

CONGDON ROOFTOP

2117 N ST NW, WASHINGTON, D.C. 20007

Square 0069 Lot 0171 PERMIT SET : 29 JUNE 2012

RICH MARKUS ARCHITECTS

2601 P STREET SECOND FLOOR WASHINGTON D.C. 20007

ARCHITECTURAL DRAWINGS
A000 COVER SHEET
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A002 PHOTOGRAPHS-REAR
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A101 EXISTING & PROPOSED ROOFTOP PLAN
A201 EXISTING & PROPOSED SECTIONS
A202 PROPOSED ROOFTOP SECTION
A203 PROPOSED ROOFTOP SECTION
A204 PROPOSED ROOFTOP SECTION
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S002 EXISTING & PROPOSED CEILING FRAMING PLAN
S003 PROPOSED ROOFTOP FRAMING DETAILS
S004 PROPOSED HANGER DETAILS

OWNER:
BLAKE CONGDON
2117 N ST NW, #4, 3 FLOOR
WASHINGTON D.C. 20007
BLAKECONGDON@HOTMAIL.COM

ARCHITECT:
RICH MARKUS ARCHITECTS
2601 P STREET NW, 2ND FLOOR
WASHINGTON DC 20007
202.333.2733 VOICE
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Consulting Structural Engineers
17 Wheatfield Court,
Gaithersburg MD 20879,
Ph: 240-688-4833
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Chebib1559@aol.com

DATE: 06/29/2012
BY: [Signature]
CHECKED: [Signature]
DATE: 07/01/2012

PERMANENT FILE

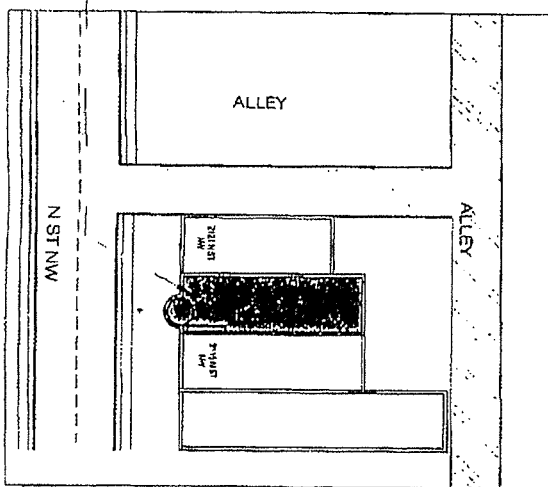
1 GENERAL NOTES / CODE ANALYSIS

EXISTING CODE / PARAGRAPH	ANALYSIS	REMARKS
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SECTION 101.02	SECTION 101.02	SECTION 101.02
SECTION 101.03	SECTION 101.03	SECTION 101.03
SECTION 101.04	SECTION 101.04	SECTION 101.04
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SECTION 101.99	SECTION 101.99	SECTION 101.99
SECTION 101.100	SECTION 101.100	SECTION 101.100

VICINITY MAP



SITE PLAN



RICH MARKUS ARCHITECTS
2601 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.333.2733 / 202.333.2944

CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

SITE PLAN
AND
COVER SHEET

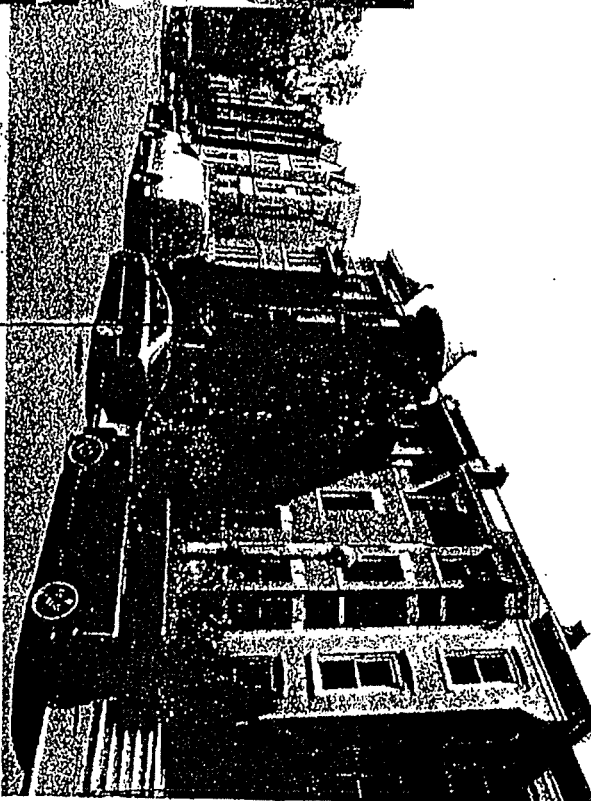
29 JUNE 2012
N/A
A000



1 SOUTH-WEST VIEW
PHOTOGRAPHS

2117 N ST NW

SEP 07 2012



2 SOUTH-EAST VIEW
PHOTOGRAPHS



PHOTOGRAPHS
FRONT

CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC 20007

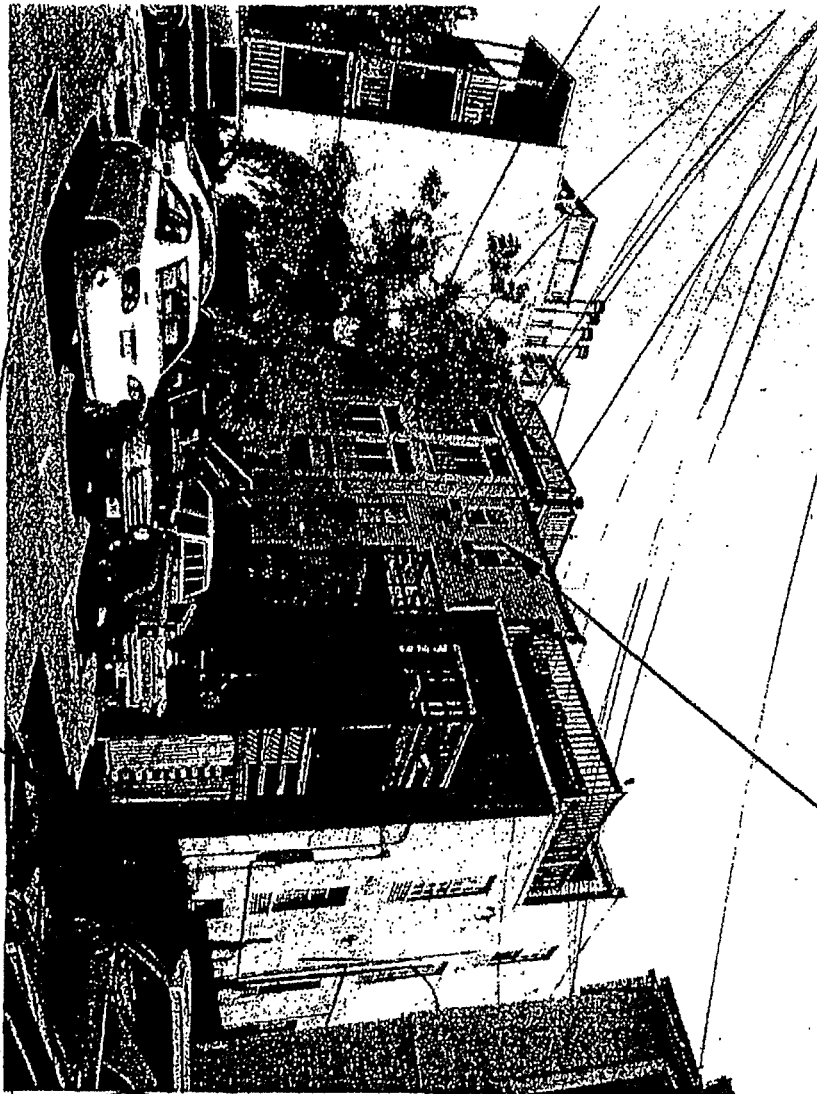
RICH MARKUS ARCHITECTS
2501 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.333.2733 / 202.333.2944

A00

28 JUNE 201

WA

2117 N ST NW



1 NORTH-WEST VIEW
PHOTOGRAPHS

ALLEY



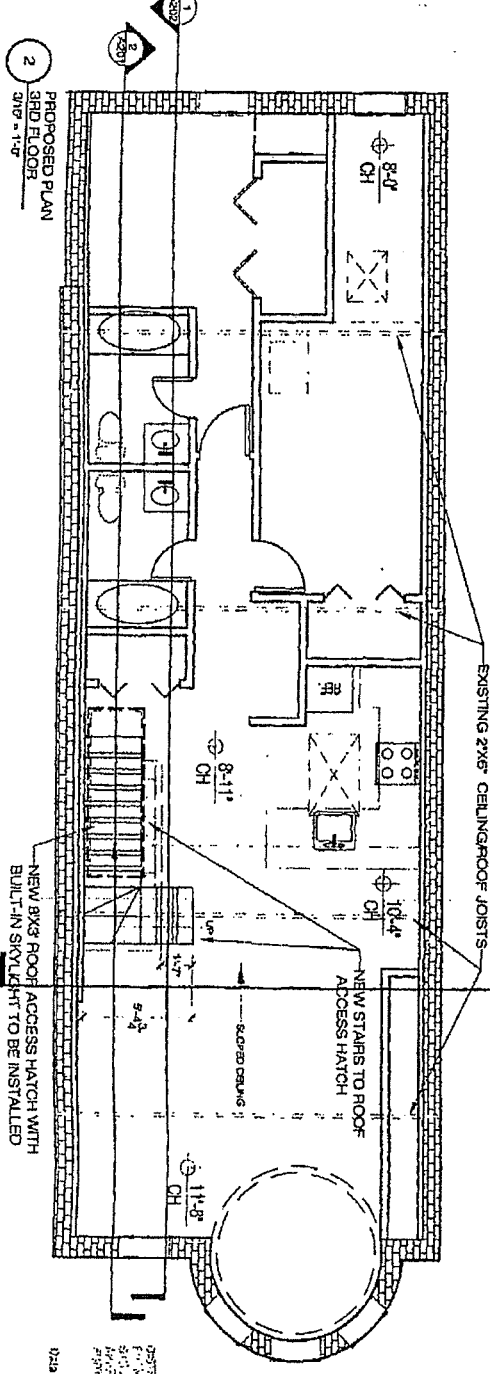
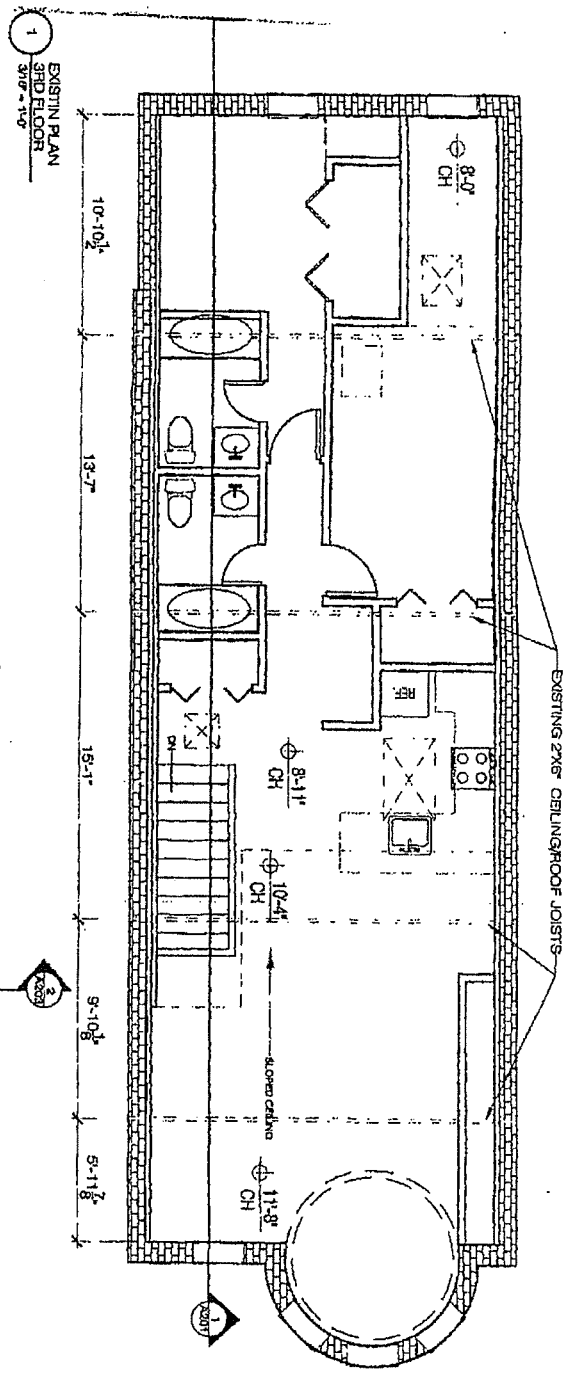
SEP 07 2012

