

RECEIVED
D.C. OFFICE OF ZONING

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

2013 JUN 14 AM 11:46

Washington, D.C., August 3, 2012

Plat for Building Permit of SQUARE 987 LOT 8

Scale: 1 inch = 20 feet Recorded in Book RLH Page 44

Receipt No.: 12-05512

Furnished to: ERIC PETERSON

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plans as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation, and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb and alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single-family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property.)

Surveyor, D.C.

By: A.S.

Date: 14 DEC 2012

(Signature of owner or his authorized agent)

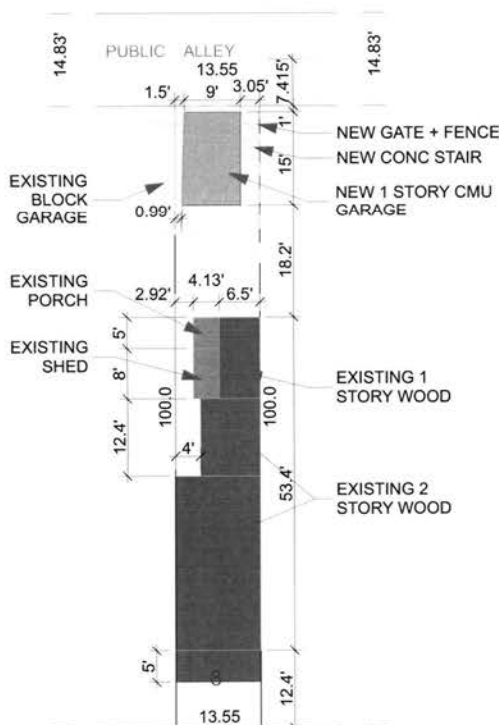
NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.

DISTURBANCE LEGEND

LINE OF SILT FENCE
AREA OF DISTURBANCE
AREA OF CUT

SOIL DISTURBANCE CALCS

AREA OF DISTURBANCE = 220 SF
AREA OF CUT 11.58 CY
AREA OF FILL 0 CY



PARK STREET, N.E.

ZONING INFO

ADDRESS: 1120 PARK ST NE WASHINGTON DC 20002
LOT: 0008 SQUARE: 0987
PROPERTY DIMS AND AREA: 100FT X 13.55FT = 1,355 SF - 22.5 SF (ENCROACHING ADJACENT GARAGE) = 1,332.5 SF
EXISTING LOT OCCUPANCY AREA: 791.32 SF = 59.39%
NEW GARAGE AREA: 141.43 SF = 10.61%
EXISTING + PROPOSED GARAGE LOT OCCUPANCY AREA: 932.75 SF = 70.0%

