



## GEORGETOWN EXTERIOR RENOVATION

streetsense.

streetsense,  
4800 East West Highway  
Suite 800  
Bethesda, Maryland 20814  
301.652.9020 ph - 301.652.9166 fx

**SHOPHOUSE**

NOTES

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D.C. OFFICE OF ZONING  
2012 APR 26 PM 12:49

PROFESSIONAL SEAL

SEALED BY: HERBERT HEDERMAN

PROFESSIONAL CERTIFICATION I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF WASHINGTON, DISTRICT OF COLUMBIA (LICENSE NUMBER: ARCH042, EXPIRATION DATE: 04/30/2013).

SUBMITTALS

| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 03/13/12 |
| 2    | DOB COMMENT RESPONSE | 04/17/12 |
|      |                      |          |
|      |                      |          |

**GEORGETOWN**

2805 M STREET, NW  
WASHINGTON, DC 20007

COVER SHEET

| SCALE  | MANAGER          | FLOOR  |
|--------|------------------|--------|
| 1"=10' | HERBERT HEDERMAN | 1 OF 1 |
|        |                  |        |
|        |                  |        |

Board of Zoning Adjustment  
District of Columbia  
CASE NO. 18402  
EXHIBIT NO. 10

### BUILDING & TENANT INFORMATION

|                                                                                    |                                                                                                                                                                                                                                                                                                                                                                |                                                                                    |  |
|------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|--|
| SCOPE OF WORK                                                                      | EXTERIOR RENOVATION INCLUDES THE FOLLOWING:<br>* EXISTING STOREFRONT TO BE REPAIRED AND/OR REPLACED WITH IN-KIND PROFILES AND MATERIALS<br>* EXCLUDE THE NON-COMFORMING OPEN SPACE ON THE FIRST FLOOR ON THE NORTHEAST CORNER. PROVIDE A 1-STORY ADDITION TO HOUSE A FUTURE KITCHEN<br>* RELOCATE THE EXISTING COOLER AND HEAVY SERVICE DOOR AT THE BACK ALLEY |                                                                                    |  |
| EXISTING BUILDING                                                                  | EXISTING SPACE                                                                                                                                                                                                                                                                                                                                                 | PROPOSED ALTERATION                                                                |  |
| ADJACENT                                                                           | DISTRICT OF COLUMBIA                                                                                                                                                                                                                                                                                                                                           |                                                                                    |  |
| ZONING                                                                             | C-2-A                                                                                                                                                                                                                                                                                                                                                          |                                                                                    |  |
| CODE                                                                               |                                                                                                                                                                                                                                                                                                                                                                | DC CODE SUPPLEMENT<br>2008<br>BIC 2006<br>SPC 2006<br>MFC 2008<br>NEC 1996         |  |
| OCCUPANCY CLASSIFICATION (BIC)                                                     | MIXED                                                                                                                                                                                                                                                                                                                                                          | A-2/B                                                                              |  |
| OCCUPANCY CLASSIFICATION (MFC)                                                     | MIXED                                                                                                                                                                                                                                                                                                                                                          | ASSEMBLY                                                                           |  |
| TYPE OF CONSTRUCTION                                                               | V-B                                                                                                                                                                                                                                                                                                                                                            | V-B                                                                                |  |
| SEPARATED MIXED USE (BIC/MFC)                                                      | YES                                                                                                                                                                                                                                                                                                                                                            | YES                                                                                |  |
| GROSS LOT FOOTPRINT = 1,905 SF PER SURVEY                                          |                                                                                                                                                                                                                                                                                                                                                                | 1ST FLOOR GROSS = 1,850 SF<br>2ND FLOOR GROSS = 1,497 SF<br>TOTAL GROSS = 3,347 SF |  |
| 1ST FLOOR GROSS = 1,850 SF<br>2ND FLOOR GROSS = 1,497 SF<br>TOTAL GROSS = 3,347 SF | 1ST FLOOR GROSS = 1,850 SF                                                                                                                                                                                                                                                                                                                                     | NEW F.A.R. = 1.75<br>INCREASE OF 3%                                                |  |
| EXISTING F.A.R. = 1.67                                                             |                                                                                                                                                                                                                                                                                                                                                                |                                                                                    |  |
| HIGH RISE OR COVERED WALK                                                          | NO                                                                                                                                                                                                                                                                                                                                                             | NO                                                                                 |  |
| NUMBER OF STORIES                                                                  | 2 ABOVE, 1 BELOW                                                                                                                                                                                                                                                                                                                                               | 1 ABOVE, 1 BELOW                                                                   |  |
| FULLY SPRINKLERED & MONITORED                                                      | NO                                                                                                                                                                                                                                                                                                                                                             | NO                                                                                 |  |
| FIRE ALARM SYSTEM                                                                  | NO                                                                                                                                                                                                                                                                                                                                                             | YES                                                                                |  |
| ENTRANCE                                                                           | 2                                                                                                                                                                                                                                                                                                                                                              | 2                                                                                  |  |

### DIRECTORY

OWNER  
SHOPHOUSE  
311 S. CHERRY GROVE AVENUE  
SUITE 101  
ANAPOLIS, MARYLAND 21401  
ATTN: CARL HENDER

OWNER  
3000 2ND ST SW, SUITE 101  
WASHINGTON, DC 20007  
ATTN: MATT NEIDER

ARCHITECT  
STREETSENSE  
4800 EAST WEST HIGHWAY  
SUITE 800  
BETHESDA, MARYLAND 20814  
ATTN: SHARLEA FRANKLIN  
PH: (202) 679-7219  
FX: (202) 652-9166  
WWW.STREETSENSE.COM

STRUCTURAL ENGINEER  
ERLEY-ORR  
1451 DOLLEY WAGSON BOULEVARD  
NOLAN, VIRGINIA 22071  
ATTN: WAYNE ORR  
PH: (703) 827-8552  
FX: (703) 396-2039  
WWW.ERLEY-ORR.COM

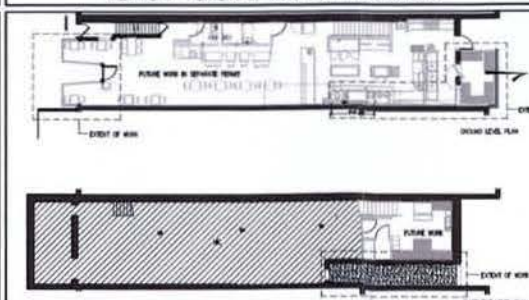
BOARD OF ZONING ADJUSTMENT  
District of Columbia

