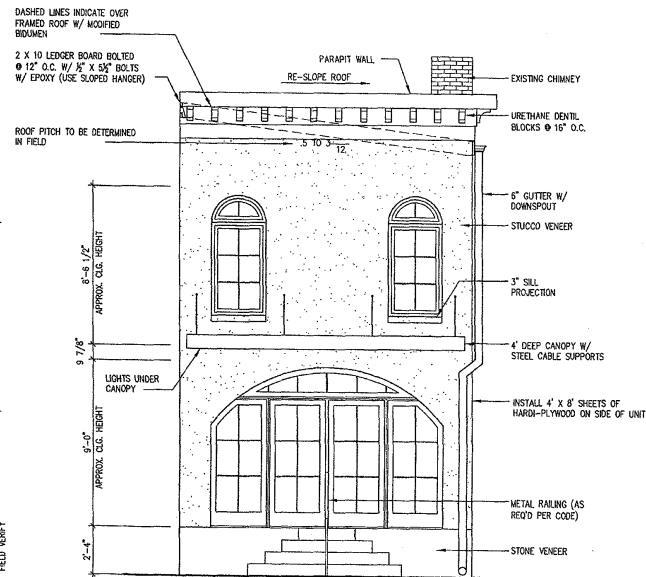
- (S1) ATTACH THE FIRST STUD TO THE EXISTING WALL WITH 1/2" DIA. EPOXY BOLTS AT 16" O.C. WITH 6" EMBEDMENT.
- (S2) (2) L4 X 3 1/2" X 1/4" STEEL ANGLE UNTEL.
- (S3) STEEL "C" CHANNEL BEAM W/ 2X10 BOLTED LEDGER
- (S4) PROVIDE A P.T. 2X10 LEDGER WITH 1/2" DIA. EPOXY BOLTS AT 32" O.C. TOP AND BOTTOM STAGGERED WITH 6" EMBEDMENT. HANG THE JOISTS FROM THE LEDGER WITH SIMPSON LUS HANGERS.
- (S5) 2X10 FLOOR JOISTS AT 12" O.C.
- (S6) 2X10 FLOOR JOISTS AT 16" O.C.
- (S7) ATTACH THE FIRST JOIST TO THE EXISTING WALL WITH 1/2" DIA. EPOXY BOLTS AT 32" O.C. WITH 6" EMBEDMENT.
- (S8) 2X8 RAFTERS AT 16" O.C. (TAPERED)
- (S9) 2X8 LEDGER WITH (2) #12 SCREWS AT 16" O.C. ATTACH RAFTERS TO LEDGER WITH SIMPSON LUS HANGERS.
- (S10) (2)2X6 PT BEAM (SPACED TO ALLOW FOR CABLE CONNECTION).
- (S11) STAINLESS STEEL CABLE TIE WITH AN ALLOWABLE LOAD OF 1,500 LBS. SEE TYPICAL CONNECTION DETAILS.
- (S12) TRIPLE STUD AT CABLE TIE (SPACE STUDS TO ALLOW FOR THE THRU BOLTS FROM THE PAD EYE TO PASS THROUGH).
- (S13) REMOVE ALL MASONRY ABOVE THE NEW HEADER.
- (S14) INFILL THE EXISTING WALL AS NEEDED WITH A NEW 8" BRICK WALL. TIGHTEN NEW MASONRY INTO THE EXISTING MASONRY. USE TYPE N LINE BASED MORTAR AS NEEDED TO MATCH THE PROPERTIES OF THE EXISTING WALL.
- (S15) EXISTING 2ND FLOOR FRAMING.
- (S16) EXISTING UNTEL/HEADER
- (S17) 3" DIA. SCH. 40 STEEL COLUMN (33,000 LOAD CAP)
- (S18) SET THE NEW BEAM IN THE EXISTING MASONRY WALL PER THE TYPICAL DETAIL.

