

ALTERATIONS AND REPAIRS
for EXISTING VEHICLE FUEL SERVICE STATION
MARYLAND AVENUE SHELL
1400 MARYLAND AVENUE, NE
WASHINGTON, D.C. 20002

ACCESSIBILITY: ICC/ANSI A117.1 2003 & DCMR12A-2008 SUPPLEMENT /CHAPTER 11

LOT(S): 803 & 21
SQUARE: 1049
LOT AREA: 7,262 SF
WARD: 6
ZONING DESIGNATION: C3-A
APPLICABLE CODE: IBC2006
2008 DCMR SUPP.
USE GROUP: H2
CONSTRUCTION TYPE: 2A

CODE ITEM	ALLOWED / REQUIRED	PROPOSED / PROVIDED
APPLICABLE ZONING CODE	2003 DCMR 11 FEBRUARY, 2003 & AMENDMENTS	2003 DCMR 11 FEBRUARY, 2003 & AMENDMENTS
LOT(S): 803 & 21 SQUARE: 1049		
ZONING DESIGNATION	C3-A	C3-A
USE TYPE	EXIST. VEHICLE FUEL SERVICE STATION	EXIST. VEHICLE FUEL SERVICE STATION
SITE AREA	7,262 S.F.	7,262 S.F.
LOT WIDTH (MIN.)	100'	118'
GROSS FLOOR AREA (FOOTPRINT)	926 S.F.	926 S.F.
NUMBER OF STORIES	1	1
OVERALL BUILDING HEIGHT	65'	18.50'
PERCENTAGE OF LOT OCCUPANCY	75%	12.09%
F.A.R.	2.50	0.051
FRONT YARD	NONE	NONE
SIDE YARD	NONE	NONE
REAR YARD	12' (MIN.)	NONE
CLOSED COURT YARD	N/A	NONE
OPEN COURT YARD	N/A	NONE
INDOOR RECREATION	N/A	N/A
OUTDOOR RECREATION	N/A	N/A
ROOF STRUCTURE	NONE	NONE
PARKING	2	4

REMARKS:

1. THIS FACILITY IS USED ONLY FOR FUEL DISPENSING. NO VEHICLE REPAIRS ARE DONE.
2. THE SITE PLAN HAS BEEN APPROVED BY THE BZA FOR ALL NON-COMPLIANT ITEMS.

CODE ITEM	ALLOWED / REQUIRED	PROPOSED / PROVIDED
APPLICABLE BUILDING CODE USE GROUP	I.B.C. 2006 AND 2008 BOHR SUPPLEMENT M	I.B.C. 2006 AND 2008 DMR SUPPLEMENT M
CONSTRUCTION TYPE	3B	3B
GROSS FLOOR AREA	12,500 S.F.	926 S.F.
CONSTRUCTION PROPOSED	EXIST. VEHICLE FUEL SERVICE STATION	EXIST. VEHICLE FUEL SERVICE STATION
NUMBER OF STORIES	1	1
NUMBER OF EXITS	2	2
CORRIDOR WIDTH	3'-8"	3'-8"
APPLICABLE FIRE CODE	2006 IBC	2006 IBC
FIRE PROTECTION	EXTERIOR WALLS-2 HRS	EXTERIOR WALLS-2 HRS
MAIN STRUCTURAL MATERIALS	CMU	CMU
CRITICAL FIRE RATED ELEMENTS	NON-RATED INTERIOR 2 HOURS EXTERIOR 1 HOUR SEPARATION	2-RATED INTERIOR
APPLICABLE ENERGY CODE	2000 IECC	2000 IECC

REMARKS:
BLDG. IS NOT SPRINKLERED.

DCRA/OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH REQUIREMENTS OF
DC ZONING REGULATIONS (11DCMR)

DC ZONING REGULATIONS (DDCMR)
Xan Mac 11/9/11
(BZA #17825 - Granted on 1/26/10)

FIRE COMMENT #1

DISTRICT OF COLUMBIA
PERMIT PROCESSING DIVISION
STRUCTURAL WORK IN GENERAL
APPROVED SUBJECT TO THE
FURTHER APPROVAL OF CONSTRUCTION
ROBERT CHEN
Structural Engr. Section
APR 24 2007

DAG PETROLEUM
MONTY BERNHANE
6820-B COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 750-6810



Certification / Seal:
I, hereby certify that these documents were prepared or
approved by me, and that I am a duly licensed professional
engineer under the laws of the State shown on this seal.
License No: _____ Expiration Date: _____

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Spec. Division/Section:

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Contract Date:	Designed by:	Drawing Sheet Number:
01/15/11	Reviewed by:	
	Checked by:	
	Checked by:	
Architect's Project Number:	Drawn by:	
	Drawn by:	
	Drawn by:	
	Drawn by:	