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18514
EXHIBIT NO. 27

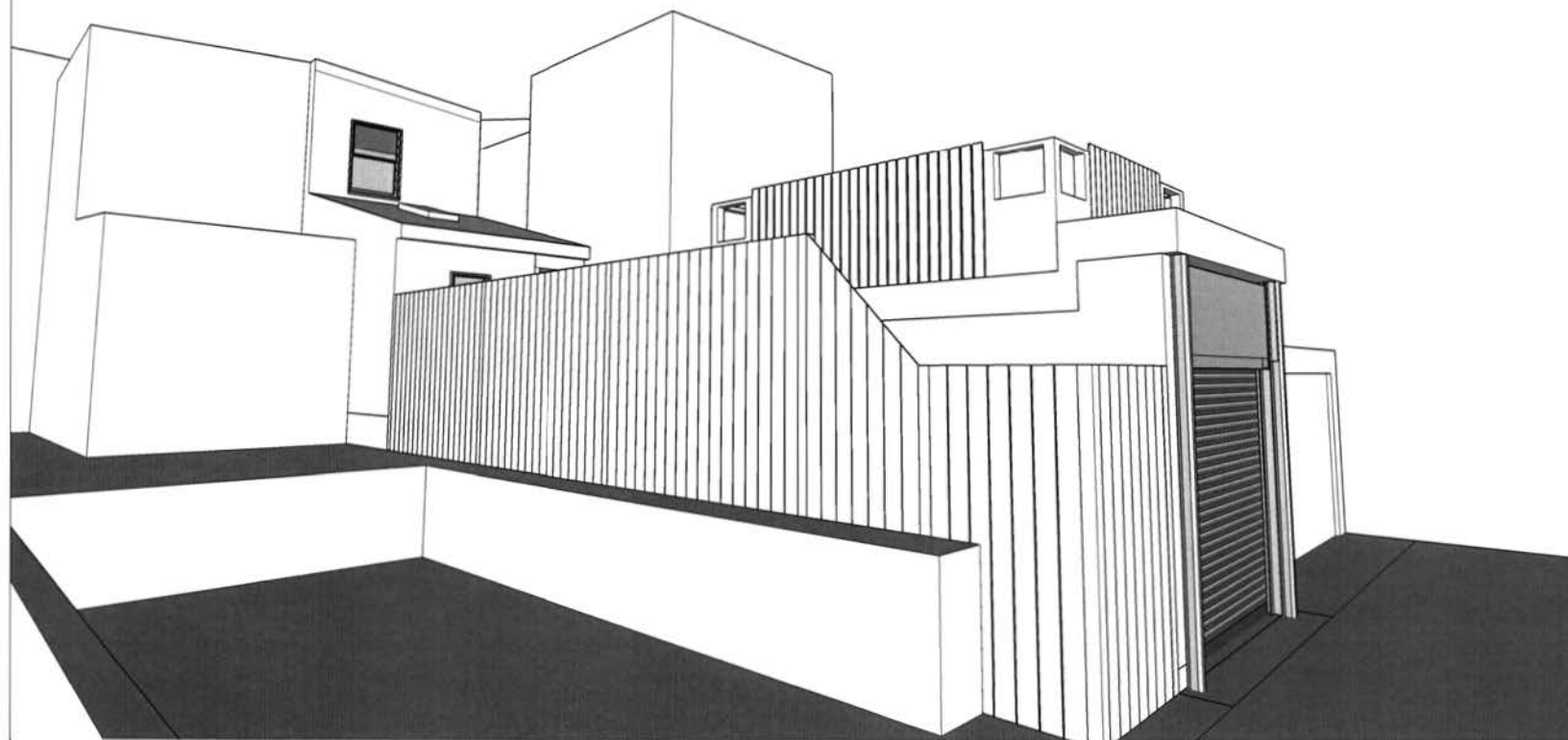
Board of Zoning Adjustment
District of Columbia
CASE NO. 18514
EXHIBIT NO. 27

BZA APP # 18514

LIST OF DRAWINGS

COVER SHEET

- R1 REFERENCE IMAGES
- R2 REFERENCE BLOCK PLAN
- A1 GARAGE FLOOR PLAN
- A2 DECK FLOOR PLAN
- A3 GARAGE ELEVATIONS
- A4 GARAGE SECTION
- A5 GARAGE SECTION



CLIENT
PATTY JORDAN & ANDREW DALY
1120 PARK ST NE
WASHINGTON DC
20002

PROJECT
NEW GARAGE

PROJECT NO.
11-034

DRAWN BY
EP

ISSUE
8 JUNE 2013
BZA REVIEW SET

View of Proposed Garage
COVER SHEET

AVENUE
DESIGN





FRONT OF 1120 PARK ST NE (YELLOW HOUSE)