CASE NO. 18402  
EXHIBIT NO. 10

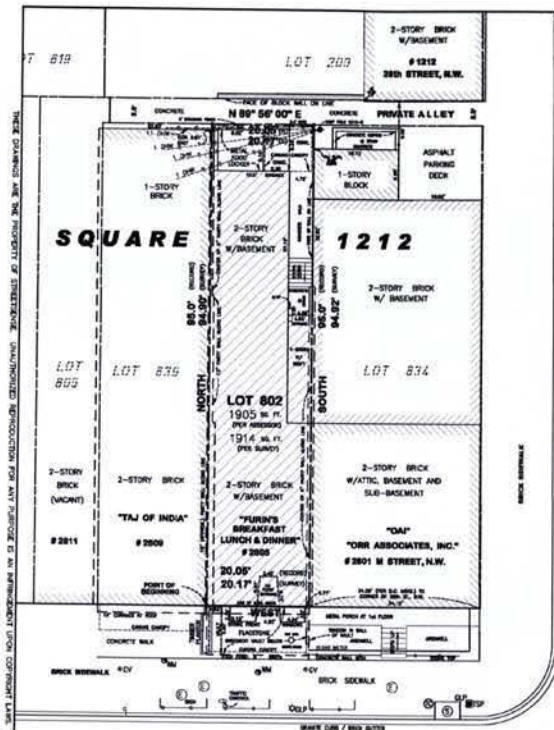
### SITE PLAN



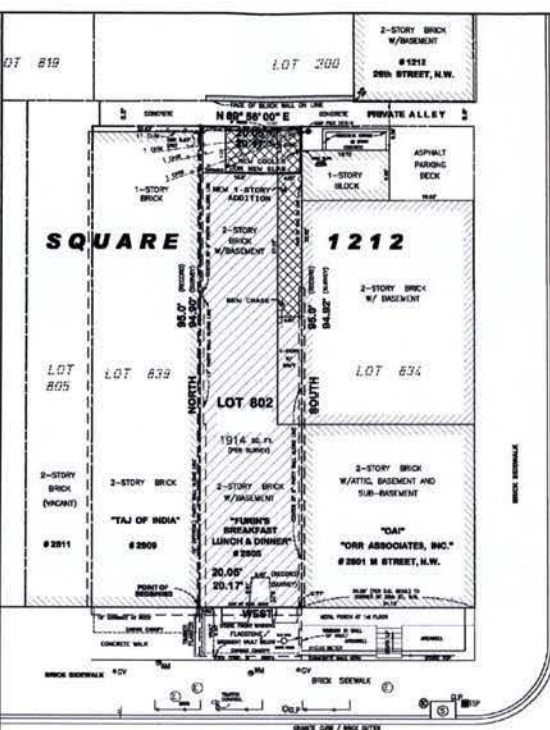
### KEY PLAN - EXTENT OF WORK FOR THIS SUBMISSION







28th STREET, N. W.  
(EXIST. WIDE PUBLIC STREET)



28th STREET, N. W.  
(EXIST. WIDE PUBLIC STREET)

- GENERAL NOTES**
- Total Area: 1,869 Sq. Ft. (0.04273 Ac. (Per Assessor))  
1,914 Sq. Ft. (0.04384 Ac. (Per Survey))
  - Property shown among the Records of the D.C. Surveyor's Office as follows:  
Survey Block 41 - Page 141  
Survey Block 147 - Page 482  
Survey Block 150 - Page 238  
Assessment and Taxation Tracing No. 1312
  - Property Zoned: "C-3-A"  
Minimum Building Setback Requirements in "C-3-A" Zone per current (February 2009) District of Columbia Zoning Ordinance:  
Front: ..... No Setback Required.  
Side: ..... Not less than 6 feet.  
Rear: ..... 15-foot Minimum
  - The property shown herein does not lie within any Special Flood Hazard Area as established by the U.S. Federal Emergency Management Agency, National Flood Insurance Program, Flood Insurance Rate Maps, Community Panel No. 1106010019C effective date September 27, 2019.
  - American Land Title Insurance Company Commitment for Title Insurance No. 9-7234, effective date December 24, 2019, was received, examined and relied upon in preparing this survey.
  - Property corner markers not installed by this survey unless otherwise indicated.
  - Secondary information shown herein was obtained from official City records and verified in the field insofar as possible. Property line dimensions from official records may not necessarily agree with actual measure dimensions. All property lines in the District of Columbia are subject to change by the Office of the Surveyor, D.C.
  - Underground utilities such as utilities and vaults, if any, were located from available records and verified in the field to the extent possible. Sub-surface investigation was not performed. All underground facilities should be considered approximate. For marking of underground utility lines, call MISC UTILITY at 1-800-251-7777 at least 48 hours prior to any excavation or construction.
  - Total number of striped parking spaces on property: 0

EXISTING SETBACKS:

FRONT: .....'  
SIDE: ..... N/A  
REAR: ..... 3.25'

NOTE: REFER TO COVER SHEET 0001 FOR FURTHER SITE INFORMATION, I.E. FAY CALCULATIONS

3 GENERAL NOTES  
NOT TO SCALE

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SHOPHOUSE

NOTES

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PROFESSIONAL SEAL

SEALED BY: HENRIET REIDERMAN

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF WASHINGTON, DISTRICT OF COLUMBIA, LICENSE NUMBER ARCS042, EXPIRATION DATE: 04/30/2013.

SUBMITTALS

| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 03/13/10 |
| 2    | DCR COMMENT RESPONSE | 04/17/11 |
|      |                      |          |
|      |                      |          |

GEORGETOWN  
2805 M STREET, NW  
WASHINGTON, DC 20007

SITE PLAN

|                   |            |        |
|-------------------|------------|--------|
| SCALE:            | MANAGER:   | FLOOR: |
| PROJ. #:          | DRAFTSMAN: |        |
| FILE: 11-324-NOTR | SHEET: OF  | S001   |

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## SHOPHOUSE

## NOTES

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## PROFESSIONAL SEAL

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|------------|----------------|
| SEALED BY: | REPORT NUMBER: |
|------------|----------------|

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## SUBMITTALS

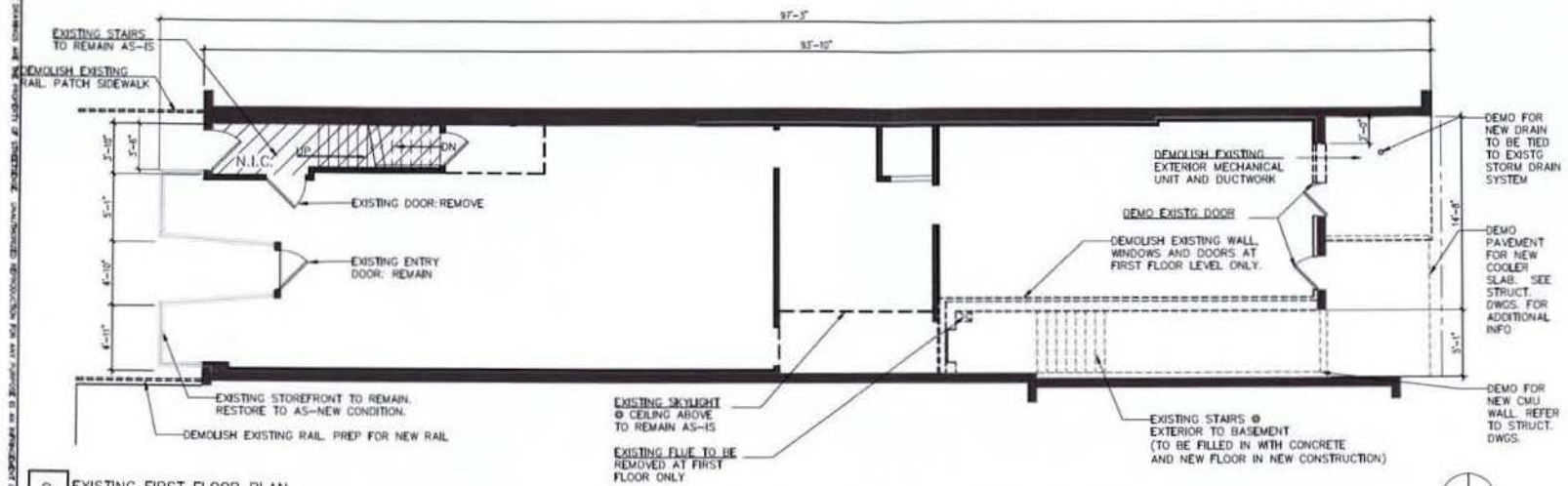
| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 03/13/10 |
| 2    | OUR COMMENT RESPONSE | 04/17/11 |
|      |                      |          |
|      |                      |          |
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|      |                      |          |