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SECOND FLOOR JOIST

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

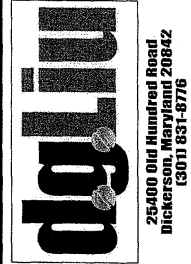
SCALE: 1/4" = 1'-0"

Bello, Bello & Associates, LLC
Zoning, Land Use & Development Consultants
1000 2nd St., NE, Suite 6
Washington, DC 20003

THIRD PARTY PLANS REVIEW CERTIFICATE
These plans and specifications have been reviewed for compliance with the applicable provisions of the code. Consequently, the respective reviews of the applicant for the following disciplines are recommended for approval.

Professional-In-Charge _____ Date: 5/19/12

☒ Mechanical
☒ Electrical
☒ Structural / Architectural



#	REVISION	DATE
4	PERMIT CHANGES	9/18/12
3	3RD PARTY CHANGES	8/22/12
2	ENGINEER'S CHANGES	8/30/12

KITCHEN ADDITION

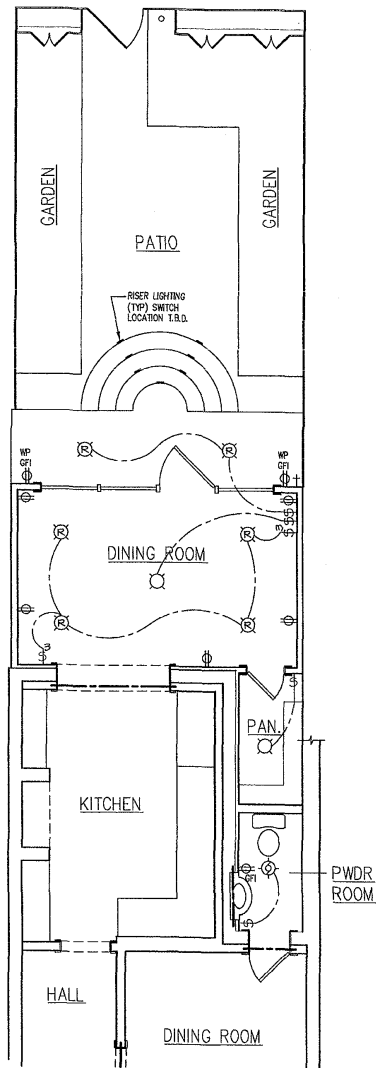
CUSTOMER NAME & ADDRESS: _____

DATE: 5-19-12 SHEET: 6 OF 6

PAGE: _____

☐ Mechanical
☐ Electrical
☐ Structural / Architectural

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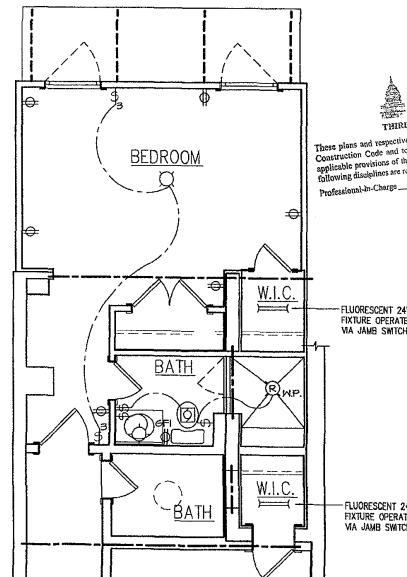


PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

⊕	SINGLE POLE SWITCH	⊕	DOOR CHIME
⊕	THREE WAY SWITCH	⊕	LIGHT FIXTURE - WALL MOUNTED
⊕	FOUR WAY SWITCH	⊕	LIGHT FIXTURE - CEILING MOUNTED
⊕	DUPLEX RECEPTACLE	⊕	LIGHT FIXTURE - RECESSED
⊕	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED	⊕	LIGHT FIXTURE - RECESSED WEATHER PROOF
⊕	DUPLEX RECEPTACLE - FLOOR MOUNTED	⊕	LIGHT FIXTURE - HANGING
⊕	RECEPTACLE - 220V	⊕	LIGHT FIXTURE - FLUORESCENT
⊕	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT	⊕	LIGHT FIXTURE - UNDER CABINET LIGHT
⊕	DUPLEX RECEPTACLE - WEATHER PROOF AND GROUND FAULT INTERRUPT	⊕	PULLCHAIN LAMPHOLDER
⊕	SMOKE DETECTOR - WIRED IN SERIES	⊕	KEYLESS LAMPHOLDER
⊕	EXHAUST FAN MOTOR	⊕	TELEVISION RECEPTACLE
⊕	EXHAUST FAN MOTOR WITH LIGHT	⊕	TELEPHONE RECEPTACLE



