



West End | Square 50

Northwest Washington, DC

BOARD OF ZONING ADJUSTMENT
JULY 06, 2012

Design Architect:

TEN ARQUITECTOS
115 5th Avenue, 3rd Floor
New York, NY 10003

Architect of Record:

WDG Architecture
1025 Connecticut Avenue, NW Suite 300
Washington, DC 20036

Owner/Developer:

EastBanc W.D.C. Partners LLC
3307 M Street, NW
Washington, DC 20007

Civil:

Wiles Mensch Corporation
1424 K Street NW, Suite 302
Washington, DC 20005

Landscape:

Oehme, van Sweden & Associates, Inc.
800 G Street, SE
Washington, DC 20003

MEP:

Cosentini
2 Pennsylvania Plaza
New York, NY 10121

Structural:

Tadger Cohen Edelson Associates, Inc.
1109 Spring Street
Silver Spring, MD 20910

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:20

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18456
EXHIBIT NO. 7

Board of Zoning Adjustment
District of Columbia
CASE NO.18456
EXHIBIT NO.9

Sheet Name

03	Site Photographs. Aerial View
04	Site Photographs
05	Site Photographs
06	Site Photographs
06	Site Photographs
07	Program Diagram_Current
08	West Elevation
09	East Elevation
10	South Elevation
11	Perspective View
12	EW Section
13	NS Section
14	Cellar 1 Plan
15	Ground Floor Plan
16	2nd Floor Plan
17	3rd/3M Floor Plan
18	Alternate 3rd/3M Floor Plan
19	4th and Typ. 5th-9th Floor Plan
20	Alternate 4th Level Plan
21	PH and Roof Plan
22	Zoning Analysis
23	Roof Structure setback
24	Roof EW Section
25	Roof NS Section
26	Volume Roof Structure
27	Volume EW Section
28	Volume NS Section
29	Open Space
30	Site Constraints
31	Parking
32	Alternate Parking
33	Street Loading Regulation
34	Alternate Street Loading Regulation
35	Open Courts
36	Summary of Variances Requested

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:20



Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

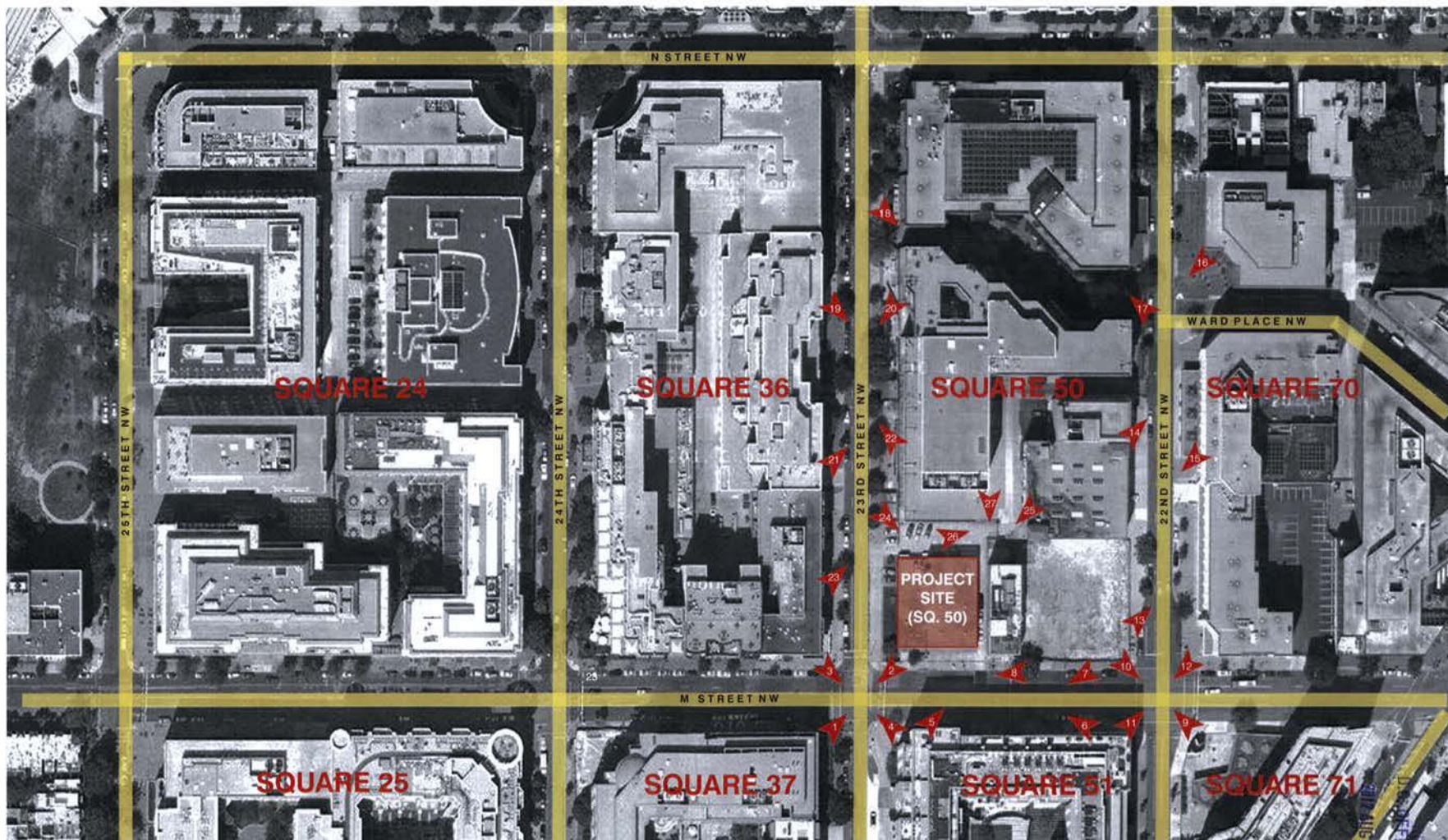
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

AERIAL VIEW

3



Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Site Photograph

RECEIVED
OFFICE OF ZONING
JUL 10 2012
1 PM



1. View NE toward SQ 50 from corner of 23rd & M ST NW



2. View SW toward SQ 37 from corner of 23rd & M ST NW



3. View SE toward SQ 50 from corner of 23rd & M ST NW



4. View NW toward SQ 36 from corner of 23rd & M ST NW



5. View NE toward SQ 50 from M ST NW



6. View NW toward SQ 50 from M ST NW



7. View SW toward SQ 37 from M ST NW



8. View West down M ST NW



9. View NE toward SQ 50 from corner of 22nd & M ST NW



10. View SE toward SQ 71 from corner of 22nd & M ST NW



11. View NE toward SQ 70 from corner of 22nd & M ST NW



12. View SW toward SQ37 from corner of 22nd & M ST NW



13. View NE toward SQ 70 from 22nd ST NW



14. View NE toward SQ 70 from 22nd ST NW



15. View SW toward SQ 50 from 22nd ST NW



16. View SW toward SQ 50 from 22nd ST NW

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Site Photographs

5



17. View NE toward SQ 50 from 22nd ST NW



18. View SE toward SQ 50 from 23rd ST NW



19. View SE toward SQ 50 from 23rd ST NW



20. View SW toward SQ 50 from 23rd ST NW



21. View NE towards SQ 50 from 23rd ST NW



22. View NE toward SQ 50 from 23rd ST NW



23. View NE toward SQ 50 from 23rd ST NW



24. View East toward SQ 50 from 23rd ST NW



28. View South of Alley adjacent to project site



25. View of project site from SQ 50



27. View of SQ 50 from project site

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

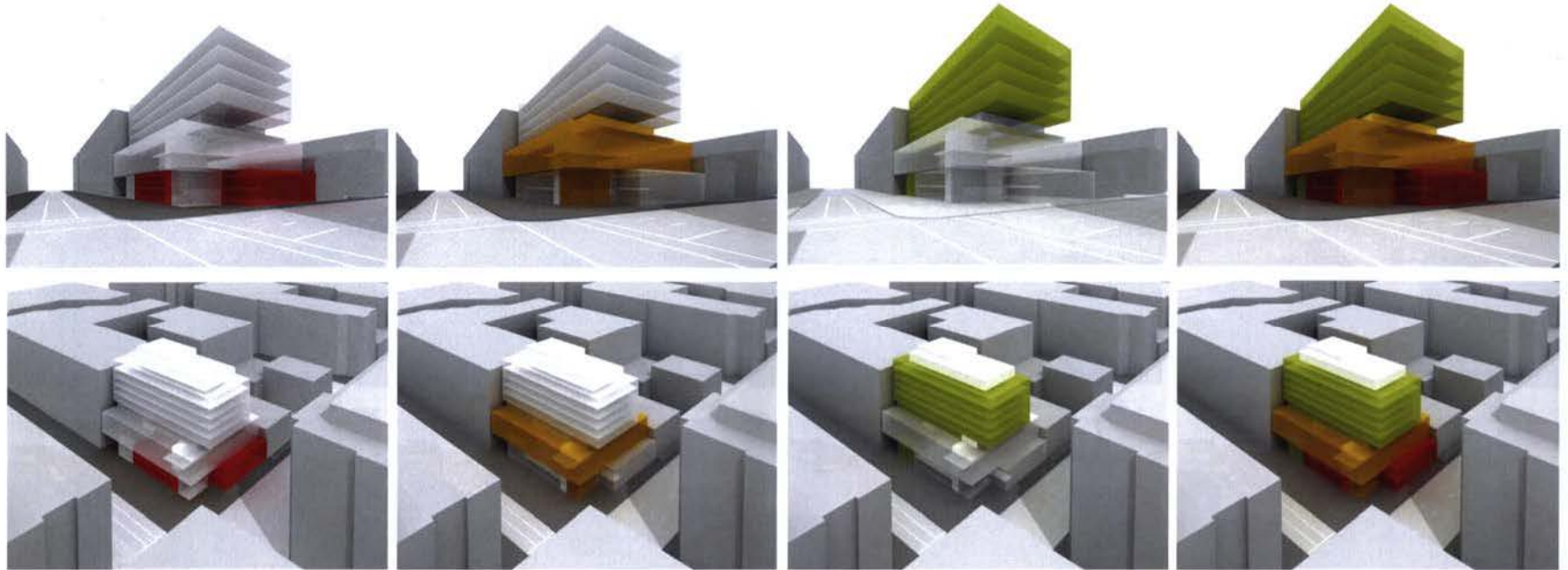
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Site Photographs