GEORGETOWN

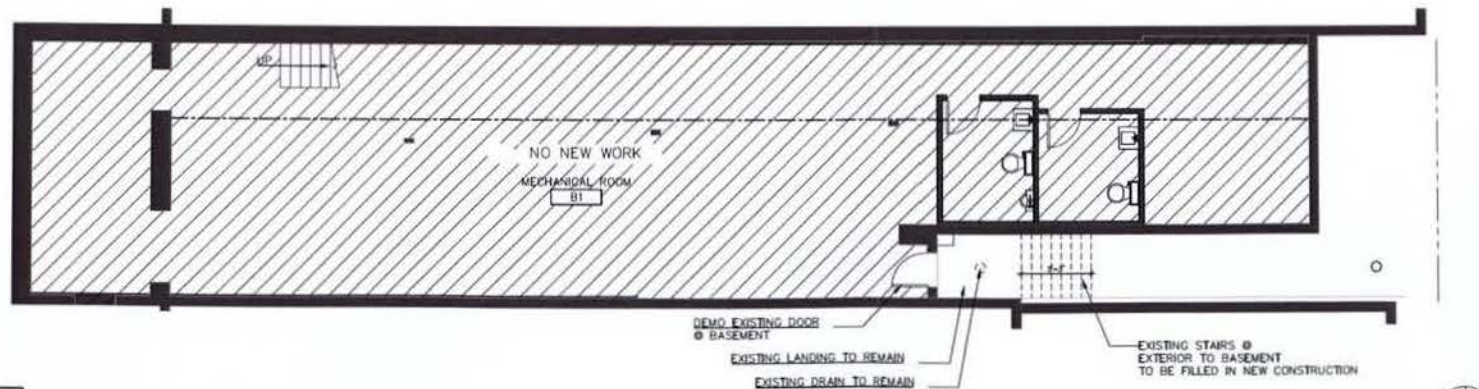
2805 M STREET, NW  
WASHINGTON, DC 20007

## DEMO PLANS

|                  |               |        |
|------------------|---------------|--------|
| SCALE: AS NOTED  | MANAGER: CP   | FLOOR: |
| PROJ. # 11-324   | DRAFTSMAN: CP | D100   |
| FILE: 11-324-ARC | SHEET OF --   |        |



## 2 EXISTING FIRST FLOOR PLAN



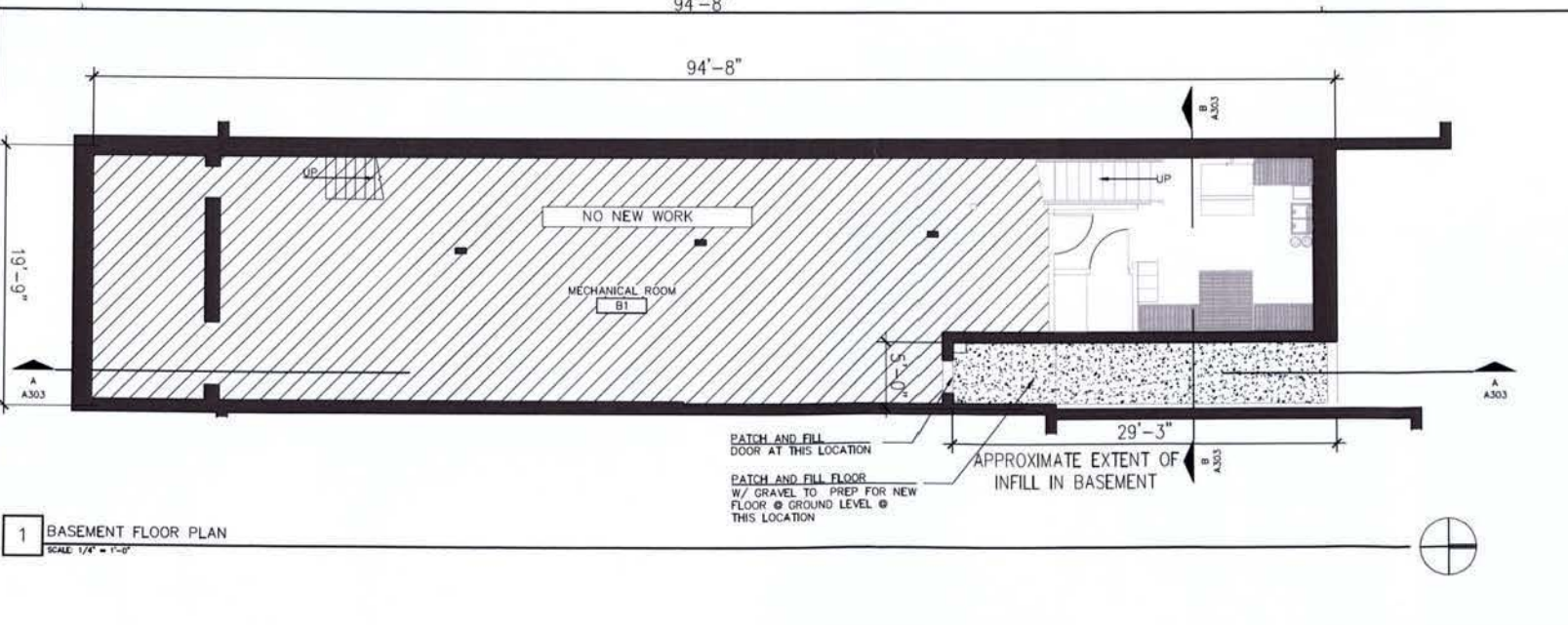
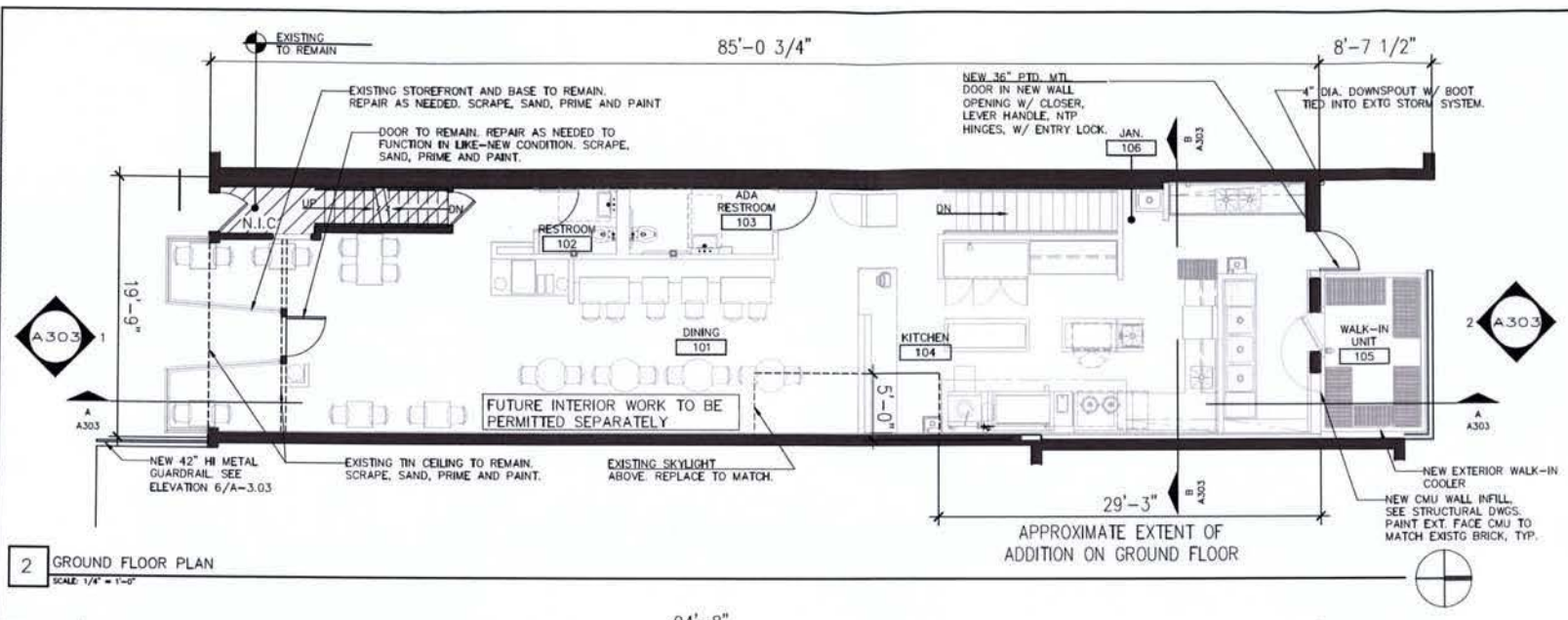
1 EXISTING BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"