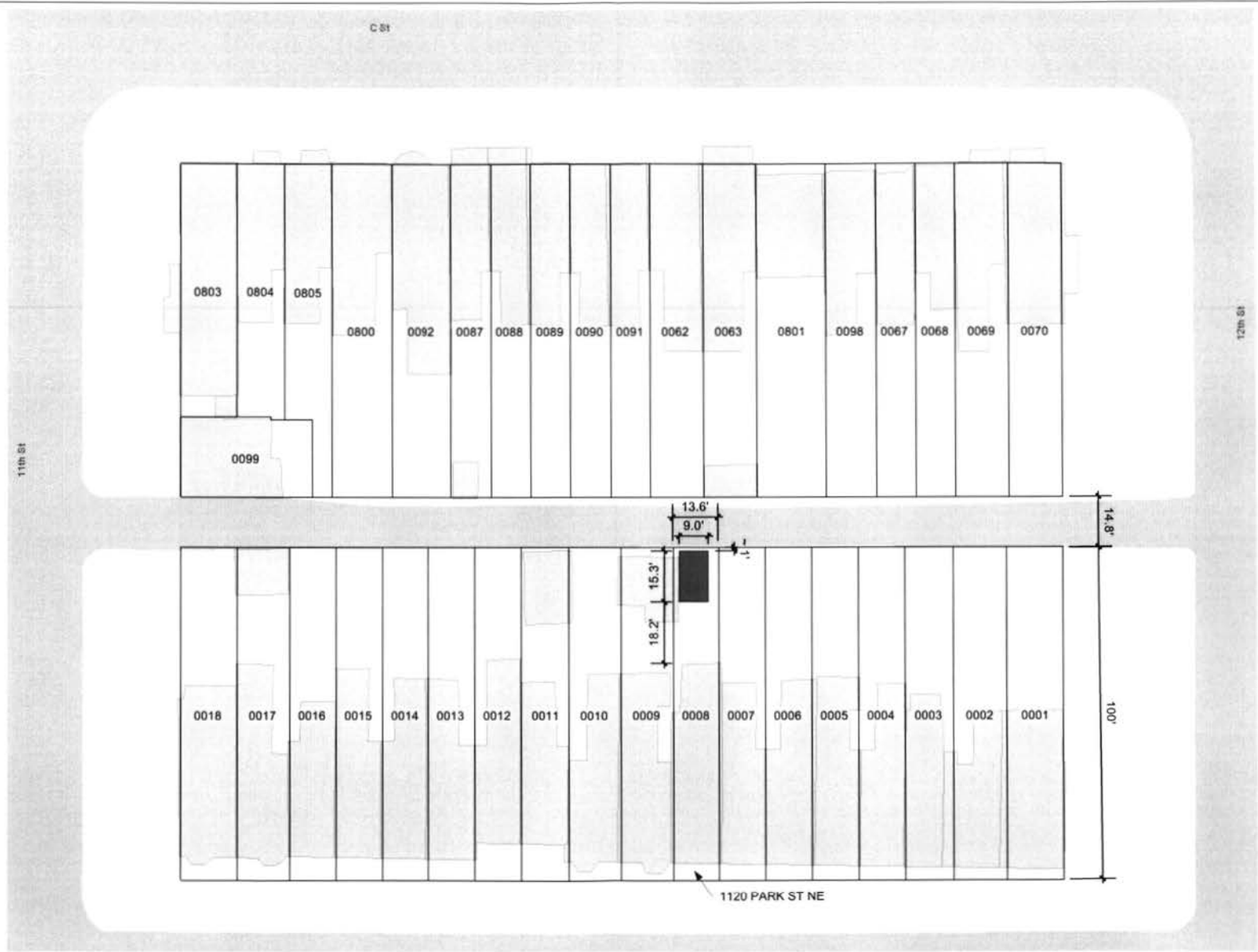
REAR OF 1120 PARK ST NE (YELLOW HOUSE)



VIEW WEST DOWN ALLEY



OTHER GARAGES ON SAME ALLEY



BLOCK PLAN SCALE: 1" = 30'