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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SOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY,
WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF
D.G. LIU INC. AND BLANK DRAFTING SERVICES

Bello, Bello & Associates, LLC
Residential Civil & Development Consultant
900 17th St. NW, Suite 8
Washington, DC 20001

THIRD PARTY PLANS REVIEW CERTIFICATION

These plans and respective application have been reviewed for compliance with the 2009 Washington State Building Code and the applicable provisions of the code. Consequently, the respective reviews of the application for approval. Following disclosures are recommended for approval.

Professional's Charge: *[Signature]*
☒ Mechanical
☒ Electrical
☒ Structural / Architectural
☐ Plumbing
☐ Fire Protection
☐ Elevator

DLG

25400 Old Hundred Road
Dickerson, Maryland 20842
(301) 831-8776

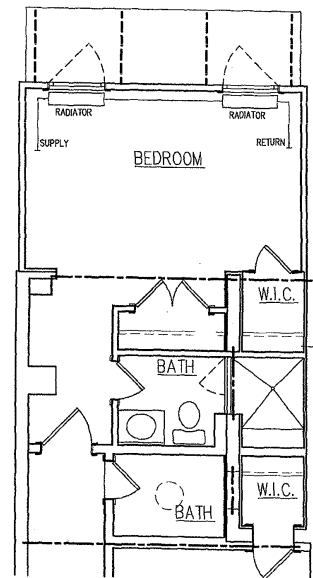
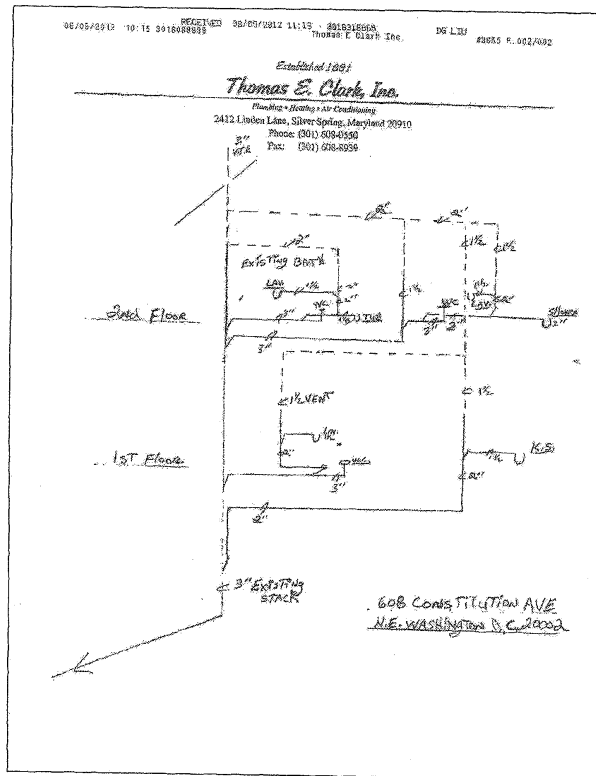
#	REVISION	DATE
1	MISC. CHANGES	6/27/12

KITCHEN ADDITION

CUSTOMER NAME & ADDRESS:
VALERIE BALDWIN
608 CONSTITUTION AVE. N.E.
WASHINGTON D.C. 20002

DATE: 5-19-12
SHEET: 3 OF 6
PAGE:

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PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Paulo, Ballo & Associates, LLC
 Design, Drafting & Construction Consultants
 902 2nd St., N.E. Suite 8
 Washington, DC 20002

THIRD PARTY PLANS REVIEW CERTIFICATION
 These plans and respective application have been reviewed for compliance with the 2008 D.C. Construction Code and to the best of our knowledge and belief, the plans comply with the applicable provisions of the code. Consequently, the respective reviews of the application for the following discipline was recommended for approval.