RECEIVED
OFFICE OF ZONING
JUL 11 2012
1:20 PM

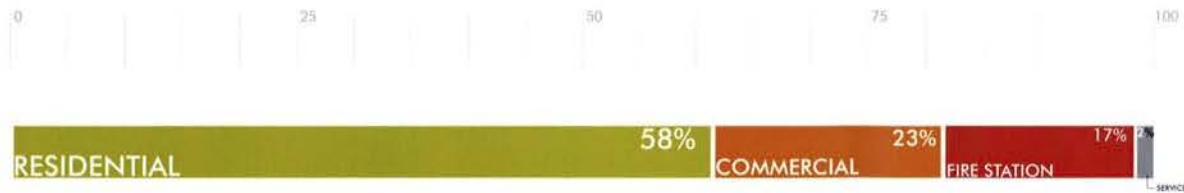


Firehouse

Squash Court

Residential

SQ 50



Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Mixed Use Program Diagram

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:20



Scale: N.T.S.

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

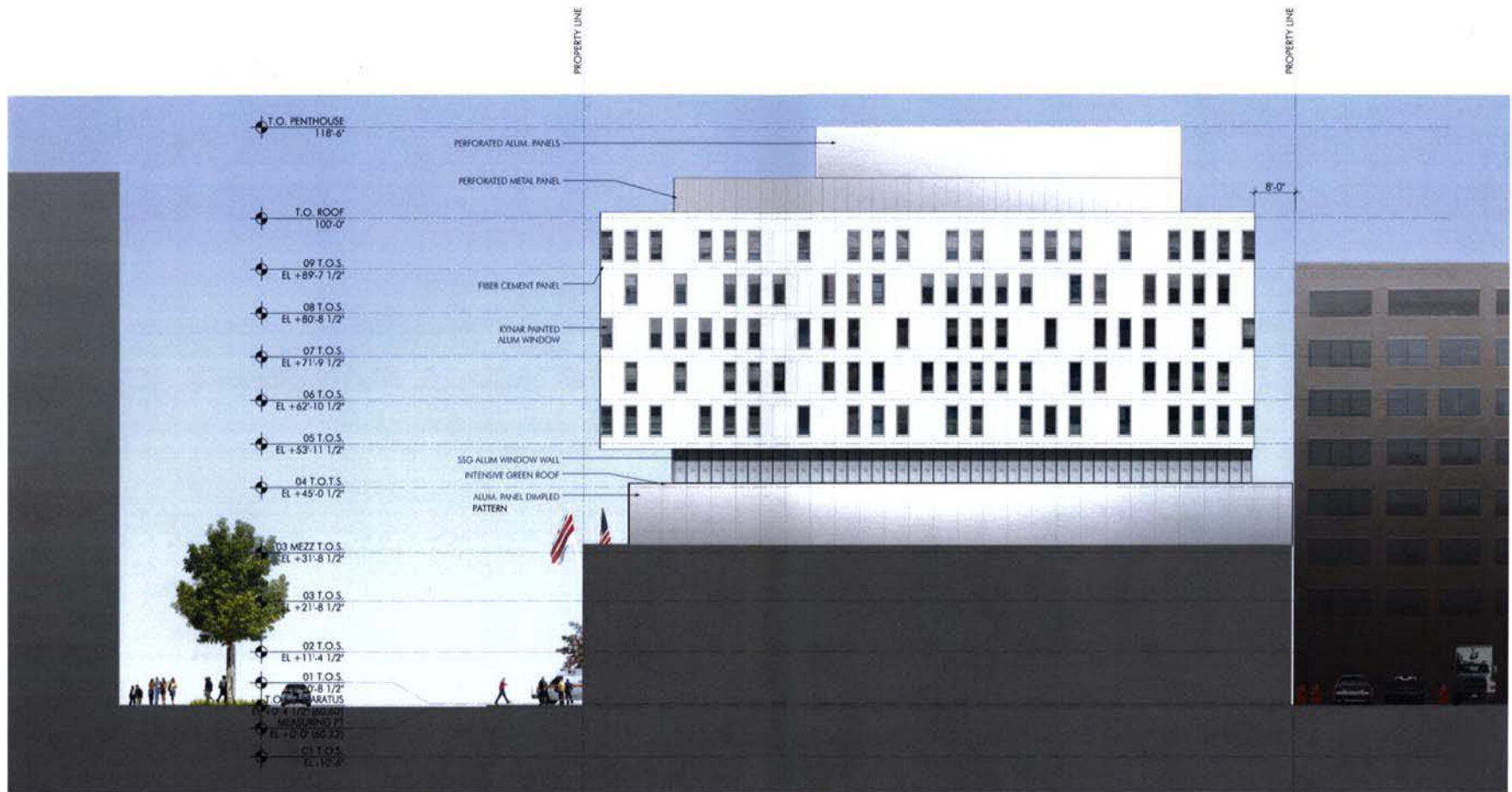
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Rendered West Elevation

8



Scale: N.T.S.

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBaric W.D.C.

West End | Square 50

Washington, DC
July 08, 2012

Rendered East Elevation

9





Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

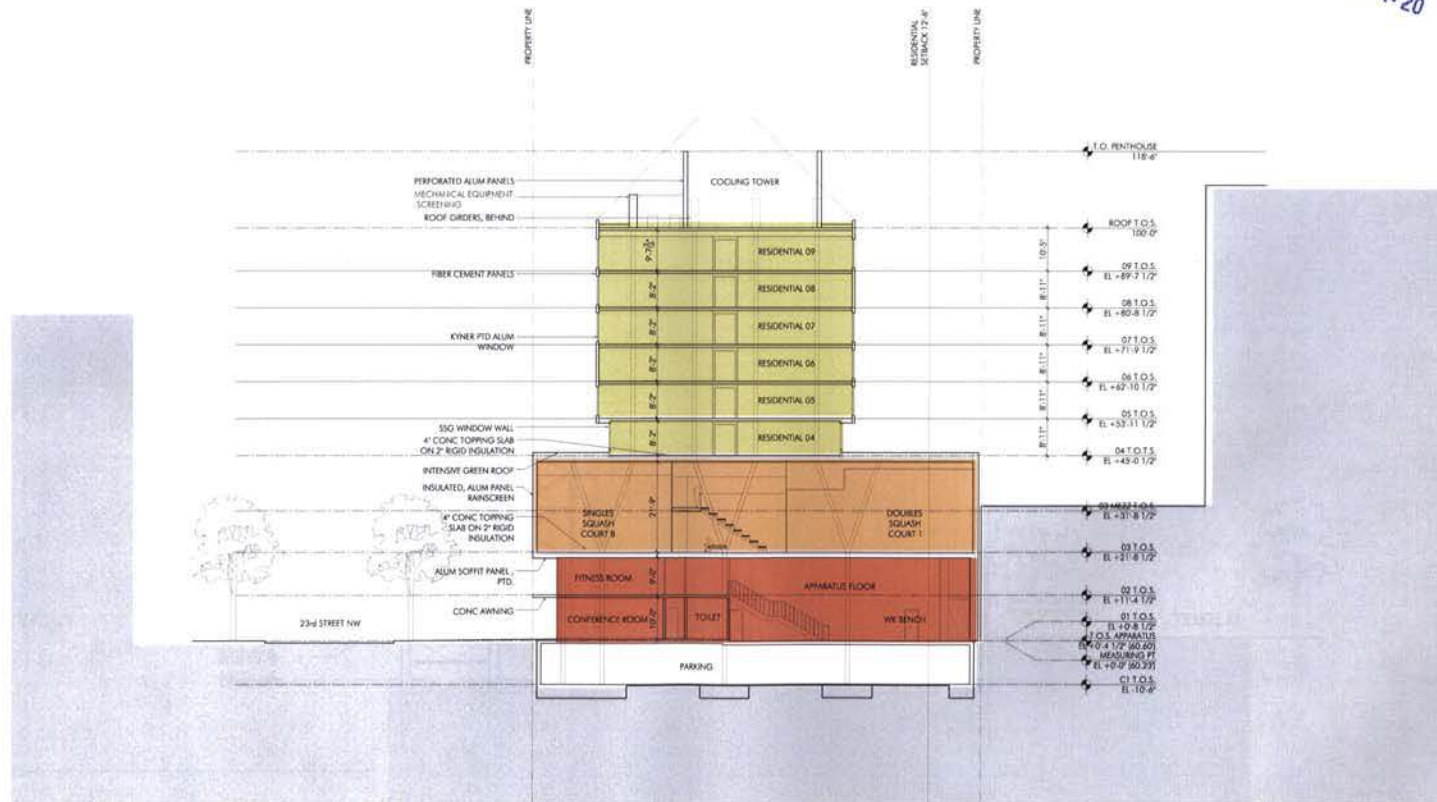
West End | Square 50

Washington, DC
July 06, 2012

Perspective View

11

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:20



Scale: 1/32" = 1'-0"