the values of  $\hat{M}$  north of station 1, however, increase for any given  $\hat{M}$ . Station 10 is the station with the least amount of ice cover and the least amount of ice cover is the least amount of ice cover.

|                   |               |        |
|-------------------|---------------|--------|
| SCALE: AS NOTED   | MANAGER: GP   | FLOOR: |
| PROJ. # 11-324    | DRAFTSMAN: GP | D101   |
| FILE: 11-324-ARCH | SHEET: OF —   |        |

|   |                            |
|---|----------------------------|
| 1 | EXISTING SECOND FLOOR PLAN |
|   | SCALE: 1/4" = 1'-0"        |

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SUBMITTALS

| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 03/13/10 |
| 2    | OSB COMMENT RESPONSE | 04/17/11 |
|      |                      |          |
|      |                      |          |

GEORGETOWN  
2805 M STREET, NW  
WASHINGTON, DC 20007

ARCHITECTURAL PLANS (NEW)

|                   |              |        |
|-------------------|--------------|--------|
| SCALE: AS NOTED   | MANAGER: GP  | FLOOR: |
| PROJ. #: 11-324   | DRAWN: GP    |        |
| FILE: 11-324-ARCH | SHEET: OF -- | A100   |

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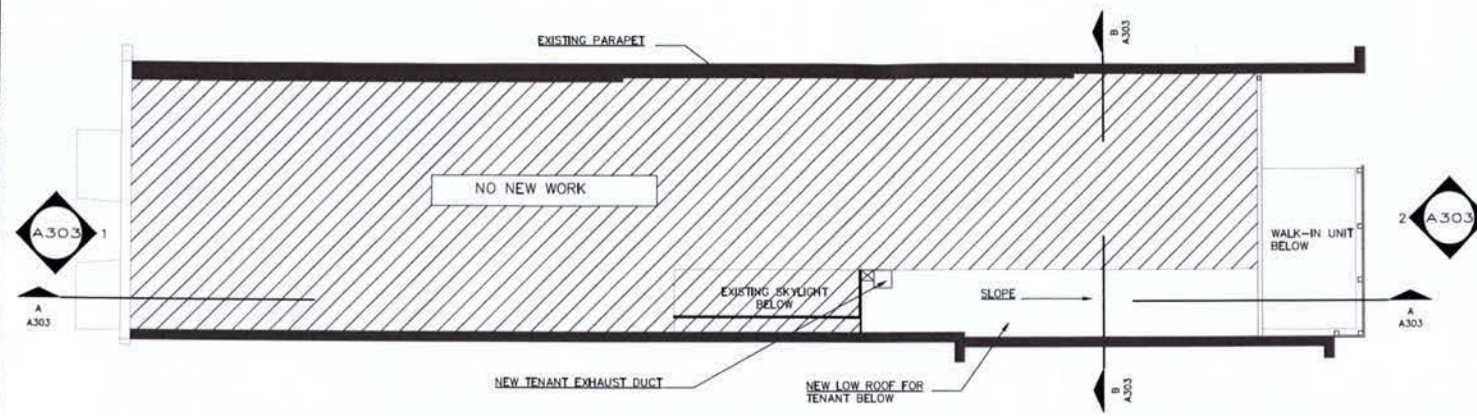
### SUBMITTALS

| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 03/13/10 |
| 2    | OUR COMMENT RESPONSE | 04/11/11 |
|      |                      |          |
|      |                      |          |
|      |                      |          |