A002

PHOTOGRAPHS
REAR

CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

RICH MARKUS ARCHITECTS
2501 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.353.2753 / 202.353.2944



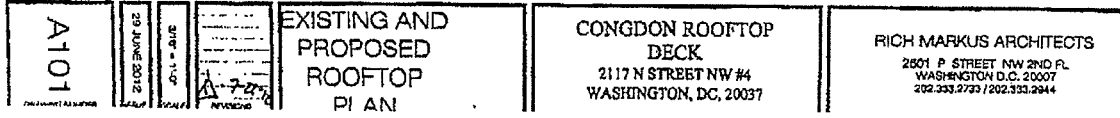
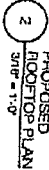
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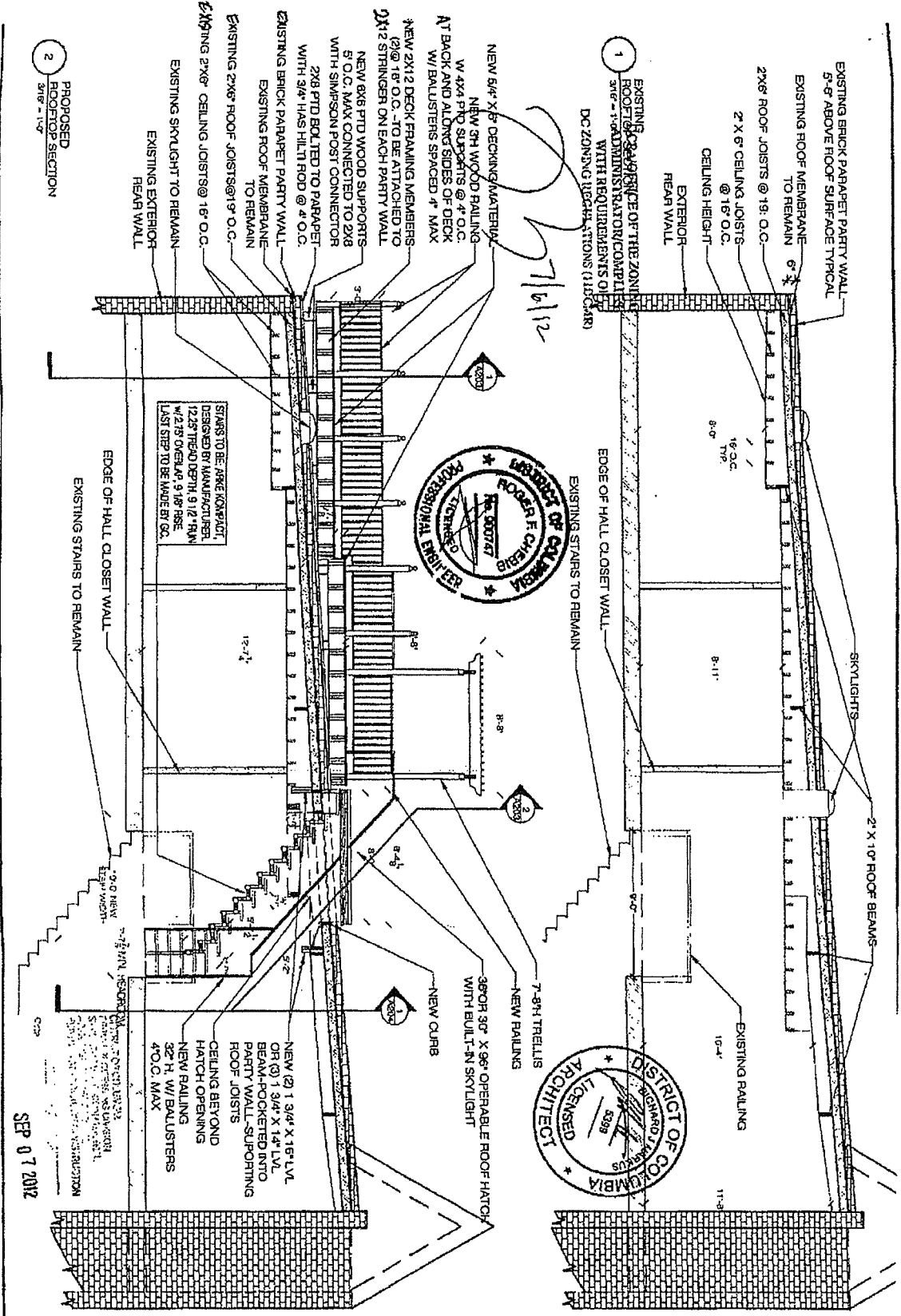
A100