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

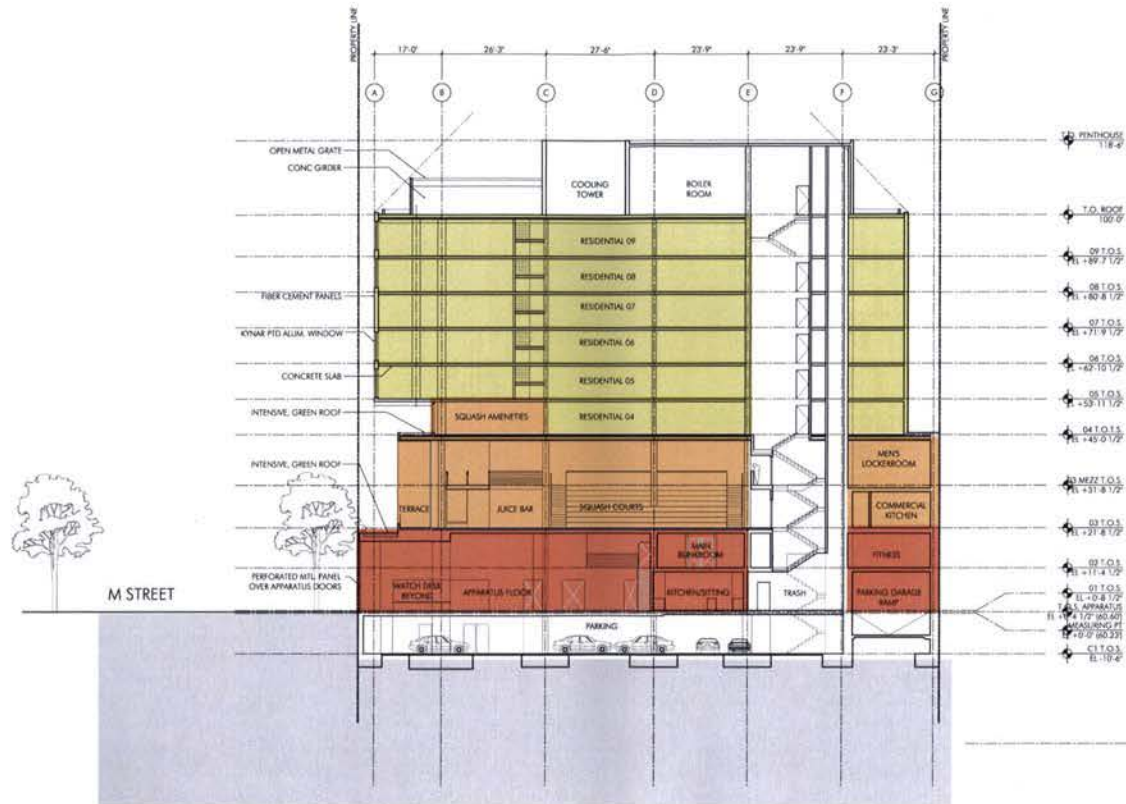
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

EW Section

12



Scale: 1/16" = 1'-0"

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

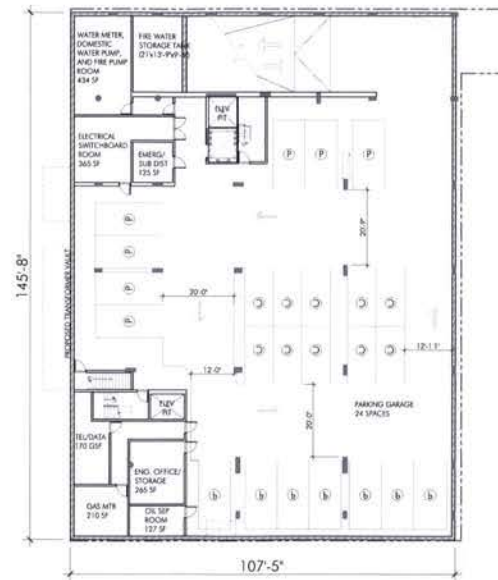
West End | Square 50

Washington, DC
July 06, 2012

NS Section

13

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:20

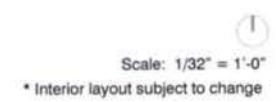


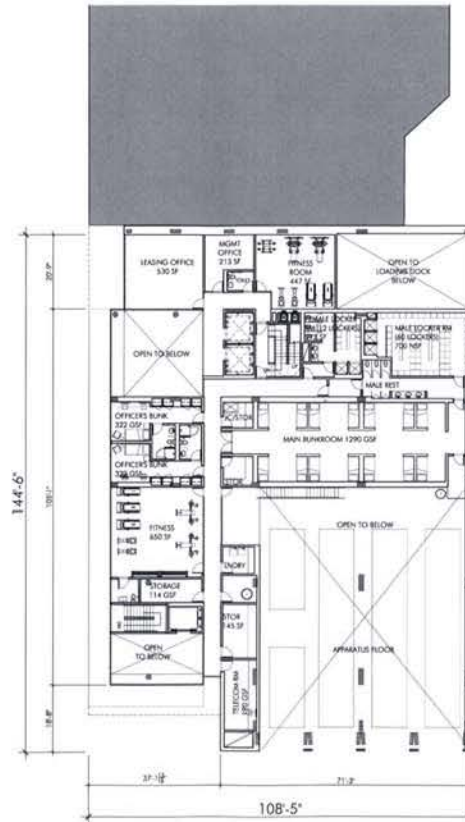
24 Parking Spaces



Scale: 1/32" = 1'-0"

* Interior layout subject to change





RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:21

Scale: 1/32" = 1'-0"

* Interior layout subject to change

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

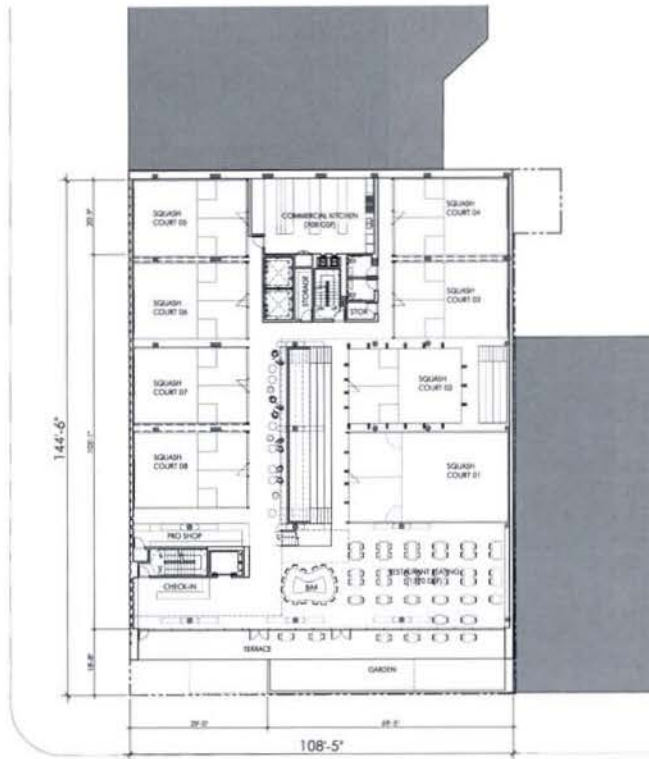
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

2nd Level Plan
FIRE STATION, RESIDENTIAL AMENITIES

16

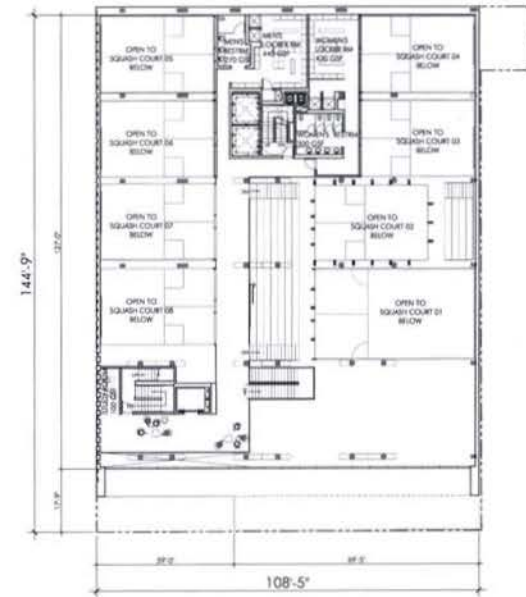


3rd Level Plan

M STREET
←

Scale: 1/32" = 1'-0"

* Interior layout subject to change



3M Level Plan

Scale: 1/32" = 1'-0"

* Interior layout subject to change

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

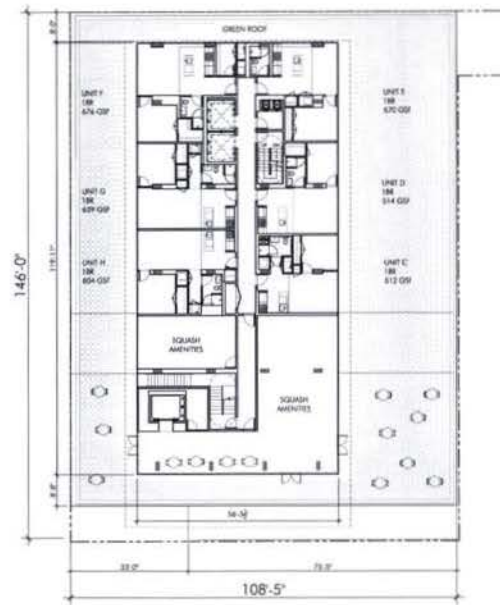
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

3rd and 3M Level Plan
RECREATIONAL

17



4th Level Plan

Scale: 1/32" = 1'-0"