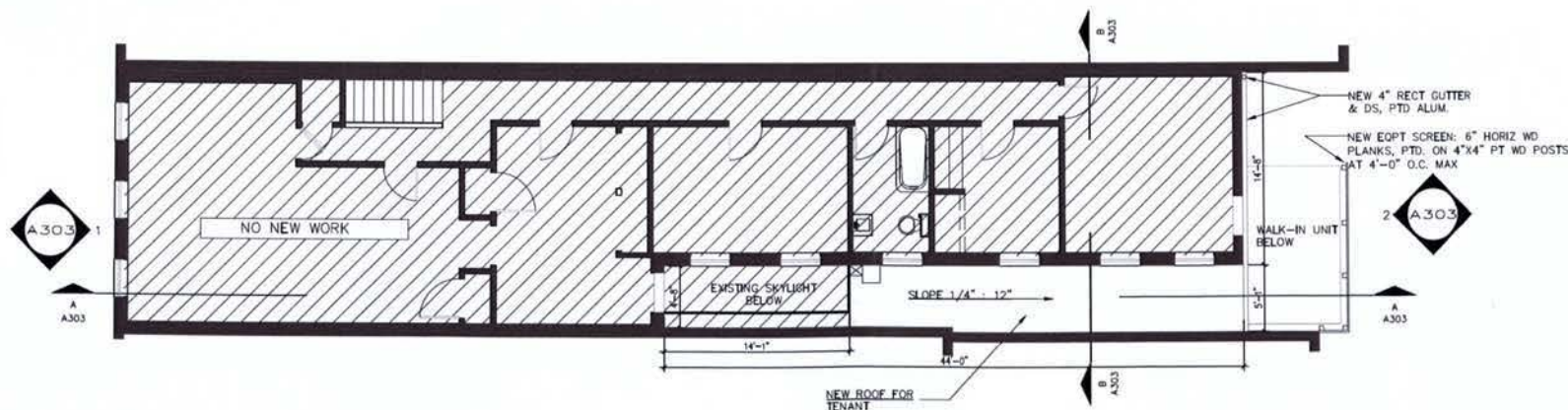
**GEORGETOWN**  
2805 M STREET, NW  
WASHINGTON, DC 20007

ARCHITECTURAL PLANS (NEW)

|                   |               |        |
|-------------------|---------------|--------|
| SCALE: AS NOTED   | MANAGER: DP   | FLOOR: |
| PROJ. # 11-324    | DRAFTSMAN: DP |        |
| FILE: 11-324-ARCH | SHEET: OF --- | A101   |



2 ROOF PLAN  
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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THESE ELEVATIONS AND THE PRESENCE OF STREETCARTS, SIDEWALKS, AND OTHER FEATURES ARE NOT GUARANTEED TO BE ACCURATE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



1 EXISTING EXTERIOR ELEVATION (FRONT)

SCALE 1/4" = 1'-0"



3 EXISTING PHOTO EXTERIOR ELEVATION (FRONT)

NO SCALE



2 EXISTING EXTERIOR ELEVATION (REAR)

SCALE 1/4" = 1'-0"



4 EXISTING PHOTO EXTERIOR ELEVATION (REAR)

SCALE 1/4" = 1'-0"

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PROFESSIONAL SEAL

SEALED BY: HERBERT MEDENHOF

PROFESSIONAL CERTIFICATION I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF WASHINGTON, DISTRICT OF COLUMBIA, LICENSE NUMBER: AHC5842, EXPIRATION DATE: 04/30/2013.

SUBMITTALS

| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 03/13/10 |
| 2    | 008 COMMENT RESPONSE | 04/17/11 |
|      |                      |          |
|      |                      |          |

GEORGETOWN

2805 M STREET, NW  
WASHINGTON, DC 20007

EXISTG ELEVATIONS & PHOTOS

|                   |               |        |
|-------------------|---------------|--------|
| SCALE: AS NOTED   | MANAGER: GP   | FLOOR: |
| PROJ. # 11-324    | DRAFTSMAN: GP |        |
| FILE: 11-324-ARCH | SHEET: OF --  | A300   |

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1 EXISTING EXTERIOR STOREFRONT



2 EXISTING EXTERIOR STOREFRONT



3 EXISTING EXTERIOR STOREFRONT



4 EXISTING EXTERIOR STOREFRONT

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| 1    | ISSUE FOR PERMIT     | 03/13/10 |
| 2    | DOB COMMENT RESPONSE | 04/17/11 |
|      |                      |          |
|      |                      |          |

GEORGETOWN  
2805 M STREET, NW  
WASHINGTON, DC 20007

### EXISTING PHOTOS

|                 |               |          |
|-----------------|---------------|----------|
| SCALE: AS NOTED | MANAGER: GP   | FLOOR: 1 |
| PROJ. #: 11-324 | CRAFTSMAN: GP | A301     |
| FILE: 11-324    | SHEET: OF --  |          |

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1 EXISTING EXTERIOR REAR FROM 28TH STREET, NW



1 EXISTING EXTERIOR REAR



2 EXISTING EXTERIOR REAR



3 EXISTING EXTERIOR REAR



4 EXISTING EXTERIOR REAR

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SUBMITTALS

| ITEM | DESCRIPTION          | DATE     |
|------|----------------------|----------|
| 1    | ISSUE FOR PERMIT     | 05/13/10 |
| 2    | OUR COMMENT RESPONSE | 04/11/11 |
|      |                      |          |
|      |                      |          |

GEORGETOWN  
2805 M STREET, NW  
WASHINGTON, DC 20007

EXISTING PHOTOS

|                 |               |          |
|-----------------|---------------|----------|
| SCALE: AS NOTED | MANAGER: GP   | FLOOR: 1 |
| PROJ. #: 11-324 | DRAFTSMAN: GP |          |
| FILE: 11-324    | SHEET: OF     | A302     |

A303

# STRUCTURAL NOTES

## 1. GENERAL

- A. THE BUILDING IS DESIGNED UNDER THE PROVISIONS OF THE 2006 INTERNATIONAL BUILDING CODE AND DCA MEMBERSHIP.
- B. THE FOLLOWING LINE LOADS WERE USED IN THE DESIGN:

| BUILDING OCCUPANCY CATEGORY                               | B       |
|-----------------------------------------------------------|---------|
| FLOOR LINE LOAD                                           | 100 PSF |
| CEILING                                                   | 40 PSF  |
| RESIDENTIAL (SECOND FLOOR)                                | 100 PSF |
| STAIRS AND LOTS                                           | 100 PSF |
| NOTE: LINE LOAD REDUCTION IS UTILIZED AS ALLOWED BY CODE. |         |
| ROOF SNOW LOAD                                            |         |
| GROUND SNOW LOAD (PS)                                     | 30 PSF  |
| FLAT-ROOF SNOW LOAD (PS)                                  | 21 PSF  |
| SNOW EXPOSURE FACTOR (C <sub>e</sub> )                    | 1.0     |
| SNOW IMPORTANCE FACTOR (I <sub>s</sub> )                  | 1.0     |
| SNOW FACTOR (C <sub>s</sub> )                             | 1.0     |
| NOTE: DRIFTING SNOW LOADS AS REQUIRED BY CODE.            |         |
| WIND LOAD                                                 |         |
| BRG WIND SPEED (3 SECOND GUST)                            | 90 MPH  |
| WIND IMPORTANCE FACTOR (I <sub>w</sub> )                  | 1.00    |
| WIND EXPOSURE                                             | B       |
| EARTHQUAKE DESIGN                                         |         |
| SEISMIC IMPORTANCE FACTOR (I <sub>s</sub> )               | 1.00    |
| SEISMIC DESIGN CATEGORY                                   | B       |
| SITE CLASSIFICATION                                       | D       |