Avenue Design
519 11TH ST. SE
WASHINGTON, DC
20003
Tel: 202.744.7825

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WASHINGTON DC 20002

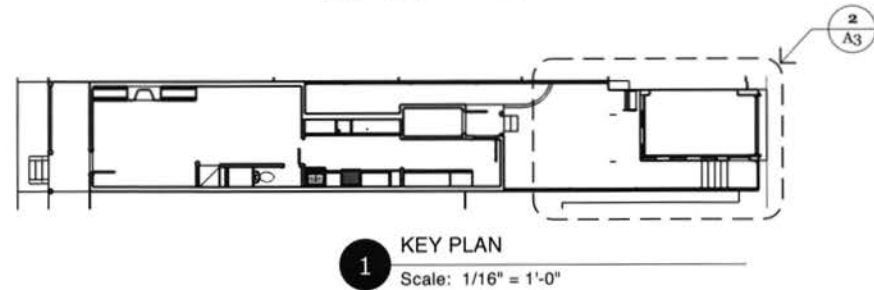
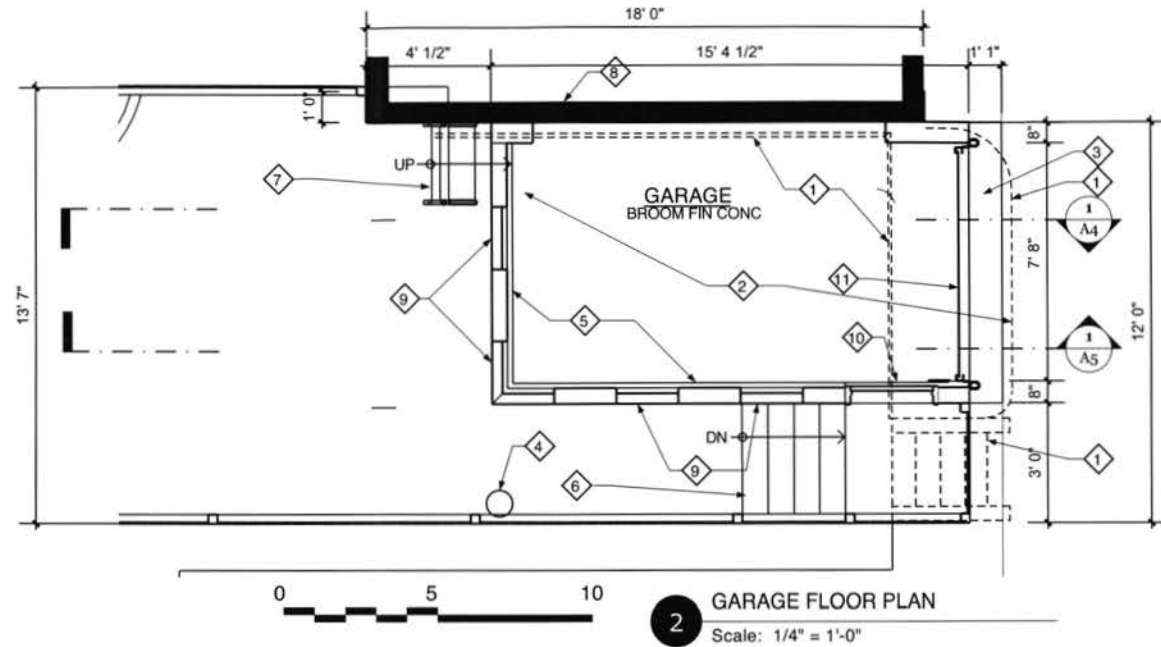
PROJECT
NEW GARAGE