EXISTING & PROPOSED
3RD FLOOR PLAN

CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

RICH MARKUS ARCHITECT
2601 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.333.2739 / 202.333.2944

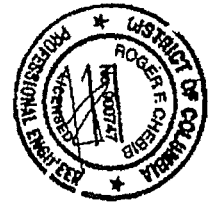




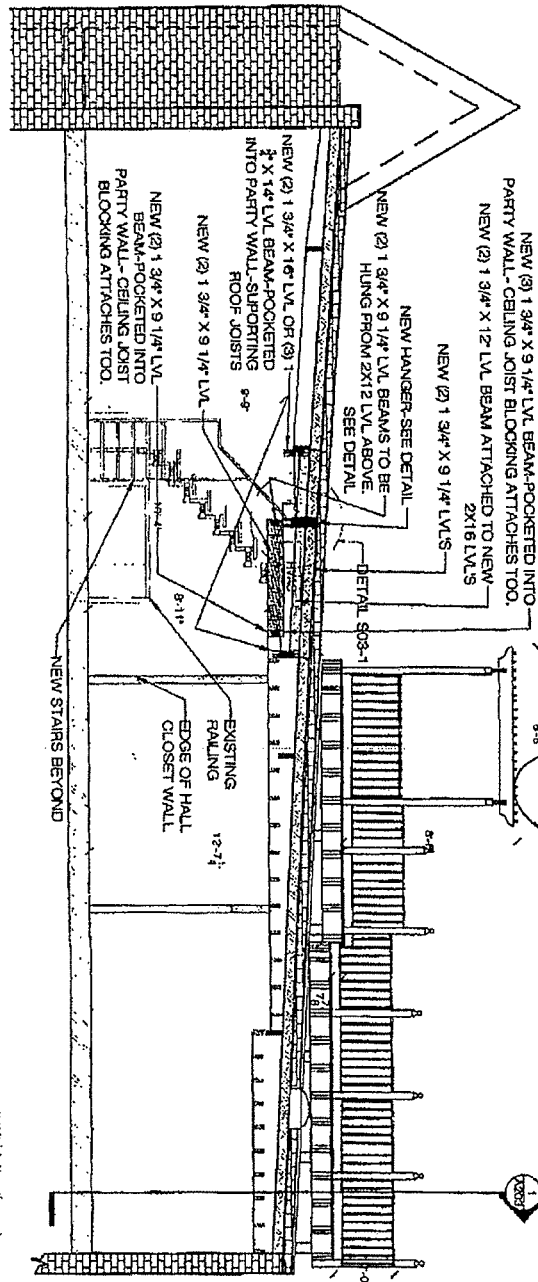
PROPOSED
ROOFTOP SECTION
2
3/8\"/>

SEP 07 2012

A201 28 JUNE 2012	3/8\"/>	EXISTING & PROPOSED ROOFTOP SECTIONS	CONGDON ROOFTOP DECK 2117 N STREET NW #4 WASHINGTON, DC, 20037	RICH MARKUS ARCHITECTS 2601 P STREET NW 2ND FL WASHINGTON D.C. 20007 202-333-7752 / 202-333-2944
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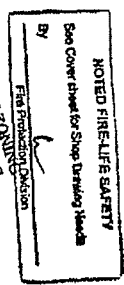
DEPARTMENT OF THE DISTRICT OF COLUMBIA
 OFFICE OF THE COMPTROLLER
 ADMINISTRATIVE SERVICES
 7/6/12
 WITH REQUIRED SIGNATURE
 OCCASIONING



PROPOSED
 ROOFTOP SECTION
 3/16" = 1'-0"

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A202	20 JUNE 2012	PROPOSED ROOFTOP SECTION	CONGDON ROOFTOP DECK 2117 N STREET NW #4 WASHINGTON, DC, 20037	RICH MARKUS ARCHITECTS 2801 P STREET NW 2ND FL WASHINGTON D.C. 20007 202.353.2733 / 202.353.2944
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DCR OFFICE OF THE ZONING
ADMINISTRATOR COMPLIES
WITH REQUIREMENTS 11.1 C.C.R.
DC ZONING REGULATIONS