- C. SEE ARCHITECTURAL DRAWINGS FOR ANGLES, CLIPS, PLATES, ETC., AND OTHER MISCELLANEOUS ITEMS. VERIFY AND COORDINATE ALL FRAMES, DRAWINGS, ETC. WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS.
- D. SUBMIT SHOP DRAWINGS FOR THE FOLLOWING ITEMS. SUBMITTALS INCLUDE BUT NOT BE LIMITED TO:
  - CONCRETE MIX DESIGN
  - REINFORCING STEEL
  - STRUCTURAL STEEL
 SUBMIT THREE PRINTS AND ONE REPRODUCIBLE. DO NOT USE CONTRACT DRAWINGS AS A BASE FOR SHOPS. REVIEW IS LIMITED TO DESIGN CONFORMANCE. CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS.
- E. CONTRACTOR SHALL COORDINATE WITH THE QUALIFIED AGENCY RETAINED BY THE OWNER TO PERFORM INSPECTION AND TESTING. INSPECTIONS REQUIRED INCLUDE, BUT MAY NOT BE LIMITED TO:
  - SOILS AND FOUNDATIONS
  - CONCRETE
  - STRUCTURAL STEEL
  - MASONRY

## 2. FOUNDATIONS

- A. FOUNDATIONS ARE DESIGNED TO BEAR ON ENGINEERED FILL OR NATURAL SOIL WITH AN ASSUMED CAPACITY OF 1,500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD BY THE BUILDING INSPECTOR OR A QUALIFIED TESTING AGENCY.
- B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2' TO 3' INCH BELOW FINISH EXTERIOR GRADE, WHERE REQUIRED. STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- C. COMPACTED BACKFILL BELOW BUILDING SLABS AND FOOTINGS, ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. PROHIBIT SANDWICH MOVING AND REPLACING SOFT OR COMPRESSIVE MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCH AND COMPACTED TO MIN. 95 PERCENT OF THE DRY MASSIVE DENSITY AS DETERMINED BY ASTM D698.

## 3. CONNECTIONS

- A. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING CONSTRUCTION. RETAIN THE SERVICES OF A QUALIFIED SPECIALTY ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT. SUBMIT DRAWINGS FOR RECORD ONLY.
- B. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

- C. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (I.E. SAWING AND GRINDING INSTEAD OF HAMMERS AND CHIPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.
- D. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

## 4. UNDERGROUND

- A. VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. REMOVE, ABANDON OR TEMPORARILY SUPPORT UTILITIES AS DIRECTED.
- B. DOCUMENT CONDITION OF EXISTING STRUCTURE PRIOR TO COMMENCEMENT OF WORK. MONITOR EXISTING STRUCTURE DURING UNDERPINNING.
- C. CONCRETE USED FOR UNDERPINNING SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI IN 28 DAYS.
- D. SEQUENCE OF CONSTRUCTION:

1. EXCAVATE PITS LABELED "1" TO REQUIRED DEPTH. VERIFY ADEQUACY OF SOIL BEHINDS.
2. CAST PIT TO WITHIN 2-INCHES OF UNDERSIDE OF FOOTING. CURE ONE DAY. DRYPACK VOID WITH MOST SAND/CEMENT MORTAR. FILL EXTERIOR VOID AND FORME INTO PLACE. CURE ONE DAY.
3. EXCAVATE PITS LABELED "2" AND CONTINUE PROCEDURE.

## 5. CONCRETE

- A. CONCRETE CONSTRUCTION SHALL BE PER THE APPLICABLE BUILDING CODE, AC 308 AND ACI 308, LATEST EDITIONS.
- B. CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS PER ASTM A38:

|                    |           |
|--------------------|-----------|
| ---FOOTINGS, PILES | 3,000 PSI |
| ---SLAB-ON-GRADE   | 3,000 PSI |

- C. VERIFY CONCRETE STRENGTHS WITH A MINIMUM OF ONE SET OF SIX COMPRESSION CYLINDERS (2 @ 7 DAYS, 2 @ 28 & 5 SPARS) PER DAY WITH AN ADDITIONAL SET FOR EACH 100 YARDS OF CONCRETE.
- D. EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED TO PROVIDE AN AIR CONTENT OF 8 +/- 1 PERCENT BY VOLUME.
- E. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
  - CONCRETE CAST AGAINST EARTH 3 INCHES
  - CONCRETE EXPOSED TO EARTH OR WEATHER 1-1/2 INCHES
  - #3 OR SMALLER 2 INCHES
  - #4 OR LARGER
- F. NON-SHARP GROUT FOR COLUMNS BASE PLATES SHALL ATTAIN A29 DAY COMPRESSIVE STRENGTH: F<sub>c</sub> = 5,000 PSI.
- G. REINFORCING STEEL SHALL CONFORM TO ASTM A606, WESH SHALL CONFORM TO ASTM A606 WITH MINIMUM LAPS OF 8 INCHES. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. FURNISH SUPPORT BARS AND ACCESSORIES IN ACCORDANCE WITH C.A.I. STANDARDS.

## 6. MASONRY

- A. MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI-ASAC-108-10), LATEST EDITIONS.
- B. MASONRY TO CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - HELLOW LOAD-BEARING CMU ASTM C90
  - CONCRETE BUILDING BRICK ASTM C75, GRADE A
  - MORTAR ASTM C270, TYPE M OR S
  - GROUT ASTM C476

- C. MASONRY ASSEMBLIES SHALL HAVE COMPRESSIVE STRENGTH (F'<sub>m</sub>) GREATER THAN OR EQUAL TO 1,300 PSI.
- D. PROVIDE CONTINUOUS HORIZONTAL JOINT REINFORCING IN MASONRY WALLS AT 18 INCHES O.C.
- E. UNLESS NOTED OTHERWISE, PROVIDE 18 INCH LONG BY 24 INCHES HIGH SOLID OR GROUTED BLOCK UNDER BEARING ENDS OF BEAMS.
- F. AT CONTINUOUS ROUND BEAM, PROVIDE 4 FEET - 0 INCHES LAP AT BEAM STEPS.
- G. COMPOSITE WALLS SHALL HAVE THE COLLAR JOINT BETWEEN BRICK AND BLOCK GROUTED SOLID AND SHALL BE BUILT WITH BOTH TYPES SIMULTANEOUSLY.

## 7. STEEL

- A. MASONRY WALLS SHALL HAVE CONTROL JOINTS AT 30 FEET ON CENTER UNLESS NOTED OTHERWISE.
- B. REINFORCING STEEL SHALL CONFORM TO ASTM A615-GR60. LAP BARS A MINIMUM OF 48 BAR DIAMETERS. GROUT ALL REINFORCED CORES SOLID.
- C. UNLESS SHOWN ON PLANS, UNITS FOR MASONRY WALLS SHALL BE AS FOLLOWS:
  - OPENINGS TO 3 FEET, 6 INCHES 3/4" x 1/4" - 3/8" HORIZONTAL
  - 3'-1 INCH TO 5 FEET, 0 INCHES 4/3 5/8" x 3/8" HORIZONTAL
  - 5'-1 INCH TO 8 FEET, 6 INCHES 3/4" x 3/8" HORIZONTAL
  - OVER 8 FEET, 6 INCHES 3/4" x 3/8" HORIZONTAL
- D. PROVIDE 1 ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. UNITS SHALL BEAR 8 INCHES MINIMUM EACH END U/L.G.