PROJECT NO.
11-034

ISSUE
8 JUN 203
BZA REVIEW SET
DRAWN BY
EP

REFERENCE
BLOCK PLAN

SEE SHEET A24 FOR GARDEN AND DECK



GENERAL NOTES

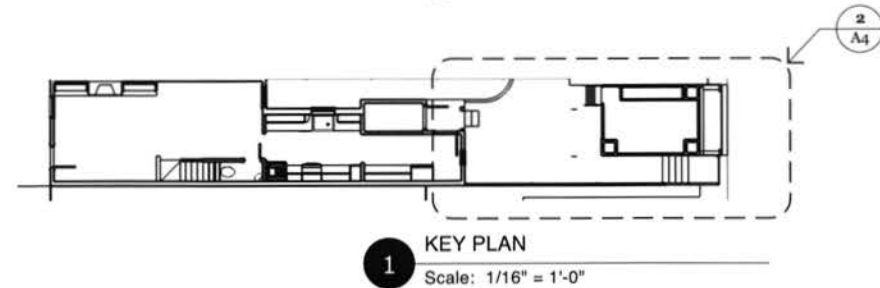
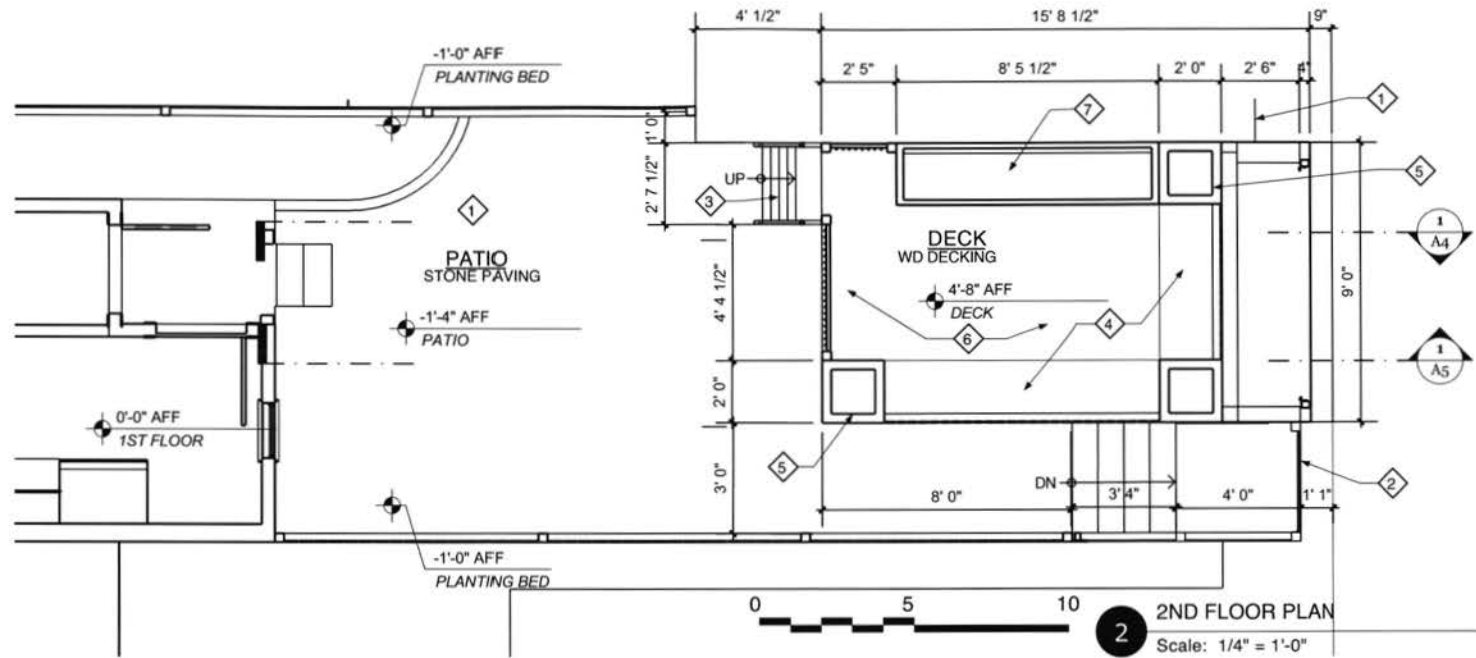
- # SEE SHEET A1 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE

WALL TYPES

- EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED
- NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER
- EXISTING PARTITION OR BUILDING ELEMENT

SHEET NOTES

- 1 DEMO EXISTING SITE CONSTRUCTION PREPARE AREA FOR NEW WORK
- 2 EXCAVATE EXISTING SOIL TO DEPTH OF ADJACENT ALLEY +/- 4 FT DEEP - INSTALL 4" THK REINF CONCRETE SLAB ON GRADE WITH DROPPED PERIMETER FOUNDATION AND CURB
- 3 3" THK REINF CONCRETE APRON
- 4 EXISTING TREE TO REMAIN
- 5 NEW REINF CMU PERIMETER WALL
- 6 NEW CONCRETE STEPS
- 7 NEW PT WD SHIP'S LADDER
- 8 EXISTING CMU WALL OF ADJACENT GARAGE
- 9 NEW GLASS BLOCK - 1'6" W X 4'0" H OPENING
- 10 NEW EXTERIOR DOOR - 3'0" W X 6'8" H OPENING
- 11 NEW EXTERIOR COILING OVERHEAD GARAGE DOOR - 8'0" W X 7'0" H OPENING