CS

oning Adjustment

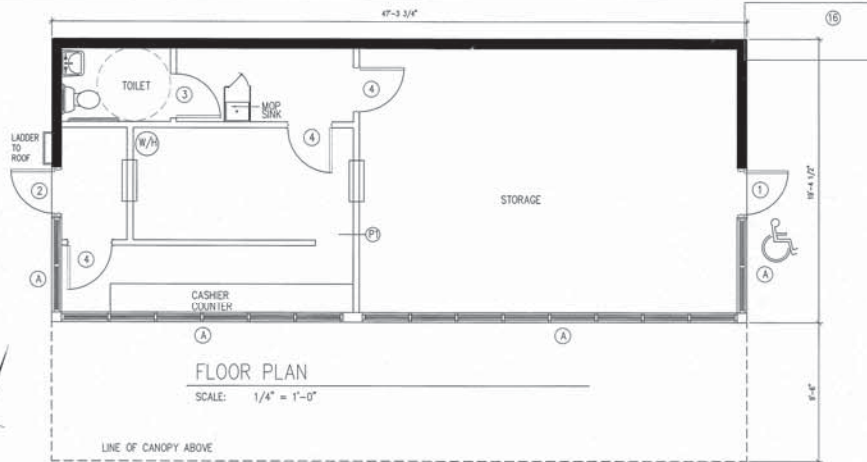
Board of Zoning Adjustment
District of Columbia
CASE NO.18499
EXHIBIT NO.19

These drawings have been prepared by the Licensed Building Permit Issuing Agency to the County of Loudoun, Virginia, for the building project described herein.

A/C RESPONSES

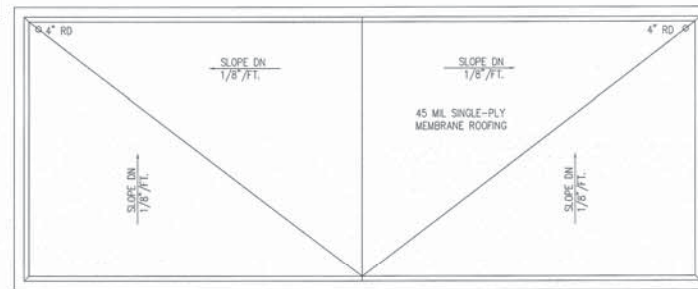
REMARKS: OFFICIAL PLAN REVIEW COMMENTS & A/C RESPONSES

PLAN REVIEW COMMENTS



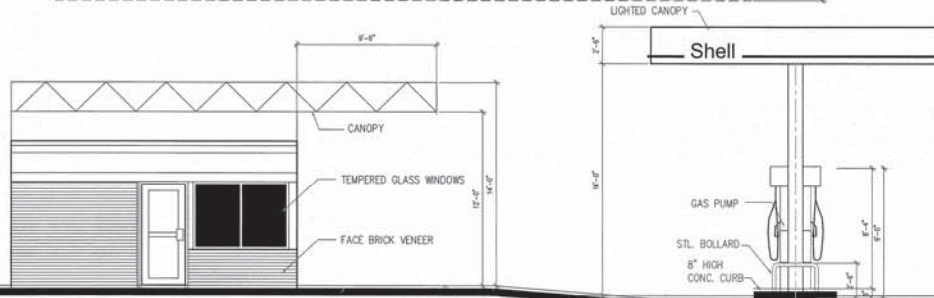
FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

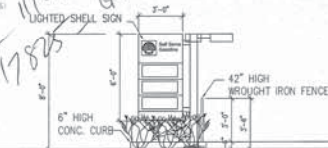


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SEAL-OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH REQUIREMENTS OF
THE ZONING REGULATIONS (11DCR)

11/04/11
17805
1/26/10



Certification:
The stated of the design/drawings delineated herein
was designed/drawn by me or under my supervision with
approval by the owner named below, and are accurate
to the best of my knowledge, information and belief.
Any construction violation in design or detailing
shall not be the responsibility of the Architect
without written direction or revised drawing.



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Owner's Name / Address:

DAG PETROLEUM
MONTY BERNHANE
6820-B COMMERCIAL DRIVE
SPRINGFIELD, VA 22151
(703) 750-6810

Project Name / Address:

MARYLAND AVENUE SHELL
1400 MARYLAND AVENUE, NE
WASHINGTON, D.C. 20002

LOT: 803
SQUARE: 1049
LOT AREA: 7,262 SF
WARD: 6
ZONING DESIGNATION: C3-A
APPLICABLE CODE: ISC2006
USE GROUP: 2008 DCMR SUPP.
CONSTRUCTION TYPE: H2

Number	Name	Date
REVIS	10-14-15	
REVIS	8-16-09	

Drawing Name:
FOOD MART-CONVENIENCE STORE
FLOOR PLAN
ROOF PLAN

Spec. Division/Section:
ARCHITECTURAL

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Contract Date	Designed by	Drawn by	Checked by	Drawn Sheet Number
01/15/11	WJMAIDEN	WJMAIDEN	WJMAIDEN	A1

Sheet 1 of 1