Professional in Charge: *[Signature]* Date: 6/25/12

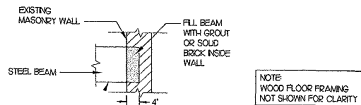
☒ Mechanical ☒ Plumbing
☒ Electrical ☐ Fire Protection
☒ Structural/Architectural ☐ Elevator

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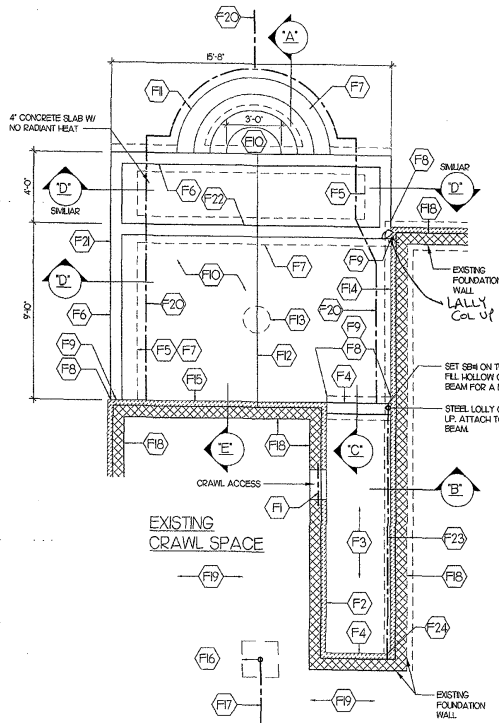
ADDITIONS
 DECKS
 PATIOS
 SCREENS
 ENCLOSURES
 REMOVALS
 REVISIONS

BLANK
 DRAFTING SERVICES
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TYP. STEEL BEAM TO MASONRY WALL DETAIL

SCALE 1/2\"/>

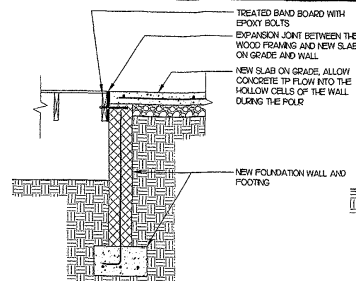


FOUNDATION PLAN

SCALE 1/4\"/>

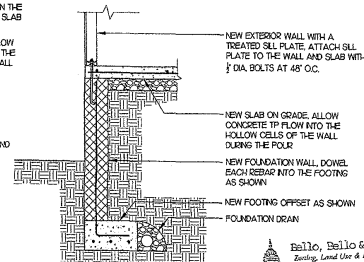
SEE FRAMING NOTES
ON Pg 1

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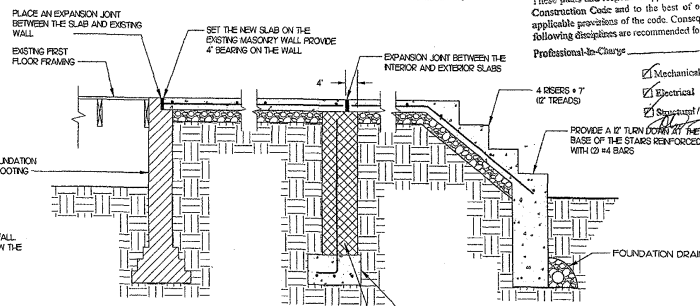
SECTION 'C'

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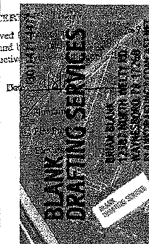


SECTION 'E'