* Interior layout subject to change



5th-9th Level Plan

Scale: 1/32" = 1'-0"

* Interior layout subject to change

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

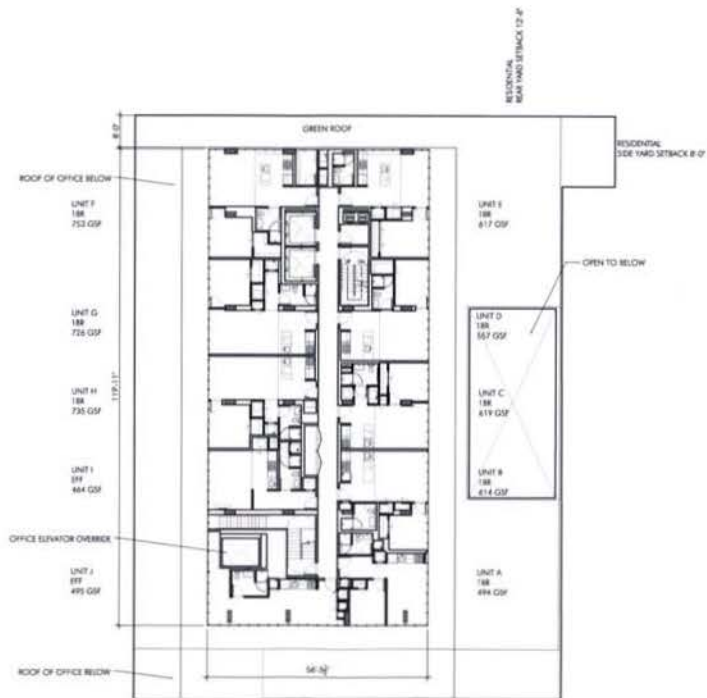
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

4th and Typ. 5th-9th Level Plan
RESIDENTIAL, RECREATIONAL AMENITIES

19



RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:21



Scale: 1/32" = 1'-0"

* Interior layout subject to change

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

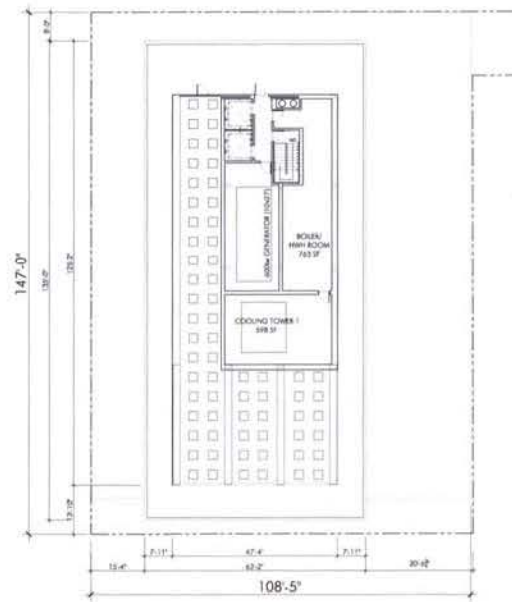
Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

4th Level Plan
ALTERNATE : RESIDENTIAL ONLY

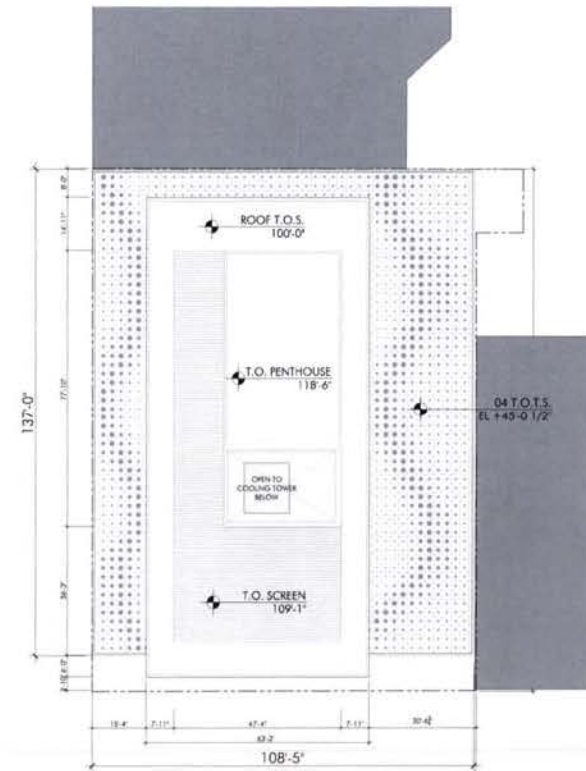
20



PH Level Plan

Scale: 1/32" = 1'-0"

* Interior layout subject to change



Roof Plan

Scale: 1/32" = 1'-0"

* Interior layout subject to change

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

PH and Roof Level Plan
MECHANICAL

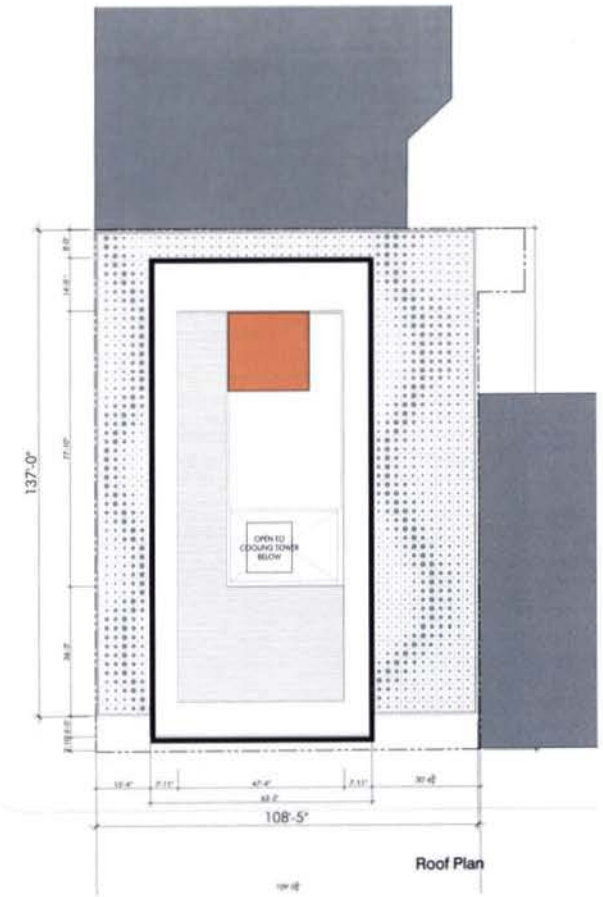
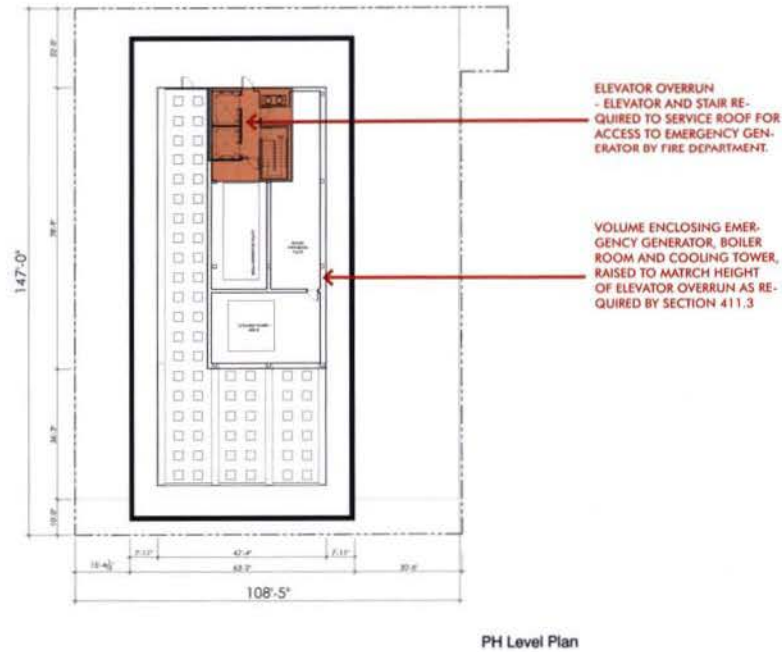
21