GENERAL NOTES

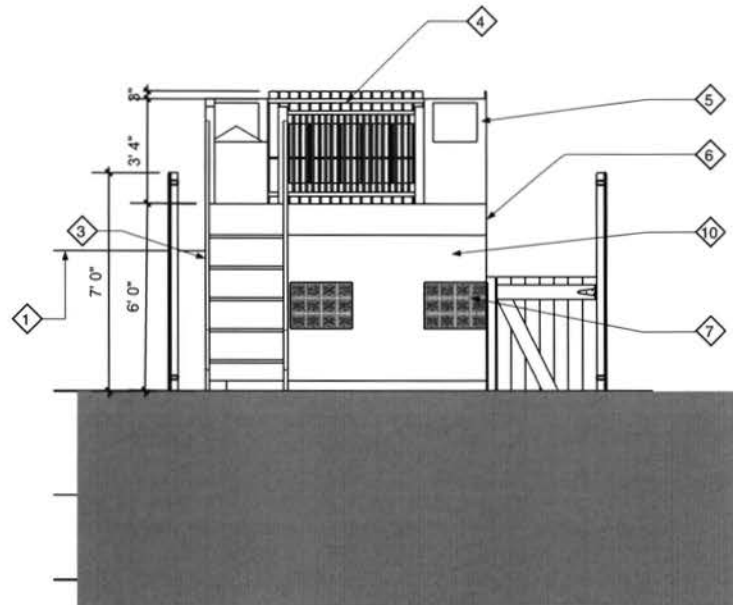
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WALL TYPES

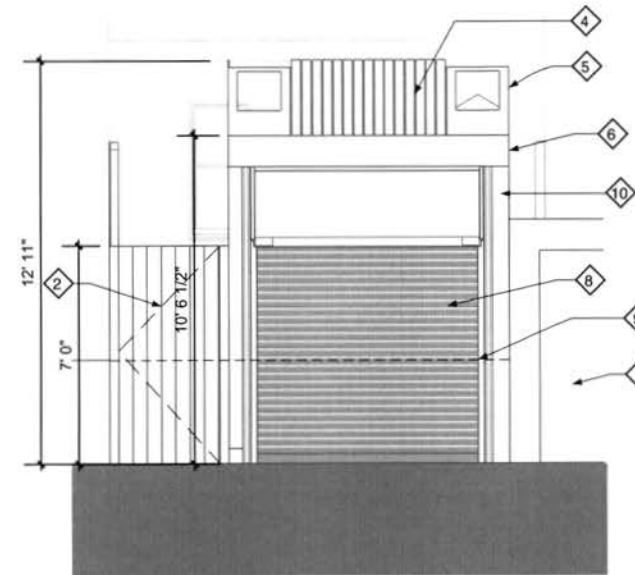
- EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED
- NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER
- EXISTING PARTITION OR BUILDING ELEMENT

SHEET NOTES

- 1 ADJACENT GARAGE
- 2 NEW GATE AND FENCE
- 3 NEW PT WD SHIP'S LADDER
- 4 NEW PT WD SEATING AND FENCING
- 5 NEW PT WD PLANTERS
- 6 PT WD DECKING OVER NEW WD ROOFING STRUCTURAL AND WATERPROOFING SYSTEM
- 7 SKYLIGHT



2 REAR ELEVATION
Scale: 1/4" = 1'-0"



1 ALLEY ELEVATION
Scale: 1/4" = 1'-0"

GENERAL NOTES

- # SEE SHEET A1 FOR EQUIPMENT SCHEDULE
- # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE

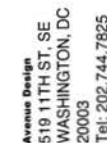
WALL TYPES

-  EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED
-  NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER
-  EXISTING PARTITION OR BUILDING ELEMENT

- 1 ADJACENT GARAGE
- 2 NEW GATE AND FENCE
- 3 NEW PT WD SHIP'S LADDER
- 4 NEW PT WD SEATING AND FENCING
- 5 NEW PT WD PLANTERS