SCALE 1/2\"/>

1. FLOOR / FOUNDATION FRAMING NOTES

- (F1) 12 L4 X 3 1/2 X 1/4 STEEL ANGLE UNTEL.
- (F2) PROVIDE A P.T. 2X10 LEDGER WITH 1/2" DIA. EPOXY BOLTS AT 32" O.C. TOP AND BOTTOM STAGGERED WITH 6" EMBEDMENT. HANG THE JOISTS FROM THE LEDGER WITH SIMPSON LUGS HANGERS.
- (F3) 2ND FLOOR JOISTS AT 16" O.C.
- (F4) 2ND JOIST SHALL BE PRESSURE TREATED. ATTACH THE 2ND JOIST TO THE EXISTING AND NEW WALL WITH 1/2" DIA. EPOXY BOLTS AT 32" O.C. WITH 6" EMBEDMENT. USE SCREEN TUBES WHEN PLACED IN HOLLOW CELLS.
- (F5) FOOTING SHALL BE OFFSET WHEN PLACED ON THE PROPERTY LINE.
- (F6) NEW 6" CMU WALL WITH #4 BARS AT 32" O.C. IN FILLED CELLS BELOW THE NEW CONCRETE SLAB. DOWEL EACH REBAR INTO THE NEW FOOTING.
- (F7) NEW 18"X30" FOOTING WITH (3) #4 BARS.
- (F8) BOTTOM OF NEW FOOTING SHALL MATCH EXISTING EPOXY DOWEL REBAR INTO THE EXISTING FOOTING WITH 6" EMBEDMENT. USE SIMPSON SET EPOXY.
- (F9) ATTACH THE NEW WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C.
- (F10) 4" CONCRETE SLAB ON 4" GRAVEL AND 6 MIL POLY VAPOR BARRIER WITH #4 BARS AT 12" O.C. IN EACH DIRECTION. SLOPE LANDING TO SLOD WATER AWAY FROM THE HOME WHEN EXTERIOR. PROVIDE RADIAN HEAT AT INTERIOR SLAB.
- (F11) TURN DOWN THE EDGE OF THE STAIRS 30" BELOW GRADE. TURN DOWN SHALL BE 12" WIDE REINFORCE WITH (2) #4 BARS.
- (F12) CONTROL JOINT.
- (F13) 16" DIA. FOOTING IN CENTER OF ADDITION.
- (F14) 18" LONG #4 BAR DOWELS AT 16" O.C. EPOXY INTO THE EXISTING WALL WITH 6" EMBEDMENT AND SIMPSON SET EPOXY.
- (F15) POCKET NEW SLAB INTO THE EXISTING WALL.
- (F16) EXISTING COLUMN AND FOOTING.
- (F17) EXISTING BEAM.
- (F18) EXISTING MASONRY FOUNDATION WALL AND FOOTING. THE EXISTING SYSTEM CAN SAFELY SUPPORT THE WEIGHT OF THE EXISTING AND THE NEW ADDITION.
- (F19) EXISTING FIRST FLOOR FRAMING.
- (F20) 4" PERFORATED FOUNDATION DRAIN COVERED WITH FILTER FABRIC AND PLACE IN GRAVEL BED COVERED WITH FILTER FABRIC. EXIT TO OUTSIGHT OR A SUMP PUMP.
- (F21) PLACE A TREATED SILL PLATE ON THE CONCRETE SLAB WITH 1/2" DIA. ANCHOR BOLTS AT 48" O.C.
- (F22) PROVIDE A 12" CMU WALL WITH #4 BARS AT 32" O.C. IN FILLED CELLS BELOW THE EXTERIOR WALL. PLACE WALL SO THAT THE EXTERIOR SLAB HAS 4" BEARING. CENTER THE FOOTING BELOW THE EXTERIOR WALL.
- (F23) SBN W8X8.
- (F24) SET THE NEW BEAM IN THE EXISTING MASONRY WALL PER THE TYPICAL DETAIL.