DISTRICT OF COLUMBIA
 PERMIT PROCESSING DIVISION
 STRUCTURAL WORK IN GENERAL
 APPROVED SUBJECT TO THE
 FURTHER APPROVAL OF CONSTRUCTION
 DEPT. OF SOCIAL
 DATA

SEP 07 2012

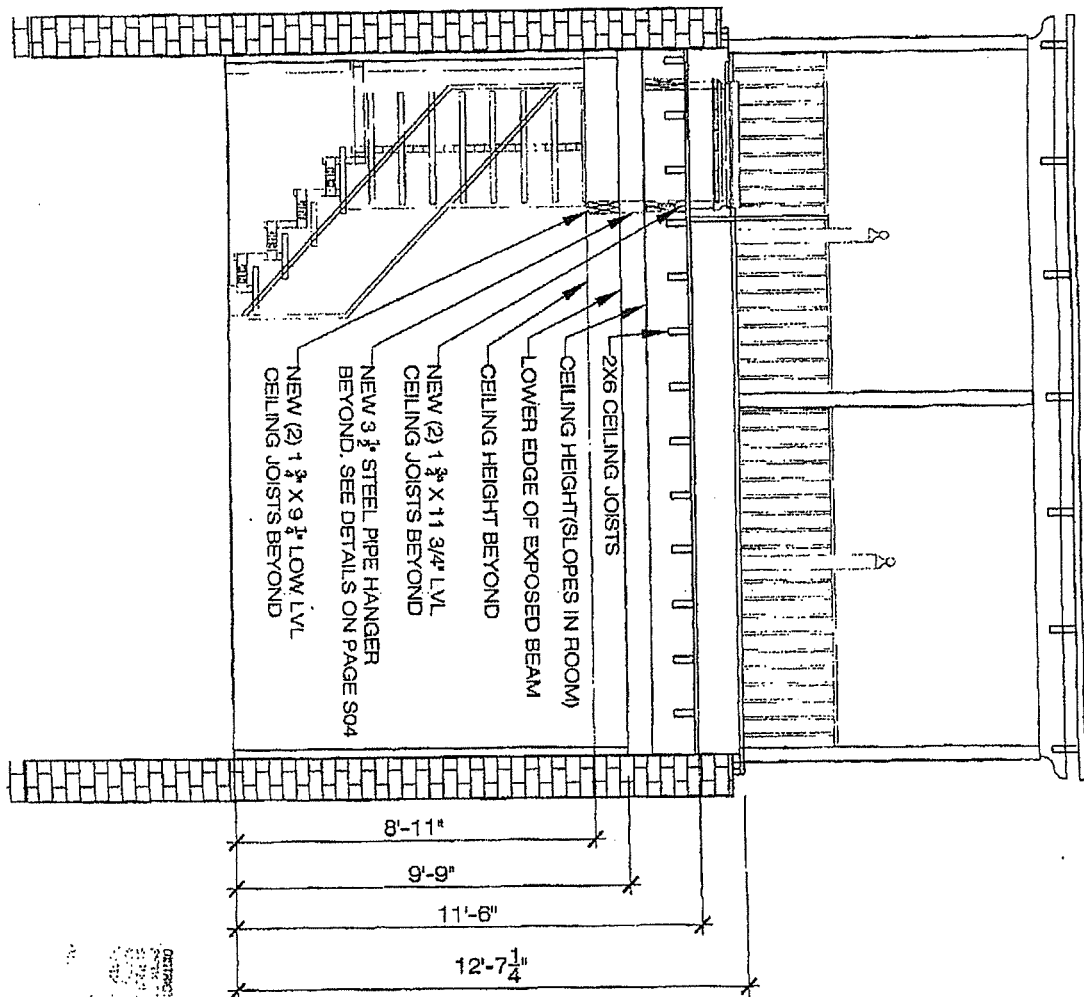
CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

RICH MARKUS ARCHITECTS
2501 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.353.2733 / 202.353.2944

PROPOSED
ROOFTOP
SECTIONS

 A203 RESEARCH IN DEVELOPMENT	29 JUNE 2012 RESEARCH	5000 = 740 LOCALS	RESEARCH
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1
PROPOSED
ROOFTOP SECTION
3/16" = 1'-0"



SEP 07 2012

A204

20 JUNE 2012

3/16" = 1'-0"

DATE

REVISION

PROPOSED
ROOFTOP
SECTIONS

CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

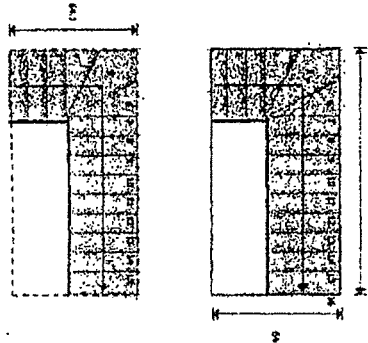
RICH MARKUS ARCHITECTS
2801 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.535.2785 / 202.333.2044