SHEET NOTES

- 6 PT WD DECKING OVER NEW WD ROOFING STRUCTURAL AND WATERPROOFING SYSTEM
- 7 NEW GLASS BLOCK - 1'6" W X 4'0" H OPENING
- 8 NEW OVERHEAD COILING GARAGE DOOR - 8'0" W X 7'0" H OPENING
- 9 EXCAVATE EXISTING SOIL TO DEPTH OF ADJACENT ALLEY +/- 4 FT DEEP - INSTALL 4" THK REINF CONCRETE SLAB ON GRADE WITH DROPPED PERIMETER FOUNDATION AND CURB
- 10 NEW REINF CMU PERIMETER WALL



PROJECT
NEW GARAGE

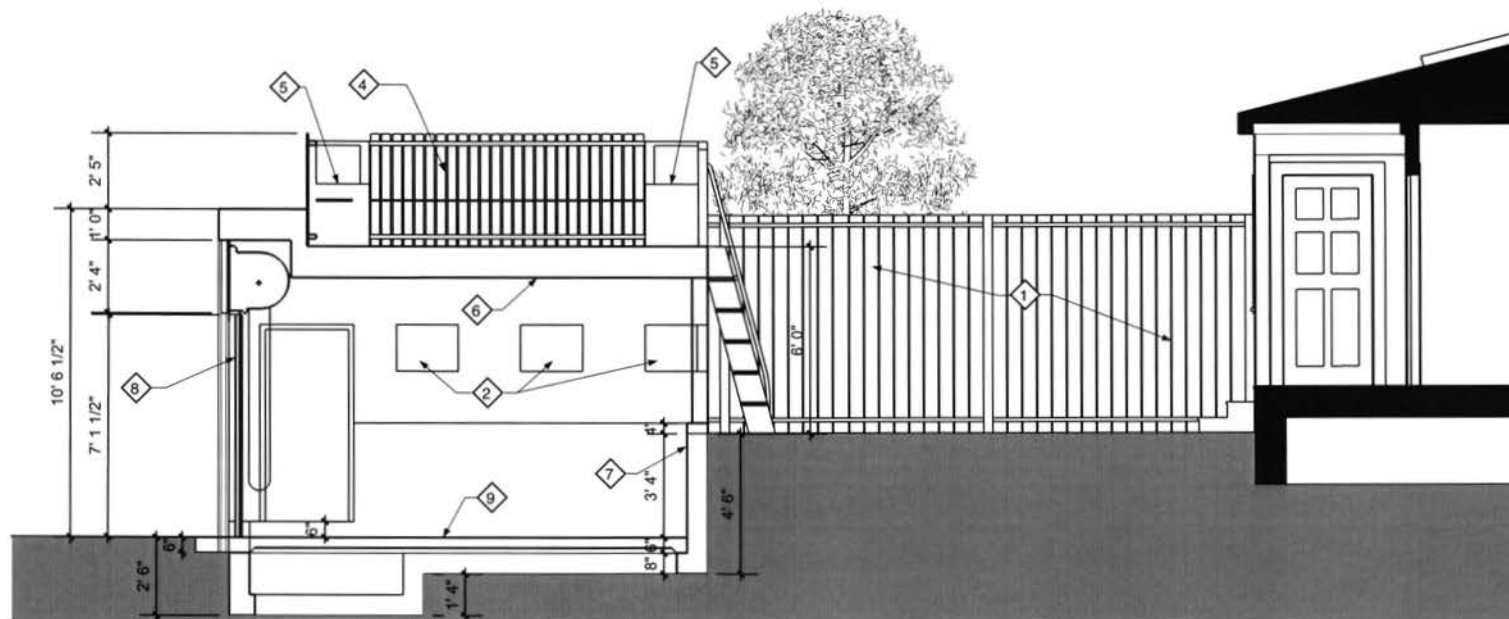
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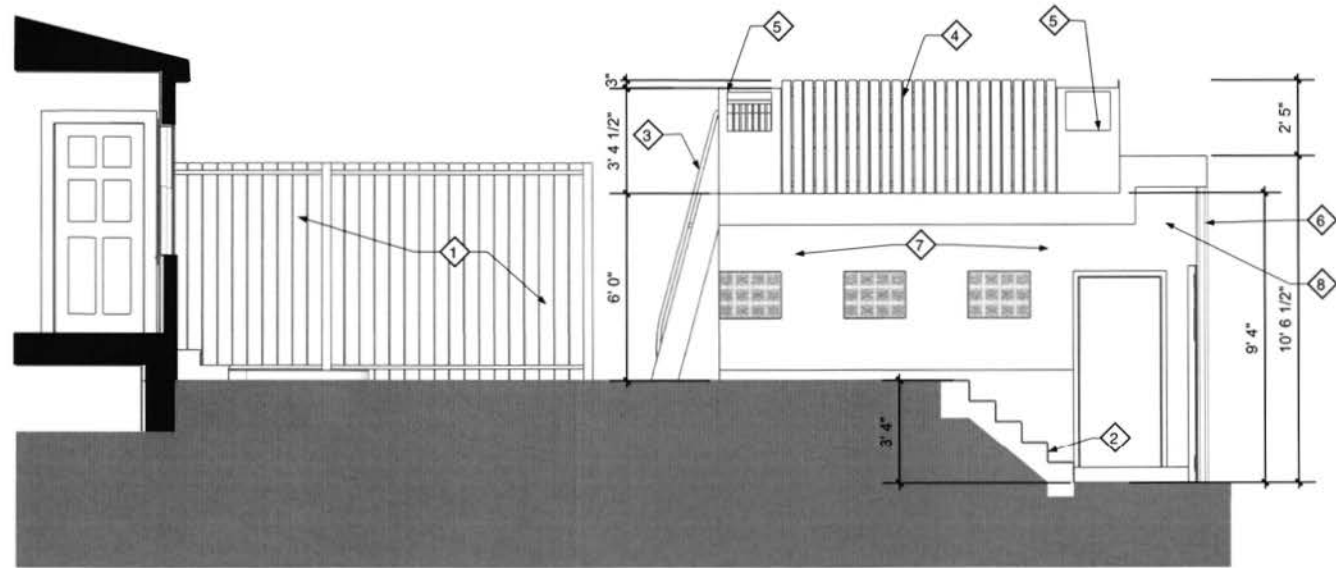
BUILDING SECTION