## 8. STEEL

- A. STEEL CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND SHALL CONFORM TO THE ASS. MANUAL. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

|                                   |              |
|-----------------------------------|--------------|
| WIDE FLANGE SHAPES                | A992 - GR50  |
| STEEL PLATES, CHANNELS AND ANGLES | A588         |
| STRUCTURAL STEEL                  | A588 - GR 50 |
| STRUCTURAL TUBES                  | A500 - GR B  |
| ANCHOR BOLTS                      | A307         |
| HIGH-STRENGTH BOLTS               | A325         |
| HEAVY STUDS                       | A108         |
- B. BOLTED CONNECTIONS TO USE A325-TYPE N, HIGH STRENGTH BOLTS IN BEARING TYPE CONNECTIONS TIGHTENED TO A SAUG TIGHT CONDITION IN ACCORDANCE WITH CODE SPECIFICATIONS.
- C. SHOP CONNECTIONS TO BE WELDED OR BOLTED. FIELD CONNECTIONS TO BE BOLTED UNLESS OTHERWISE SHOWN. BOLT HOLES TO BE STANDARD ROUND HOLES (3/16" INCHES) UNLESS OTHERWISE NOTED.
- D. IF BEAM REACTIONS ARE NOT DETICED ON THE DRAWINGS, MINIMUM BEAM-HEM CONNECTIONS FOR SHEAR AT END OF EACH BEAM SHALL BE DETAILED TO SUPPORT THE FOLLOWING MINIMUM LOADS: (2 BOLTS MINIMUM)
  - END REACTION R = 1/2
  - WHERE P = TOTAL UNIFORM LOAD FOR GIVEN SPAN. SEE ALSO 9TH EDITION MANUAL, "TABLE FOR ALLOWABLE LOADS ON BEAMS" PAGES 2-30 - 2-143.
- E. STRUCTURAL STEEL SHALL BE GIVEN ONE SHOP COAT OF APPROVED SHOP PRIMER APPLIED TO CLEAN AND DRY SURFACES. DO NOT PAINT STEEL THAT WILL BE PREPARED OR EMBEDDED IN CONCRETE.
- F. STEEL BEAMS SHALL BE WELDED TO STEEL BEARING PLATES WITH 3 INCH LONG BY 3/16-INCH FILL WELD EACH SIDE OF FLANGE (MINIMUM).
- G. WELDING OF STRUCTURAL STEEL SHALL BE WITH E70XX ELECTRODES.

## 9. WOOD FRAMING

- A. FRAMING LUMBER SHALL BE NEW FIR #2, SPRUCE-PINE-FIR (SPF) #2, OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 MEMBERS):
  - BENDING STRESS "F<sub>b</sub>" = 850 PSI FOR SINGLE MEMBER USE
  - HORIZONTAL SHEAR "F<sub>v</sub>" = 750 PSI
  - COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" = 405 PSI
  - COMPRESSION PARALLEL TO GRAIN "F<sub>c</sub>" = 1,150 PSI
  - MODULUS OF ELASTICITY "E" = 1,300,000 PSI
- NOTE: SPF (SOUTH) IS NOT ACCEPTABLE.

- B. WALL STUDS SHALL BE SPF #2/0 GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:
  - COMPRESSION PARALLEL TO GRAIN "F<sub>c</sub>" = 725 PSI
  - MODULUS OF ELASTICITY "E" = 1,300,000 PSI

- C. ALL EXPOSED EXTERIOR FRAMING OR FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED. FRAMING SHALL BE PRESURE-TREATED WITH ALKALINE COPPER QUART (ACQ) OR COPPER AZOL (CBA-A AND CBA-B), NOT BORON BORATE (SBB). STRUCTURAL POSTS AND PRESURE-TREATED FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE (SPY) #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 MEMBERS):
  - BENDING STRESS "F<sub>b</sub>" = 875 PSI FOR SINGLE MEMBER USE
  - HORIZONTAL SHEAR "F<sub>v</sub>" = 80 PSI
  - COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" = 565 PSI
  - COMPRESSION PARALLEL TO GRAIN "F<sub>c</sub>" = 1,400 PSI
  - MODULUS OF ELASTICITY "E" = 1,600,000 PSI

- D. LAMINATED VENEER LUMBER (LVL OR WOODLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
  - BENDING STRESS "F<sub>b</sub>" = 1,000 PSI
  - HORIZONTAL SHEAR "F<sub>v</sub>" = 250 PSI
  - MODULUS OF ELASTICITY "E" = 2,000,000 PSI
  - BEARING STRESS "F<sub>perp</sub>" = 800 PSI

- E. PREFABRICATED JOINT HANGERS, BEAM HANGERS, POST JOBS, AND POST BRACKS SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATIONS. FASTENERS AND CONNECTORS UTILIZED WITH PRESURE-TREATED MEMBERS SHALL MEET ONE HOT-DIPPED GALVANIZING.

- F. ANCHOR BOLTS CONNECTING PRESURE-TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.

- G. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.

## 10. FINISHES

- A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STUD-1 FLOOR, TONGUE AND GROOVE, PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS SPAN. JOINTS SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 8 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOODED.

- B. ROOF SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 10d NAILS AT 8 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS SPAN OR SUPPORTS. EDGES NEED NOT BE BLOODED, UNLESS OTHERWISE NOTED.

- C. REINFORCING STEEL SHALL BE E70XX ELECTRODES. UNLESS OTHERWISE NOTED, THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI-ASAC-108-10), LATEST EDITIONS.

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| 1    | ISSUE FOR PERMIT     | 03/15/12 |
| 2    | OMB COMMENT RESPONSE | 04/11/12 |
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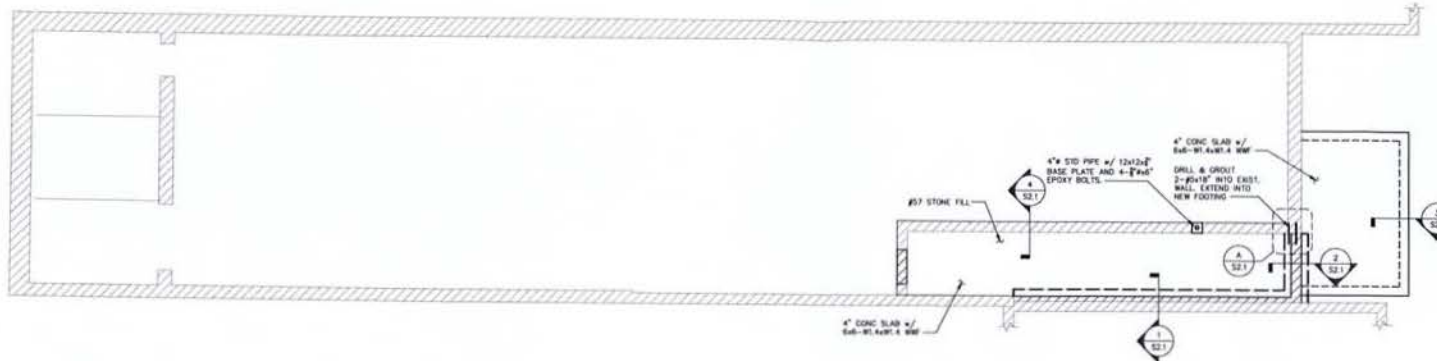
GEORGETOWN  
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WASHINGTON, DC 20007