STAIRS TO BE MODULAR ARKE KOMPACT® BRAND STAIR-INSTALLED WITH THE FOLLOWING SPECIFICATIONS

Arke Personalize your Kompact

landing
floor

starting
floor



choose the colour of your
stair

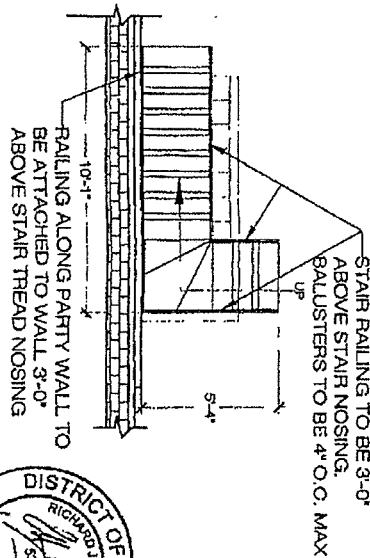
Stair details:

model	Kompact 89 L
tread number	15
rise number	15
height	10' 0"
width	11' 0"
opening opening between	8' 0"
tread width	32' 0"
final going	13' 0"
tread height	11' 0"
head room	12' 8' 1/4"

stair components:

Qty	Interplan	Code
1	Interplan 89 L	30023
3	Interplan 89 L	30024

1 PROPOSED
ACCESS STAIR AND RAILING DETAILS
N/A



1 PROPOSED
STAIR RAILING DETAILS
3/4" = 1'-0"



SEP 07 2012

CONGODON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

PROPOSED
ROOFTOP
SECTIONS

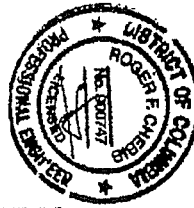
CONGODON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