A4



1 BUILDING SECTION
Scale: 1/4" = 1'-0"

GENERAL NOTES		WALL TYPES	SHEET NOTES	
#	SEE SHEET A1 FOR EQUIPMENT SCHEDULE	 EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED	1	PATCH EXISTING WOOD FENING AS NEEDED IN KIND
#	SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE	 NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER	2	NEW GLASS BLOCK WINDOWS
		 EXISTING PARTITION OR BUILDING ELEMENT	3	NEW PT WD SHIP'S LADDER
			4	NEW PT WD SEATING AND FENCING
			5	NEW PT WD PLANTERS
			6	PT WD DECKING OVER NEW WD ROOFING STRUCTURAL AND WATERPROOFING SYSTEM
			7	NEW REINF CMU WALLS WITH PAINTED FINISH
			8	NEW OVERHEAD COILING GARAGE DOOR - 8 FT W X 7 FT H
			9	4" REINF CONCR SLAB ON GRADE



1 SIDE ELEVATION
Scale: 1/4" = 1'-0"

GENERAL NOTES	WALL TYPES	SHEET NOTES	
# SEE SHEET A1 FOR EQUIPMENT SCHEDULE # SEE SHEET A1 FOR WINDOW AND DOOR SCHEDULE	--- EXISTING PARTITION OR BUILDING ELEMENT TO BE DEMOLISHED NEW WD STUD + GWB PARTITION - INSULATED AT BUILDING PERIMETER EXISTING PARTITION OR BUILDING ELEMENT	1 PATCH EXISTING WOOD FENCING AS NEEDED IN KIND 2 NEW CONCRETE STEPS 3 NEW PT WD SHIP'S LADDER 4 NEW PT WD FENCING 5 NEW PT WD PLANTERS 6 PT WD DECKING OVER NEW WD ROOFING STRUCTURAL AND WATERPROOFING SYSTEM 7 NEW REINF CMU WALLS WITH PAINTED FINISH 8 OVERHEAD COILING GARAGE DOOR - 8 FT W X 7 FT H	9 NEW STL PIPE SUPPORTS SET INTO CONCR FOOTER