ZONING REGULATION AREAS OF NON COMPLIANCE

PROPOSED

ROOF STRUCTURE REQUIREMENTS						
630.4b	Setback from eel walls a distance of least equal to its height above the roof upon which it is located		DOES NOT COMPLY			
630.4 411.5	PENTHOUSE (roof structure) Enclosing walls from roof level shall be of equal height, and shall rise vertically to a roof, except as provided in 411.6					
OPEN SPACE						
633	Required Public Space at Grade: 10% of total lot area 1,624 SF required		8% 1,323 SF DOES NOT COMPLY			
PARKING REGULATIONS						
2101	USE	SPACE REQUIREMENT	CALCULATION	SPACES		
*ALTERNATE PARKING	Residential	1 per 3 dwelling units	61/3	20		
	Recreation	1 per 2000 GSF	20,597/2000 SF	10		
	Biospheres	1 space/12 seats	200 SEATS / 12	17		
	Fire Station:	In excess of 2000 SF	(14,886-2000) /1800 SF	8		
	TOTAL 55					
	24 SPACES					
	Residential	1 per 3 dwelling units	65/3	22		
	Commercial	In excess of 2000 SF	(25,560-2000)/1800 SF	13		
	1 for Each Additional 1800 GSF					
	Fire Station:	In excess of 2000 SF	(14,886-2000) /1800 SF	8		
TOTAL 43						
24 SPACES						
OFF-STREET LOADING REGULATIONS						
2201	USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES		
*ALTERNATE LOADING	RESIDENTIAL	1 @ 55' DEEP	1 @ 200 SF	1 @ 20' DEEP		
	USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES		
	RESIDENTIAL	1 @ 55' DEEP	1 @ 200 SF	1 @ 20' DEEP		
	USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES		
COMMERCIAL	1 @ 30' DEEP	1 @ 100 SF	1 @ 20' DEEP			
LOADING NOT REQUIRED FOR FIRESTATION OR RECREATION						
OPEN COURTS		(a) Height at Residential (Court 4) 55'-0" + (3in./ft.) = 13'-9" Width Required: 8'-0" Width Provided:		DOES NOT COMPLY		
AREAS OF COMPLIANCE						
HEIGHT REGULATIONS						
199.1	the vertical distance measured from the level of the curb opposite the middle of the front of the building to the highest point of the roof or parapet. Where the height of the building is permitted to be 90' or greater, the height of the buildings shall be measured to the highest point of the roof excluding parapets not exceeding 3' in height.					
630.1	90' max		100' max IZ Modification Section 2604.2	COMPLIES		
630.3	Architectural embellishments may be erected to height in excess of that stated above.					
USE REGULATIONS		*ALTERNATE				
601	USES AS A MATTER OF RIGHT (b) Fire Station (c) One-Family Dwelling, flat or multiple dwelling (d) Recreation Building		Fire Station Multiple Dwelling Recreation Building	Fire Station Multiple Dwelling Commercial Building	COMPLIES	
FLOOR AREA		*ALTERNATE				
631.1	ALLOWABLE FLOOR AREA FAR 6.0	MAX. FLOOR AREA 97,560 SF	PROPOSED FLOOR AREA: RESIDENTIAL FIRE STATION RECREATIONAL SERVICES TOTAL PROPOSED:	FLOOR AREA FAR 51,821 SF 14,886 SF 20,597 SF 1,597 SF 88,901 SF	PROPOSED FLOOR AREA: RESIDENTIAL FIRE STATION COMMERCIAL SERVICES TOTAL PROPOSED: FLOOR AREA FAR 51,821 SF 14,886 SF 25,560 S.F. 1,597 SF 93,884 SF	5.77 COMPLIES
LOT OCCUPANCY						
634	75% max at lowest level where residential uses begin		26% 4TH FLR. 4,285	COMPLIES		
SETBACKS						
636.3 637.1	REAR YARD -- 3 in./ft. of vert distance from plane where residential begins to highest point of main roof, but not less than 12' - 13.75 REQ. SIDE YARD -- NONE REQUIRED		(a) Height at Residential 100'-0" + (3in./ft.) = 100'-0" = 25'-0" - width required 30'-7" - width provided	COMPLIES		
OPEN COURTS						
638.1	(a) Residential building, except hotel	Three inches per foot (3in./ft.) of height of court, but not less than ten feet (10 ft.)	(b) Hotel and other permitted structure	Two and one-half inches per foot building (2 1/2 in./ft.) of height of court, but not less than six feet (6 ft.)	REAR YARD 2 55'-0"x(3in./ft.) Width Req. 13'-9" Width Provided: 29'-11" COURT 1 21'-0"x(2 1/2 in./ft.) Width Req. 4'-6" Width Provided: 37'-1" COURT 2 55'-0"x(3in./ft.) Width Req. 19'-6 3/4" Width Provided: 78'-6" COURT 3 55'-0"x(3in./ft.) Width Req. 13'-9" Width Provided: 129'-0"	COMPLIES

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG - 1 PM 1:21



Height of Bldgs or Structures

Section 630.1

- See 411
- Setback from exterior walls a distance at least equal to its height above the roof upon on which it is located
- 18'-6" max height.

Scale: 1/32" = 1'-0"

Scale: 1/32" = 1'-0"

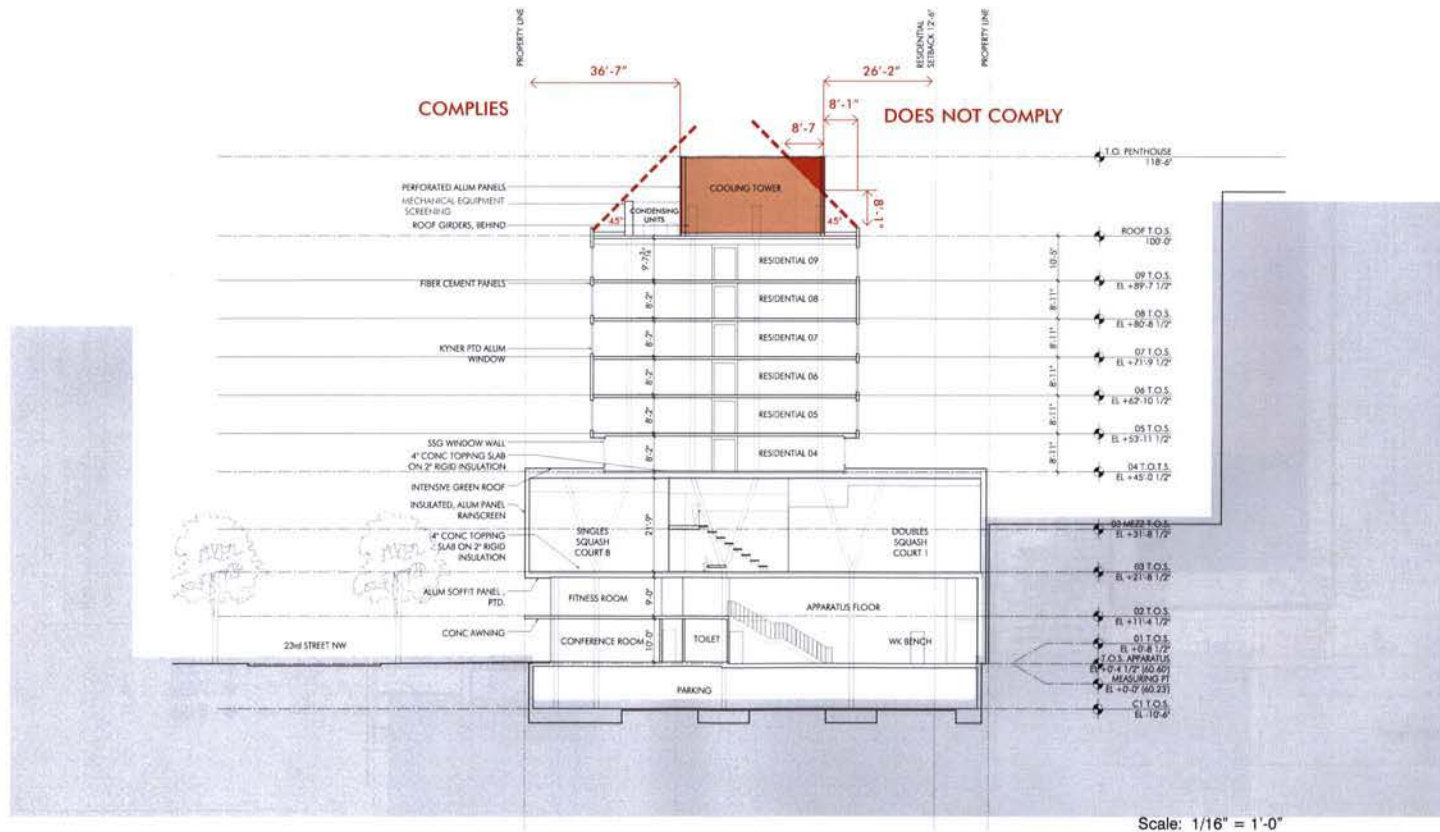
Design Architect: TEN ARQUITECTOS	Architect of Record: WDG ARCHITECTURE	Owner/Developer: EastBanc W.D.C.
--------------------------------------	--	-------------------------------------

West End | Square 50

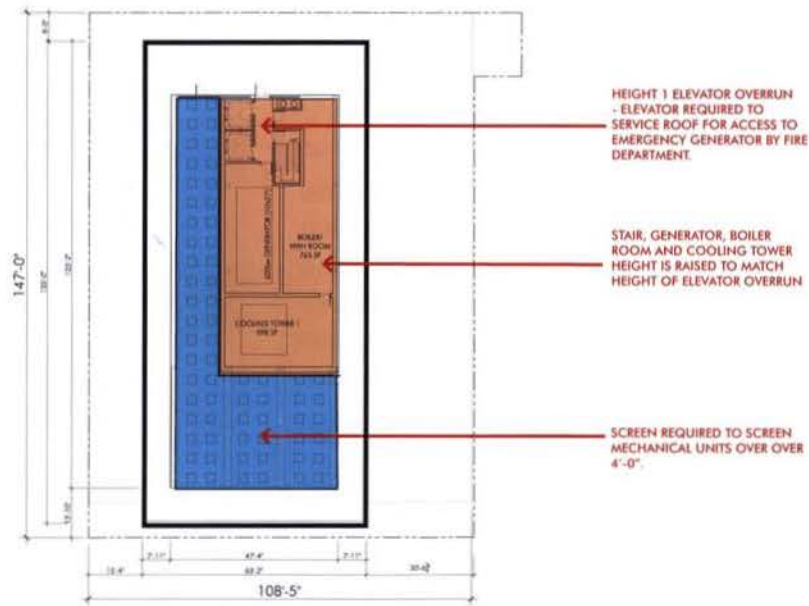
Washington, DC
July 06, 2012

Roof Structure Setback

23

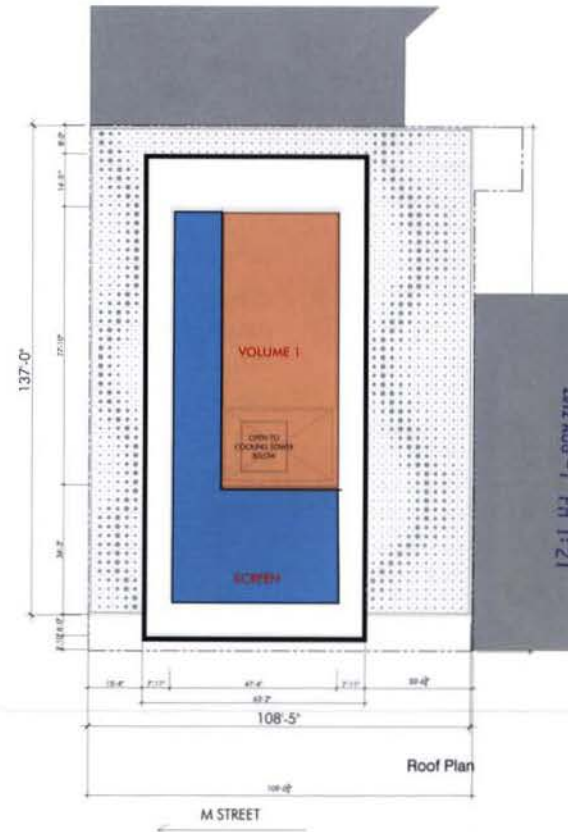


RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:21



PH Level Plan

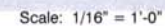
Scale: 1/32" = 1'-0"