RICH MARKUS ARCHITECTS
2801 P STREET NW 2ND FL
WASHINGTON DC 20037
202.533.2733 / 202.533.2944

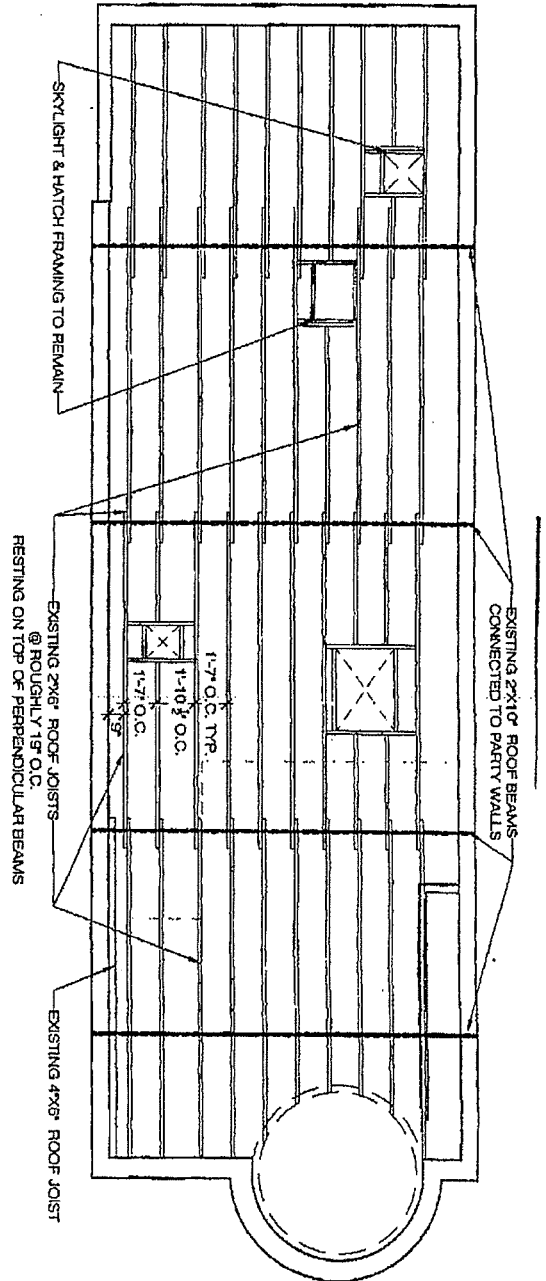
A205

29 JUNE 2012

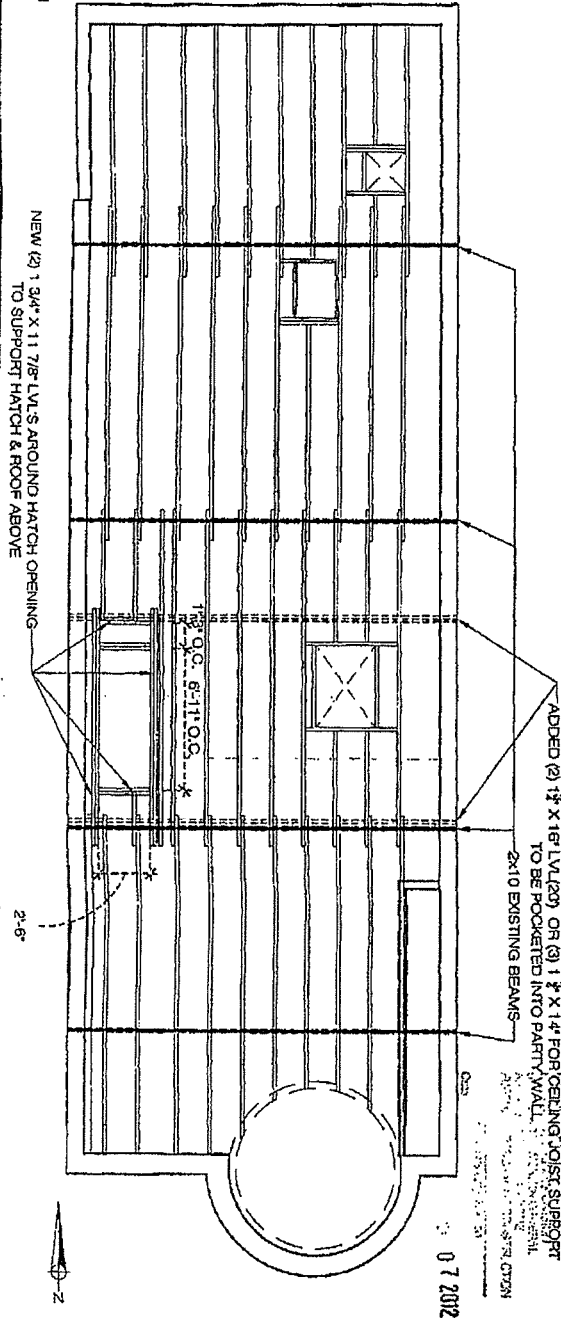
AS SHOWN



1
EXISTING
ROOF FRAMING PLAN
3/16" = 1'-0"



2
PROPOSED
ROOF FRAMING PLAN
3/16" = 1'-0"



S001

20 JUNE 2012

3/16" = 1'-0"

1/4" = 1'-0"

1/8" = 1'-0"

EXISTING &
PROPOSED
ROOF FRAMING
PLAN

CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

RICH MARKUS ARCHITECTS
2801 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.333.2735 / 202.333.2944

EXISTING 2X6" ROOF BEAMS-
CONNECTED TO PARTY WALLS

THIS CORNER-
HUNG FROM
ROOF JOIST ABOVE

EXISTING 4'X6' CEILING JOIST-
CONNECTED AT PARTY WALLS
16" O.C. TYPICAL

-ADDED (3) 1 $\frac{1}{2}$ " X 9 1/4" LVL (20') CEILING JOIST
TO BE POCKETED INTO PARTY WALLS

ADDED (2) 1 1/2" X 9 1/4" LOW LVL (15)
CEILING JOIST
TO BE POCKETED INTO EAST
PARTY WALL AND HUNG FROM
HIGH (2) 1 1/2" X 11 3/4" LVS. AT
OTHER END

HANGER-SEE DETAILS ON PAGE S04

2
PROPOSED
CEILING FRAMING PLAN
3/18" = 1'-0"

EXISTING 4"x6" CEILING JOIST
CONNECTED AT PARTY WALLS
16" O.C. TYPICAL

NEW (2) 1 3/4" X 9 1/4" LVL'S
TO BE ATTACHED TO NEW CEILING
JOISTS WITH JOIST HANGER. SEE DETAILS ON S004

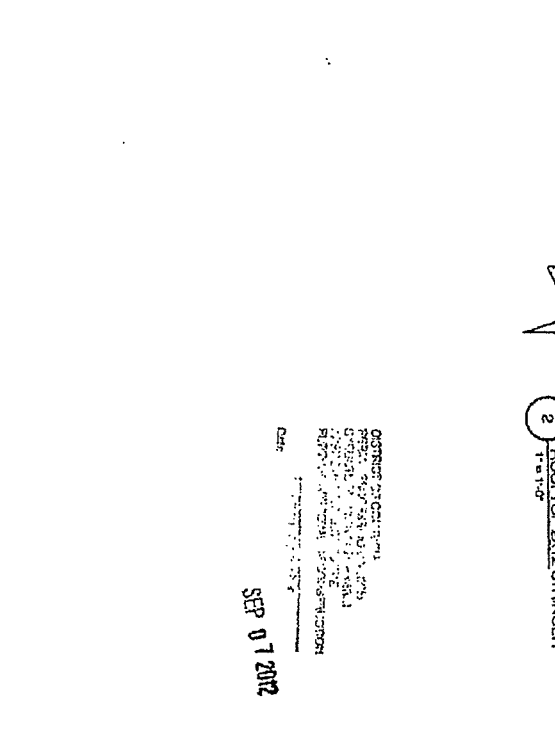
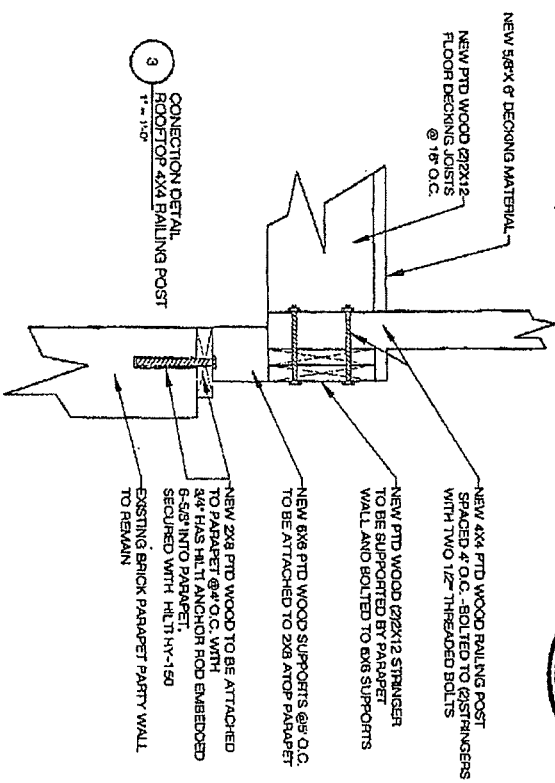
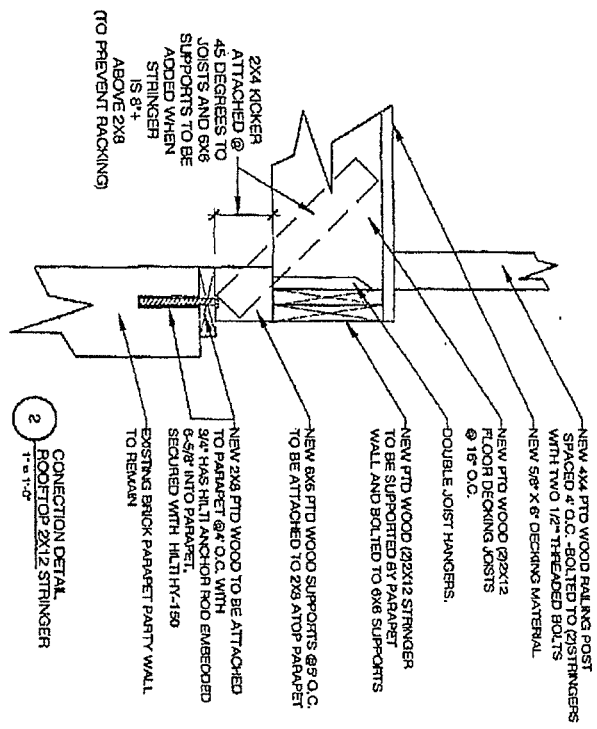
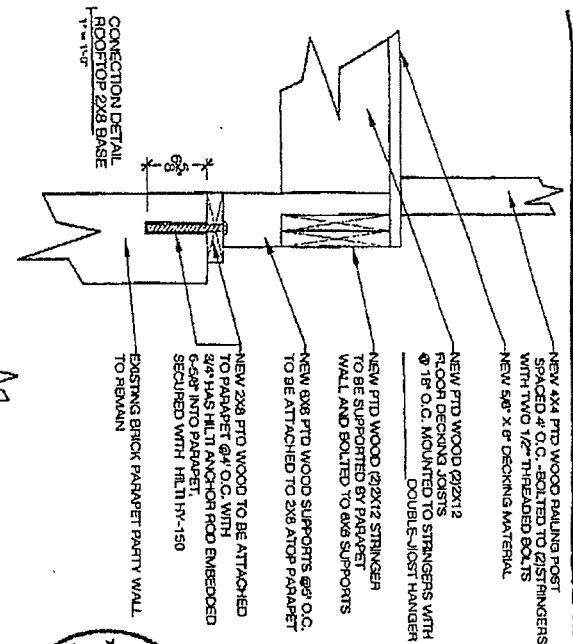
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07 2012