## STRUCTURAL NOTES

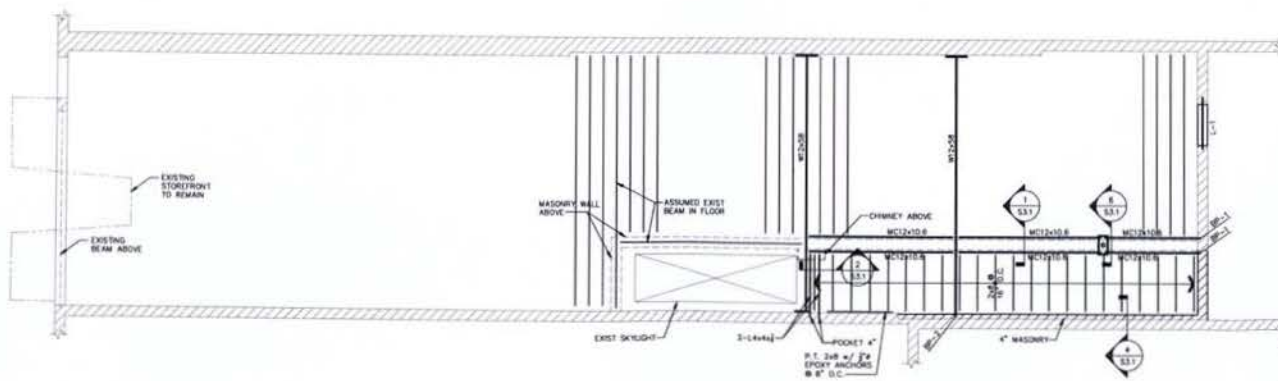
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| PROJ. # 11-304  | DRAFTSMAN: JAC |          |
| FILE:           | SHEET: 1 OF 4  | 51.0     |

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**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



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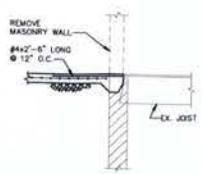
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|------|----------------------|----------|
| 1    | DATE FOR PERMIT      | 05/03/12 |
| 2    | DOB COMMENT RESPONSE | 04/10/12 |
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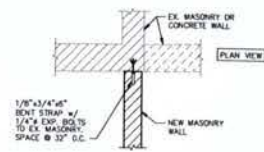
### FIRST & SECOND FLOOR FRAMING PLANS

| SCALE: AS NOTED  | MANAGER: -     | FLOOR: |
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| PROJECT #: 0-324 | DRAFTSMAN: JAC | S.I.I  |
| FILE:            | SHEET: 2 OF 4  |        |

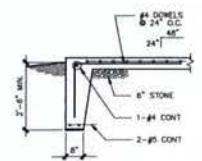
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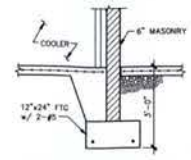
SECTION 4  
SCALE: 1/2" = 1'-0"



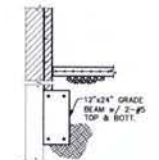
TYPICAL ANCHORAGE OF NEW TO EXISTING MASONRY  
SECTION 4  
NOT TO SCALE



SECTION 3  
NOT TO SCALE



SECTION 2  
SCALE: 1/2" = 1'-0"



SECTION 1  
SCALE: 1/2" = 1'-0"

| LINTEL SCHEDULE |                   |         |      |         |
|-----------------|-------------------|---------|------|---------|
| MARK            | SIZE              | BEARING | TYPE | REMARKS |
| L-1             | 2x4x3 1/2x1/4 LLV | ---     | JL   |         |
|                 |                   |         |      |         |
|                 |                   |         |      |         |
|                 |                   |         |      |         |
|                 |                   |         |      |         |
|                 |                   |         |      |         |

| BEARING PLATE SCHEDULE |            |                      |                                   |
|------------------------|------------|----------------------|-----------------------------------|
| MARK                   | SIZE       | ANCHORS              | REMARKS                           |
| BP-1                   | 6"x6"x1/2  | 2-1/2"x6" x 6" STUDS |                                   |
| BP-2                   | 4"x12"x3/4 | 2-1/2"x6" x 6" STUDS | GROUT 24" HIGH SECTION OF MASONRY |
|                        |            |                      |                                   |
|                        |            |                      |                                   |
|                        |            |                      |                                   |
|                        |            |                      |                                   |

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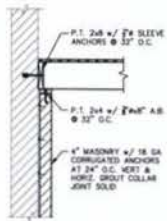
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| PROJ. #: 10-024 | DRAFTSMAN: JAC |        |
| FILE:           | SHEET: 3 OF 4  |        |

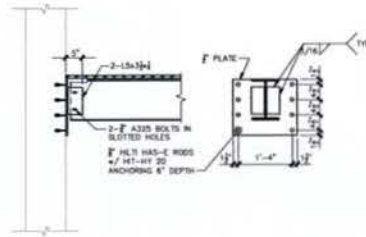
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S2.1

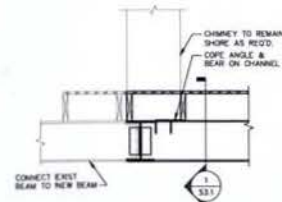
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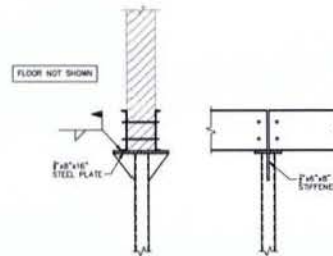
SECTION 4  
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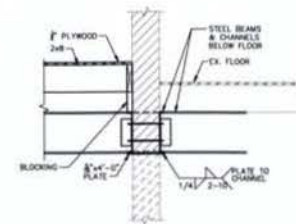
TYPICAL BEAM CONNECTION  
SECTION 3  
SCALE: 3/4" = 1'-0"



SECTION 2  
SCALE: 3/4" = 1'-0"



SECTION 6  
SCALE: 3/4" = 1'-0"



SECTION 1  
SCALE: 3/4" = 1'-0"

- INSTALLATION SEQUENCE
1. CUT NARROW OPENINGS IN WALL FOR TWO CROSSBEAMS AND COLUMN
  2. INSTALL NEW CROSS BEAMS AND CONNECT TO WALLS
  3. INSTALL STEEL COLUMN
  4. INSTALL STEEL CHANNELS AND THROUGH BOLTS, CONNECT TO BEAMS AND COLUMNS
  5. REMOVE BRICK MASONRY BELOW IN 4'-0" WIDE SEGMENTS AND INSTALL PLATE

NOT USED

SECTION 5  
SCALE: 3/4" = 1'-0"

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| 2    | OWNER COMMENT RESPONSE | 04/13/12 |

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FRAMING SECTIONS

|                 |                |        |
|-----------------|----------------|--------|
| SCALE: AS NOTED | HANDLER:       | FLOOR: |
| PROJ. # 11-024  | DRAFTSMAN: JAC | 53.1   |
| FILE:           | SHEET: 4 OF 4  |        |

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