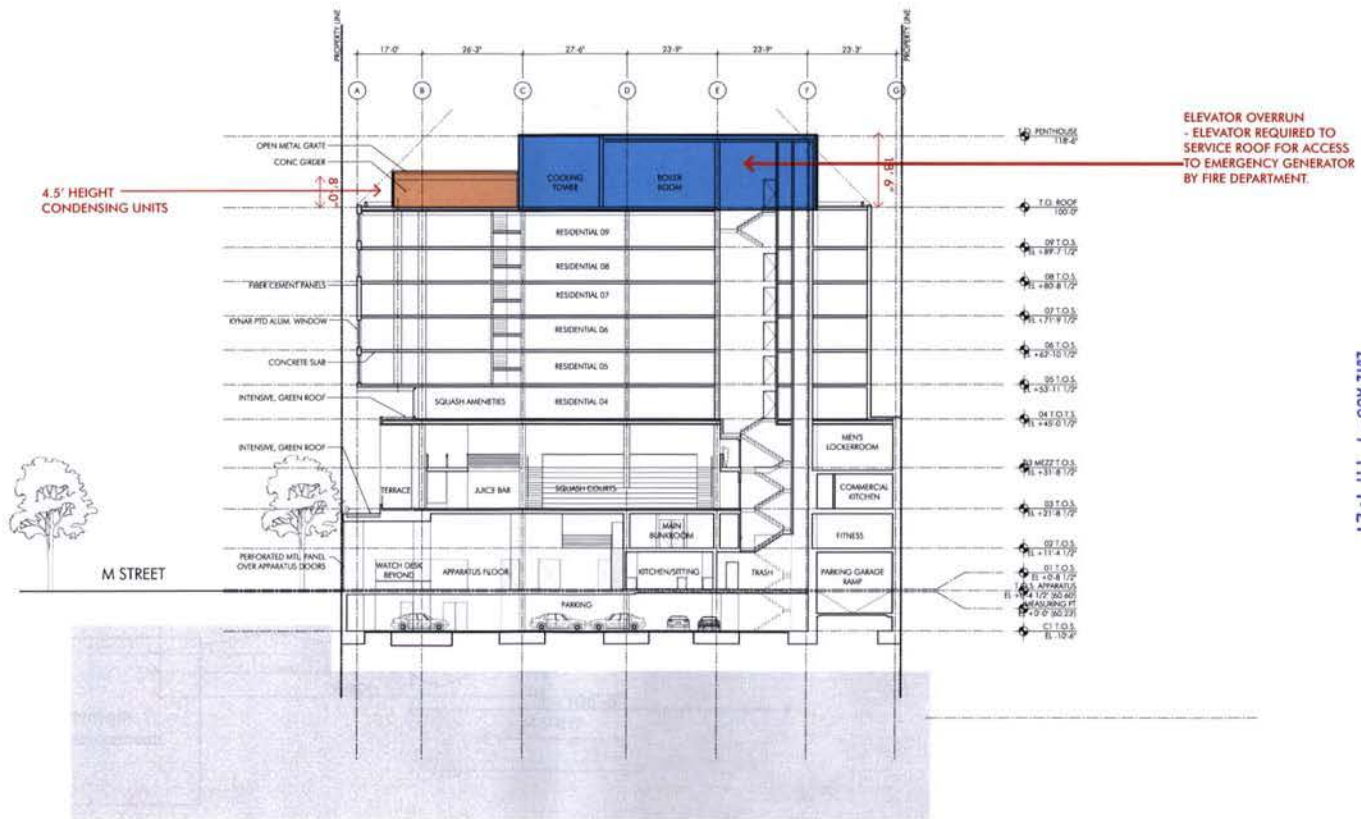


Roof Plan

Scale: 1/32" = 1'-0"

Section 411.5 Enclosing walls from roof level shall be of equal height, and shall rise vertically to a roof, except as provided in § 411.6.





RECEIVED
D.C. OFFICE OF ZONING
2012 AUG - 1 PM 1:21

FIRE DEPARTMENT 9,300 S.F.
 ENTRY 1,597 S.F.
 LOADING 844 S.F.
 RESIDENTIAL LOBBY 1,626 S.F.
 COMMERCIAL LOBBY 755 S.F.
 TRASH ROOM 569 S.F.
 UNUSABLE AREA 246 S.F.
TOTAL=14,937 S.F.

OPEN SPACE
SITE AREA 16,260 S.F.
REQUIRED 10% 1,624 S.F.
PROVIDED 8 % 1,323 S.F.

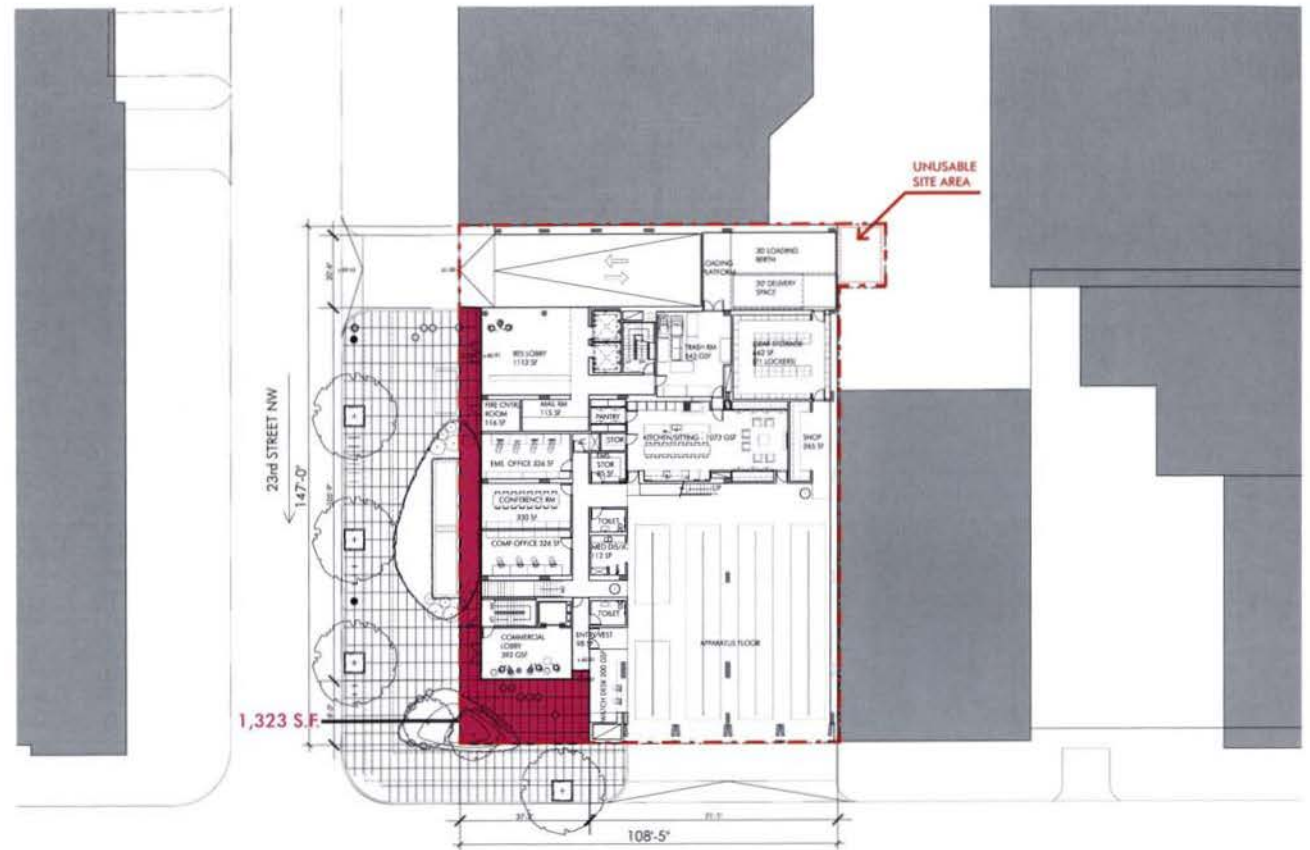
CODE SECTION
Title 11: Zoning

Open Space

633 Required Public Space at Ground Level

633.1-633.2 10% of total lot area shall be located immediately adjacent to the main entrance