EXISTING &
PROPOSED
CEILING
FRAMING PLAN

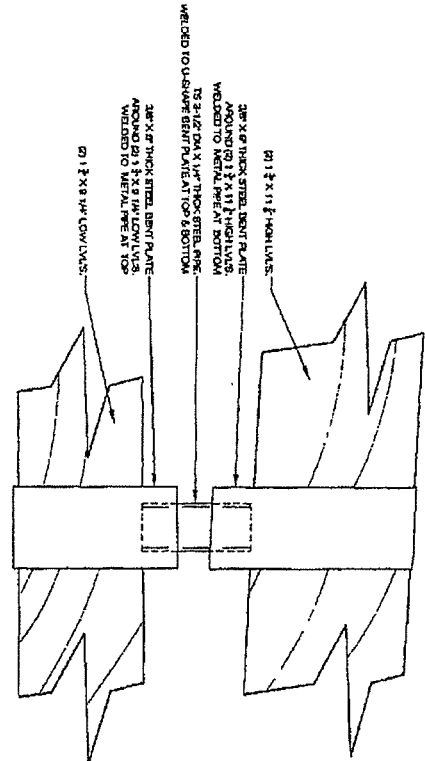
CONGDON ROOFTOP
DECK
2117 N STREET NW #4
WASHINGTON, DC, 20037

RICH MARKUS ARCHITECTS
2801 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.333.2733 / 202.333.2944



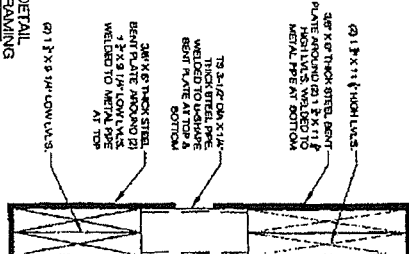
DISTRICT OF COLUMBIA
 PROFESSIONAL ENGINEER
 ROBERT F. CHUBB
 LICENSE NO. 30047
 EXPIRATION DATE 12/31/2012
 DATE: SEP 07 2012

2 HANGER DETAIL
CEILING FRAMING
1-1/2" = 1'-0"



SIDE VIEW

3 HANGER DETAIL
CEILING FRAMING
1-1/2" = 1'-0"



FRONT VIEW



NEW (2) 1 3/4" X 12" LVL BEAM ATTACHED TO NEW 2X16 LVL'S

NEW HANGER-SEE DETAIL

NEW (2) 1 3/4" X 9 1/4" LOW LVL HUNG FROM 2X12 LVL ABOVE.

EXISTING 2X6 CEILING JOIST

GYP. BD CEILING

1 HANGER DETAIL
CEILING FRAMING
1-1/2" = 1'-0"

JUN 01 2012

SO4

CEILING HANGER DETAIL

CONGDON ROOFTOP DECK
2117 N STREET NW #4
WASHINGTON, DC, 20007

RICH MARKUS ARCHITECTS
2601 P STREET NW 2ND FL
WASHINGTON D.C. 20007
202.338.2133 / 202.333.2944