25400 Old Hundred Road
Dickerson, Maryland 20842
13011 631-8776

#	REVISION	DATE
1	MSC. CHANGES	6/27/12
2	3RD PARTY CHANGES	8/22/12
3	ENGINEER'S CHANGES	8/30/12

KITCHEN ADDITION

CUSTOMER NAME & ADDRESS
VALERIE BALDWIN
608 CONSTITUTION AVE. NE
WASHINGTON DC 20002

DATE	5-9-12	SHEET	5 OF 6
PAGE			



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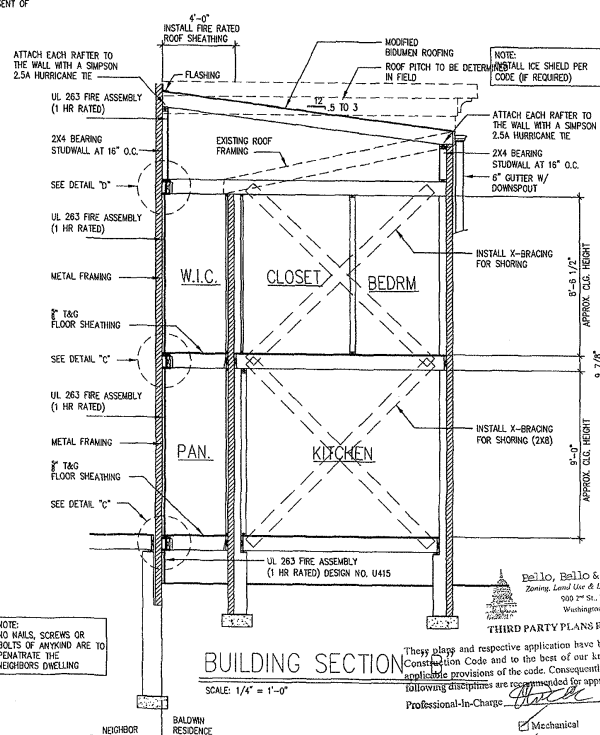
NOTE:
NO NAILS, SCREWS OR
BOLTS OF ANYKIND ARE TO
PENETRATE THE
NEIGHBORS DWELLING

TYP. STEEL BEAM TO
WOOD JOIST DETAIL

SCALE: $\frac{3}{4}" = 1'-0"$



SCALE: 1/4" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"

 **Pello, Bello & Associates,**
Zoning, Land Use & Development Consult
900 2nd St., NE, Suite 6
Washington, DC 20002

THIRD PARTY PLANS REVIEW CERT

These plans and respective application have been reviewed by the Construction Code and to the best of our knowledge and belief, they are in compliance with the applicable provisions of the code. Consequently, the respective applications are recommended for approval.

Professional-In-Charge [Signature]

☒ Mechanical
☒ Electrical
☒ Structural / Architectural

#	REVISION	DATE
4	PERMIT CHANGES	9/18/12
2	3RD PARTY CHANGES	8/22/12
3	ENGINEER'S CHANGES	8/30/12

KITCHEN ADDITION

17	CUSTOMER NAME & ADDRESS
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VALERIE BALDWIN
608 CONSTITUTION AVE N.E.
WASHINGTON D.C. 20002

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4 OF 6

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 - SCREEN PORCHES
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Structural Notes

- All work and materials to comply with the requirements of the 2006 IBC and IRC codes with DCMR 12B-2008.
Codes: the following design standards are applicable by reference:
ACI 308-9R/ASCE 5-9 Building Code Requirements for Masonry Structures.
AISC - Manual of Steel Construction Ninth Ed.
ACI 318-95 Building Code Requirements for Reinforced Concrete
AISC - Manual of Steel Construction Ninth Ed.
Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 1500 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
- Structural steel:
 - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
 - All structural tubing shall conform to ASTM A500, grd B
 - All steel pipe shall be ASTM A53, type E or S, grade B
 - All welders shop and field, shall be certified. Use E70xx electrodes only.
 - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
 - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
 - All exterior structural steel shall receive rust preventative paint.
 - Connections:
 - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in kips for beams laterally supported, as given in the AISC steel construction manual.
 - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
 - Lumber:
 - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
 - LVL and FSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
 - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw roof and floor decking to joists and rafters.
 - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
 - Provide double joists under all walls that run parallel to floor framing.
 - Nail all multiple members together per manufacturer's recommendations and at a minimum use 2-10d nails at 8" O.C. stagger sides that nails are driven from.
 - Provide bridging at center of all joist spans exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
 - Provide solid blocking below all wood posts.
 - All posts shall have Simpson Cap and Brass Plates top.
 - All joists shall have Simpson Hangers where applicable.
 - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
 - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R319 for protection against corrosion and termite damage.
 - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
 - Wood lintels shall be as follows:
Opening ≤ 3'-0" - 2x6
3'-0" < Opening ≤ 5'-0" - 2x6
5'-0" < Opening ≤ 9'-0" - 2x8-10
Greater than 8'-0" - See plans
 - Fasteners:
 - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
 - Follow the manufacturer recommendations for setting epoxy bolts.
 - Expansion bolts shall be rawl power studs.
 - Masonry:
 - Masonry construction shall be in conformance with the applicable sections of ACI 308-9R/ASCE 5-9, "Specifications for Masonry Structures."
 - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and Fm = 1500psi.
 - All joints to be filled solid with mortar.
 - Mortar to comply with ASTM C270 (Type M or S).
 - Provide corrugated masonry ties between brick face and wood walls or cma walls at 16" O.C. in each direction.
 - Provide tie truss style joint reinforcement @ 16" O.C. vertically.
 - Lintels shall be as follows:
Opening ≤ 3'-0" - Lx3 1/2 x Lx1 1/4 4" of wall
3'-0" < Opening ≤ 7'-0" - Lx3 1/2 x Lx1 1/4 4" of wall.
Opening > 7'-0" - See Plan
 - Cast in place concrete:
 - Concrete construction shall be in conformance with the applicable sections of ACI 318-95, "Part 1 - Construction Requirements."
 - Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
 - All concrete shall be placed with a slump of 4" (± 3")
 - All concrete shall be normal weight, UNO.
 - All concrete exposed to weather shall have 8% ±1% entrained air.
 - Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
 - Concrete cover for reinforcement shall be:
Columns and beams 1 1/2"
Slabs 1"
Footings 3"
 - Reinforcement:
 - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
 - Welded wire fabric (waf) shall conform to ASTM A185. Lap edges of wire fabric at least 6" in each direction.
 - Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
 - Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-95, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:

SPF #2 - 25 PCF
1/2" Decking - 1.5 PSF
1" Drywall - 2.5 PSF
Asphalt Shingles - 2.5 PSF
Slab Shingles - 15 PSF
1" Drywall - 2.2 PSF
Insulation - 1.5 PSF
Siding - 2.0 PSF
CMU - 87 PCF
Brick - 130 PCF

LIVE LOADS:

DECK: 40PSF
ATTIC: 20PSF
FLOOR: 40PSF
BALCONY: 60PSF
BEDROOM: 40PSF
ROOF: 30PSF

WIND LOADS

BASIC WIND SPEED: 90MPH
WIND LOAD IMPORTANCE FACTOR: 1.0
WIND EXPOSURE FACTOR: 20PSF
WIND DESIGN PRESSURE: 20PSF
SNOW LOADS:
GROUND SNOW LOAD (PG): 30PSF
FLAT ROOF SNOW LOAD (PF): 30PSF
SNOW EXPOSURE FACTOR (CE): 0.9
SNOW IMPORTANCE FACTOR (I): 1.0

Deflection Limitations:

Rafter: L/240
Interior Walls and Partitions: L/180
Floors and Plastered Ceilings: L/360
All Other Structural Members: L/240
Ext. Walls with plaster or stucco finish: L/360
Ext. Walls - Wind Loads with Brittle Finishes: L/240
Ext. walls - Wind Loads with Flexible Finishes: L/120
SEISMIC DESIGN DATA:
SEISMIC IMPORTANCE FACTOR (I): 1.0
SPECTRAL RESPONSE ACCELERATIONS:
(Sa): 20.0%
(S1): 8.0%
SPECTRAL RESPONSE COEFFICIENTS:
(SRS): 33%
(Sd1): 18.7%
SEISMIC DESIGN CATEGORY: B
SEISMIC SITE CLASSIFICATION: D
SEISMIC COEFFICIENT (Cs): 0.22
SEISMIC MODIFICATION FACTOR (R): 1.5
BASE SHEAR: 4.8k
ANALYSIS PROCEDURE:
BASIC SFRS:

FRAMING / GENERAL NOTES

- BOTTOM OF ALL FOOTINGS SHALL BE 30" MIN. BELOW GRADE.
- PROVIDE SQUARE BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS AND MULTIPLE STUDS.
- EPLOY BOLTS SHALL BE SIMPSON "SET", FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ISR 1771 USE SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY.
- SIMPSON TITEN HD ANCHORS SHALL HAVE 4" MINIMUM EMBEDMENT. FOLLOW INSTALLATION INSTRUCTIONS IN ISR 1036.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- ATTACH BRICK VENEER TO THE WOOD OR CMU BACKING STRUCTURE WITH METAL TIES AT 16" O.C. IN EACH DIRECTION. PROVIDE FLASHING, WATERSTOPS AND WEEP HOLES IN THE VENEER PER THE RC CODE WHEN JOINING THE VENEER TO THE EXISTING STRUCTURE. THE NEW VENEER SHALL BE TOOTHED INTO THE NEW STRUCTURE.
- ALL STEEL ANGLE LINTELS SHALL BE LONG LEG VERTICAL. ULV. PROVIDE A BEARING FOR STEEL ANGLES ON SOLID MASONRY.
- ALL ROOF FRAMING NAILS SHALL BE ONE SUNK NAILS.
- ALL NAILS, BOLTS, METAL HANGERS AND SCREWS EXPOSED TO EXTERIOR CONDITIONS SHALL BE GALVANIZED.
- ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 AND HAVE 6% AIR ENTRAINMENT.

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THIRD PARTY PLANS REVIEW CERTIFICATION

These plans and respective application have been reviewed for compliance with the 2006 DC Construction Code and to the best of our knowledge and belief, the plans comply with the applicable provisions of the code. Consequently, the respective reviews of the application for the following disciplines are recommended for approval.

Professional-In-Charge _____ Date: 9/25/12

☒ Mechanical

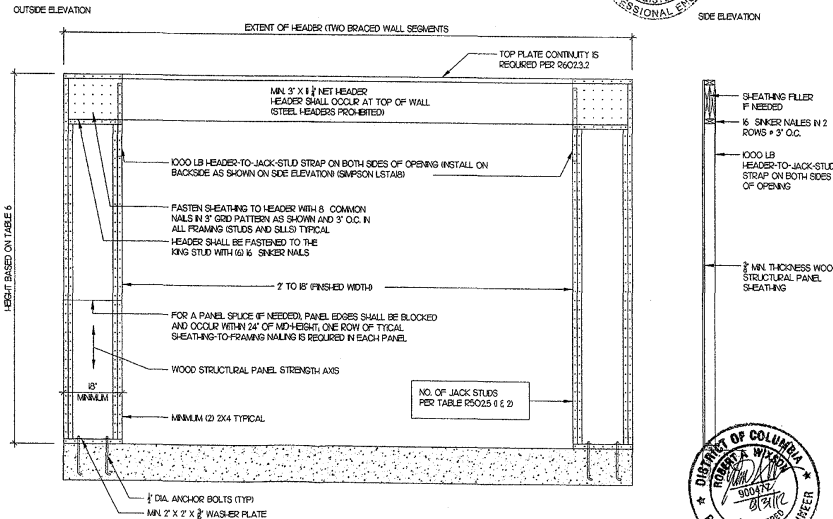
☒ Plumbing

☐ Fire Protection

☐ Elevator

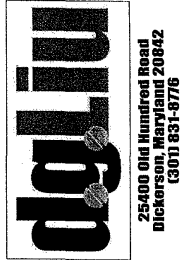
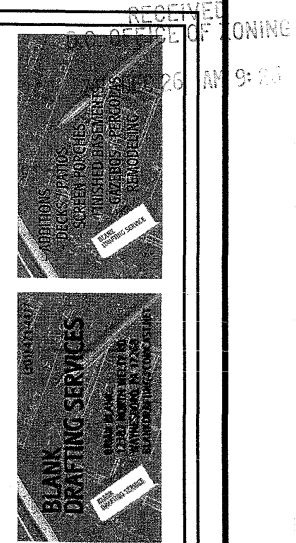


SEE ELEVATION



APA PORTAL FRAME DETAIL FOR REAR WALL

SCALE: NTS.



#	REVISION	DATE
1	MISC. CHANGES	6/27/12
2	3RD PARTY CHANGES	8/22/12
3	ENGINEER'S CHANGES	8/30/12

KITCHEN ADDITION

CUSTOMER NAME & ADDRESS
VALERIE BALDWIN
505 CONSTITUTION AVE. NE
WASHINGTON D.C. 20002

DATE: 5-9-12	SHEET: 1 OF 6
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