633.3 Shall be open to the sky or have a min vertical clearance of 1 story or 10'



Scale: 1/32" = 1'-0"

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 08, 2012

Open Space - Ground Level Plan

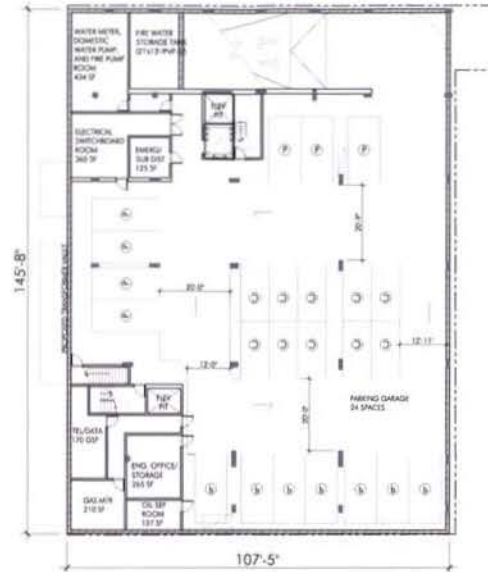
29

DOES NOT COMPLY

PARKING SPACES PROVIDED 24

PARKING REGULATIONS

Section 2101	Space REQ	Calculation	Spaces
Residential	1 per 3 Dwelling Units	61/3	20
Recreation	1 Per 2000 GSF	18,178/2000 SF	10
Recreation	Bleachers 1/12 seats	200 Seats / 12 seats	17
Firestation	SEAT EQUIVALENT TO 18" @ 300' L.F. Excess of 2000 SF 1 for Each Additional 1800 GSF	(14,866-2000)/1800SF	8
			Total 55



Scale: 1/32" = 1'-0"

Ⓐ 14 Full Size Parking Spaces
Ⓑ 10 Compact Parking Spaces

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Cellar 1 Plan
PARKING

31

RECEIVED
D.C. OFFICE OF ZONING
2012 AUG -1 PM 1:21

DOES NOT COMPLY

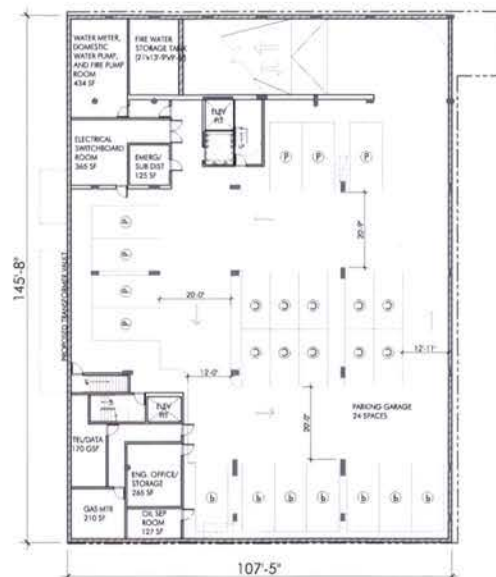
PARKING SPACES PROVIDED 24

PARKING REGULATIONS

Section 2101	Space REQ	Calculation	Spaces
Residential	1 per 3 Dwelling Units	65/3	22
Commercial	Excess of 2,000 SF, 1 for Each Additional 1,800 GSF	$(25,560-2000)/1800SF$	13
Firestation	Excess of 2000 SF 1 for Each Additional 1800 GSF	$(14,866-2000)/1800SF$	8
			Total 43

Scale: 1/32" = 1'-0"

Ⓟ 14 Full Size Parking Spaces
Ⓢ 10 Compact Parking Spaces

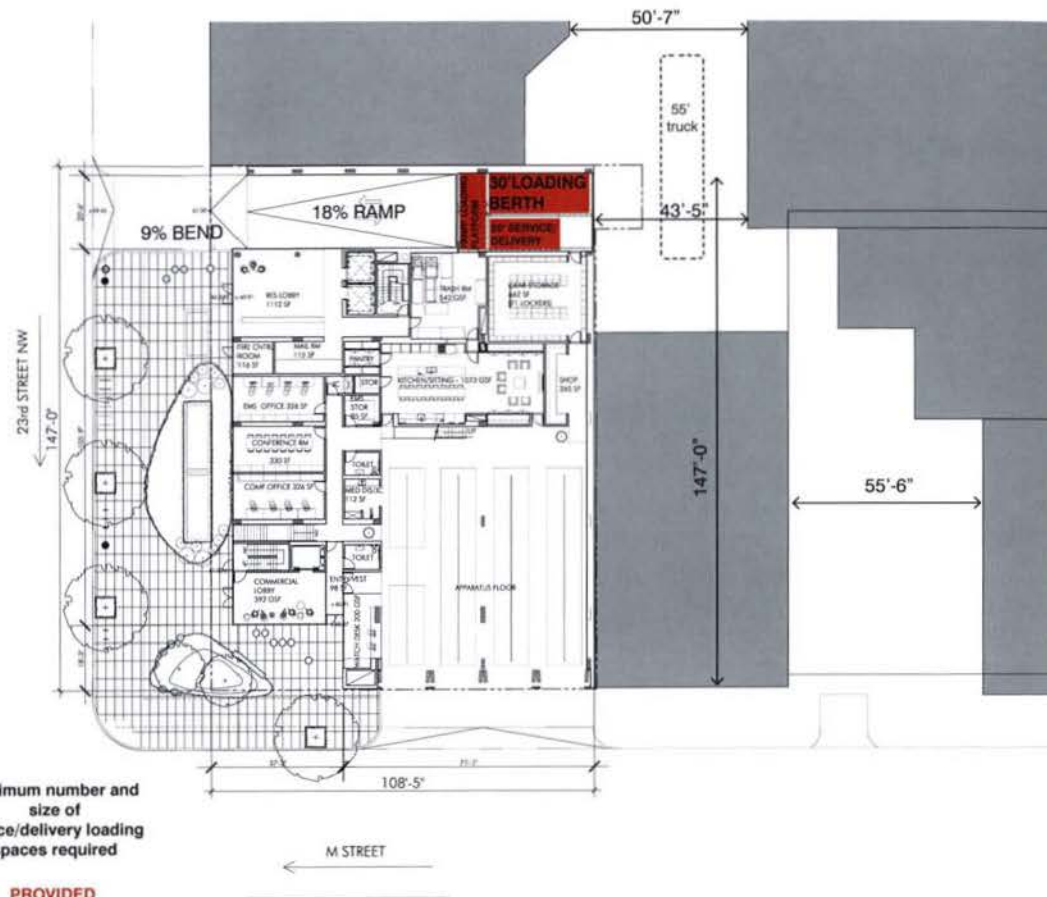


SECTION

2201 Schedule of requirements for loading berths, loading platforms, and service/delivery loading spaces.

Table 2201.1

Uses and Districts	Minimum Number and size of loading berths required.	Minimum number and size of loading platform required	Minimum number and size of service/delivery loading spaces required
Residential			
Apartment House or Multiple Dwelling with 50 or More Dwelling Units in All Districts.	NOT PROVIDED	NOT PROVIDED	PROVIDED
With 8,000 to 20,000 ft ² of gross floor area.	1@ 55 feet deep	1@ 200 ft ²	1@ 20 feet deep



Scale: 1/32" = 1'-0"

LOADING NOT REQUIRED FOR FIRESTATION OR RECREATION

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 08, 2012

Street Loading Regulation

33

SECTION

2201 Schedule of requirements for loading berths, loading platforms, and service/delivery loading spaces.

Table 2201.1

Uses and Districts	Minimum Number and size of loading berths required	Minimum number and size of loading platform required	Minimum number and size of service/delivery loading spaces required
Residential			
Apartment House or Multiple Dwelling with 50 or More Dwelling Units in All Districts.	NOT PROVIDED	NOT PROVIDED	NOT PROVIDED
With 8,000 to 20,000 ft ² of gross floor area.	1@ 55 feet deep	1@ 200 ft ²	1@ 20 feet deep
Commercial			
Office Building in W, CR, C-2-B, C-2, and C-M-1 Districts	* PROVIDED	* PROVIDED	* PROVIDED
With 20,000 to 50,000 ft ² of gross floor area.	1@ 30 feet deep	1@ 100 ft ²	1@ 20 feet deep

LOADING NOT REQUIRED FOR FIRESTATION

* Provided, but not separate from Residential

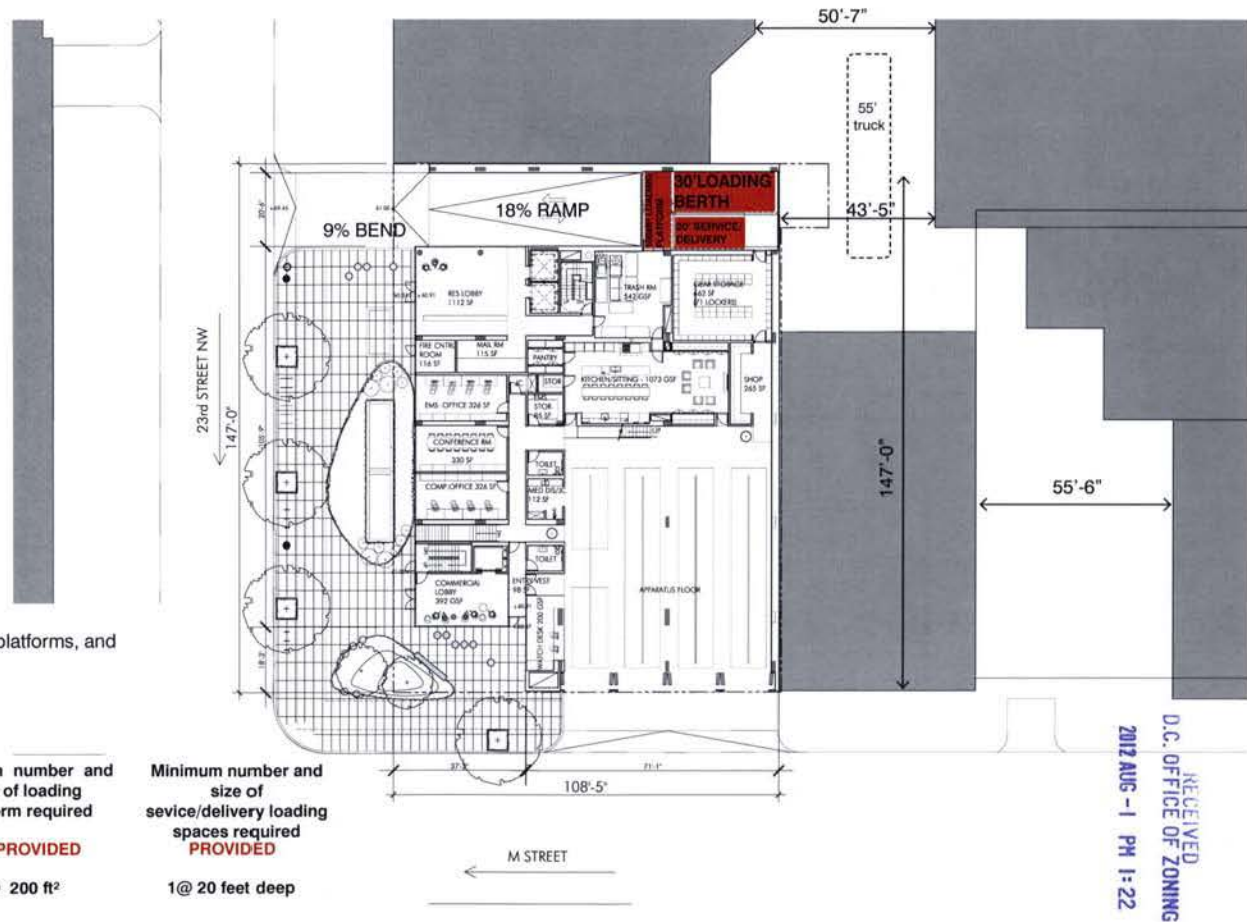
Design Architect: TEN ARQUITECTOS
 Architect of Record: WDG ARCHITECTURE
 Owner/Developer: EastBanc W.D.C.

West End | Square 50

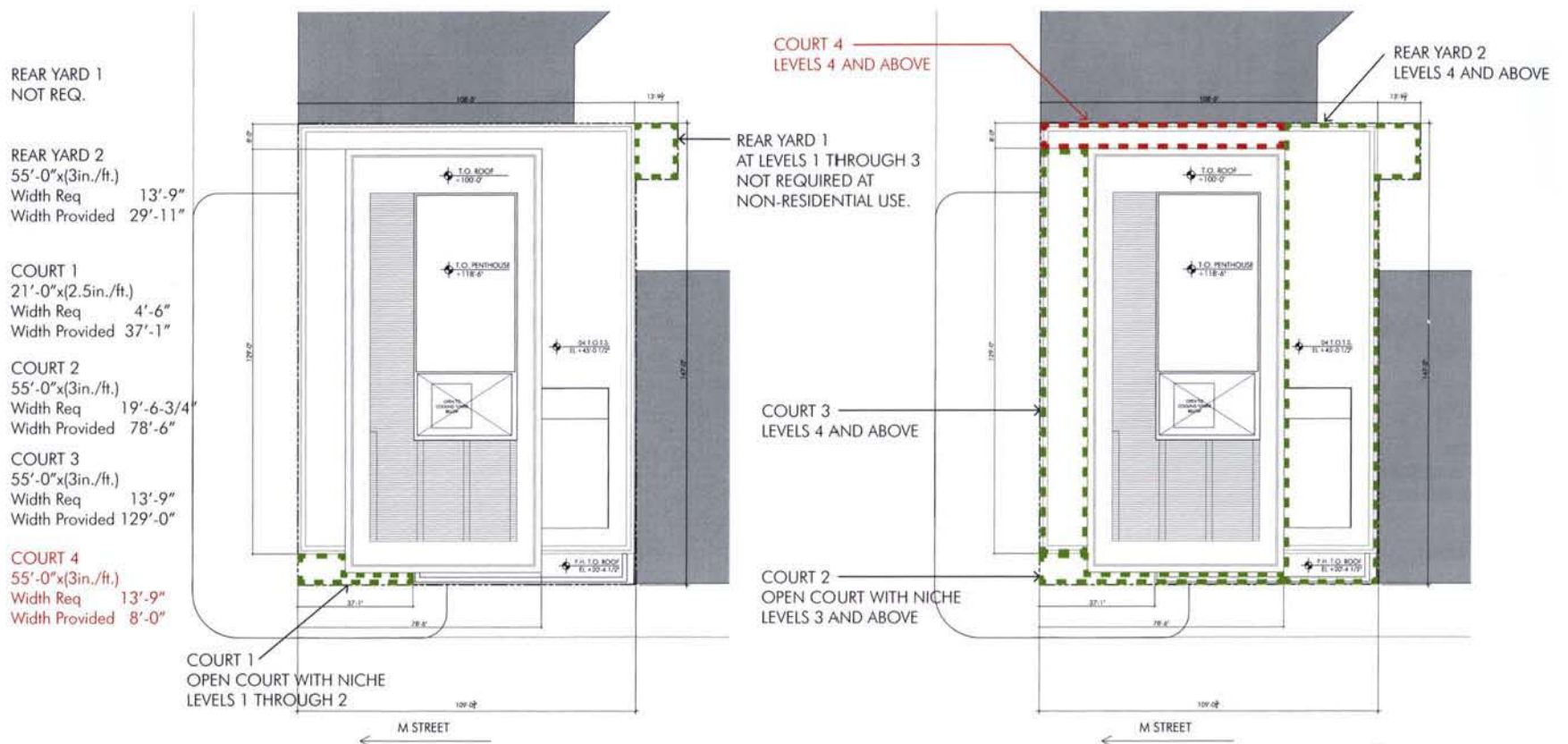
Washington, DC
 July 06, 2012

Street Loading Regulation
 ALTERNATE LOADING

34



Scale: 1/32" = 1'-0"



OPEN COURT Section 638.1

(a) Residential building,
except hotel

Width: Three inches per foot
(3in./ft.) of height of court,
but not less than ten feet (10 ft.)

(b) Hotel and other
permitted structure

Two and one-half inches per
foot building (2 ½ in./ft.) of
height of court, but not less
than six feet (6ft.)

Roof Plan
Scale: 1/32" = 1'-0"

Design Architect:
TEN ARQUITECTOS

Architect of Record:
WDG ARCHITECTURE

Owner/Developer:
EastBanc W.D.C.

West End | Square 50

Washington, DC
July 06, 2012

Open Court

35

ZONING REGULATION
Summary of Variances Requested

PROPOSED

ROOF STRUCTURE REQUIREMENTS

630.4b	Setback from ext walls a distance at least equal to its height above the roof upon which it is located
630.4	PENTHOUSE (roof structure)
411.5	Enclosing walls from roof level shall be of equal height, and shall rise vertically to a roof, except as provided in 411.6

OPEN SPACE

633	Required Public Space at Grade: 10% of total lot area 1,624 SF required
-----	---

8%
1,323 SF

PARKING REGULATIONS

*ALTERNATE PARKING	Residential	1 per 3 dwelling units	61/3	20
	Recreation	1 per 2000 GSF	20,597/2000 SF	10
		Bleachers 1 space/12 seats	200 SEATS / 12	17
	Fire Station	In excess of 2000 SF	(14,886-2000) /1800 SF	8
			TOTAL	55
	Residential	1 per 3 dwelling units	65/3	22
	Commercial	In excess of 2000 SF	(25,560-2000)/1800 SF	13
		1 for Each Additional 1800 GSF		
	Fire Station	In excess of 2000 SF	(14,886-2000) /1800 SF	8
			TOTAL	43

24 SPACES

24 SPACES (All parking spaces to be allocated to fire station)

OFF-STREET LOADING REGULATIONS

*ALTERNATE LOADING	2201	USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES
		RESIDENTIAL	1 @ 55' DEEP	1 @ 200 SF	1 @ 20' DEEP
		USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES
		RESIDENTIAL	1 @ 55' DEEP	1 @ 200 SF	1 @ 20' DEEP
		USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES
		COMMERCIAL	1 @ 30' DEEP	1 @ 100 SF	1 @ 20' DEEP
		USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES
		RESIDENTIAL	1 @ 55' DEEP	1 @ 200 SF	1 @ 20' DEEP
		USE	LOADING BERTHS	LOADING PLATFORMS	DELIVERY SPACES
		COMMERCIAL	1 @ 30' DEEP	1 @ 100 SF	1 @ 20' DEEP

LOADING BERTHS LOADING PLATFORMS DELIVERY SPACES

1 @ 30' DEEP 1 @ 100 SF 1 @ 20' DEEP

LOADING BERTHS LOADING PLATFORMS DELIVERY SPACES

1 @ 30' DEEP 1 @ 100 SF 1 @ 20' DEEP

OPEN COURTS

638.1

(a) Residential building, except hotel	Width: Three inches per foot (3in./ft.) of height of court, but not less than ten feet (10 ft.)	(COURT 4) 55'-0" x (3in./ft.) = 13'-9" Width Required
--	---	---

8'-0"
Width Provided

RECEIVED
P.C. OFFICE OF ZONING
2012 AUG -1 PM 1:22