



MERIDIAN HILL BAPTIST CHURCH ADAPTIVE RE-USE PROJECT Washington, DC

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 301.623.1501

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 1412 Eye Street, NW
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07 OCTOBER 2011

BOARD OF ZONING ADJUSTMENT SUBMISSION

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CONSTRUCTION

MARTINEZ+JOHNSON
 ARCHITECTURE

Board of Zoning Adjustment
 District of Columbia
 CASE NO.18317
 EXHIBIT NO.10

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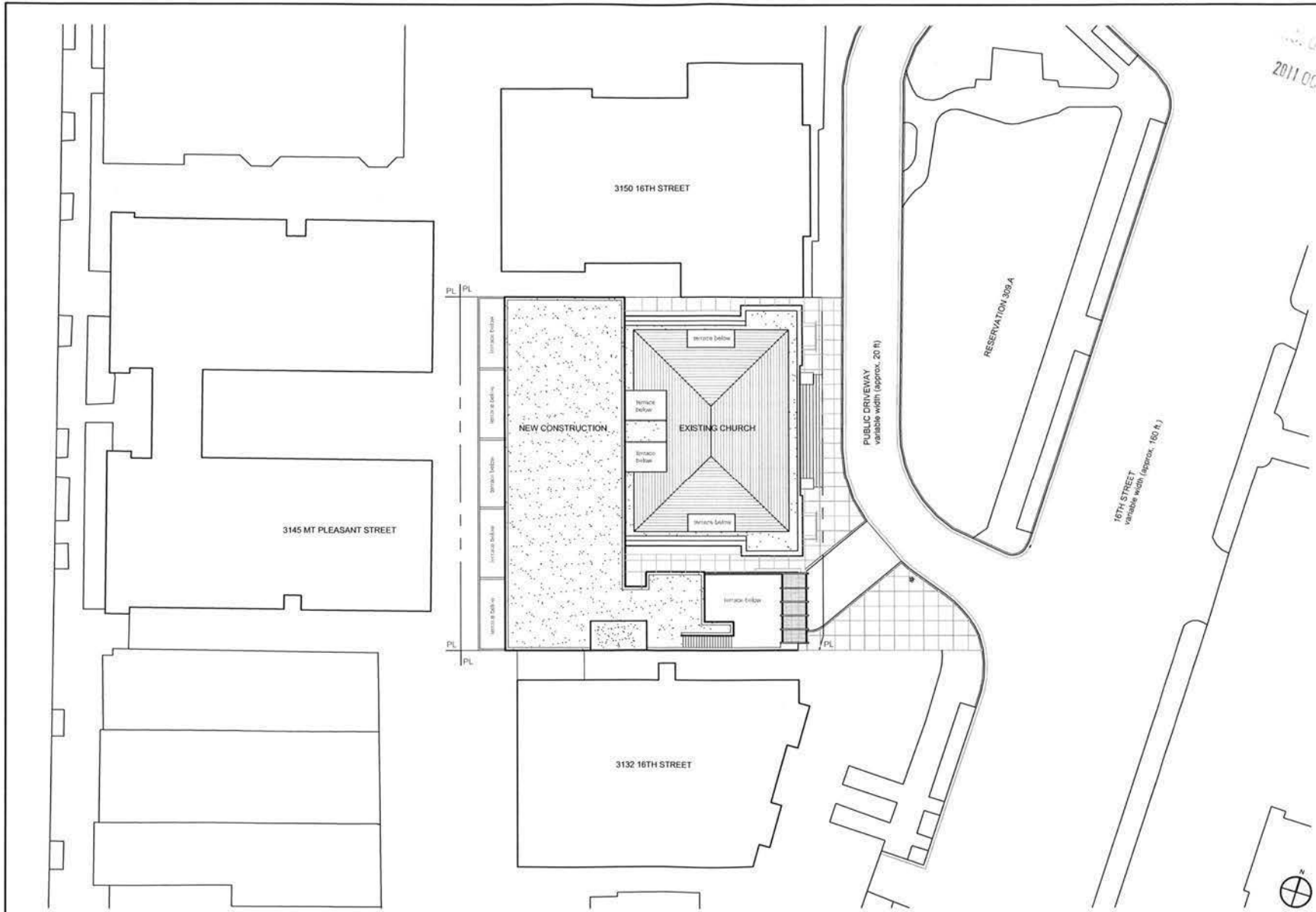
BOARD OF ZONING ADJUSTMENT
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ZONING SUMMARY

PROPERTY: MERIDIAN HILL BAPTIST CHURCH
 ADDRESS: 3146 16TH STREET, NW
 WASHINGTON, DC 20010
 SQUARE, LOT: 2595, 831
 ZONE: R-5-D
 LOT AREA: 14,714 SF
 LOT OCCUPANCY (MAX. ALLOWED): 75%
 LOT OCCUPANCY (PROPOSED): 75%
 FAR (MAX. ALLOWED): 4.20 (3.50 + 20% bonus)
 FAR (PROPOSED): 4.20
 HEIGHT (MAX. ALLOWED): 90 FT
 HEIGHT (PROPOSED): 76.4 FT

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SITE SURVEY



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SITE PLAN (PROPOSED)

0.2

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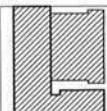
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KEY PLAN



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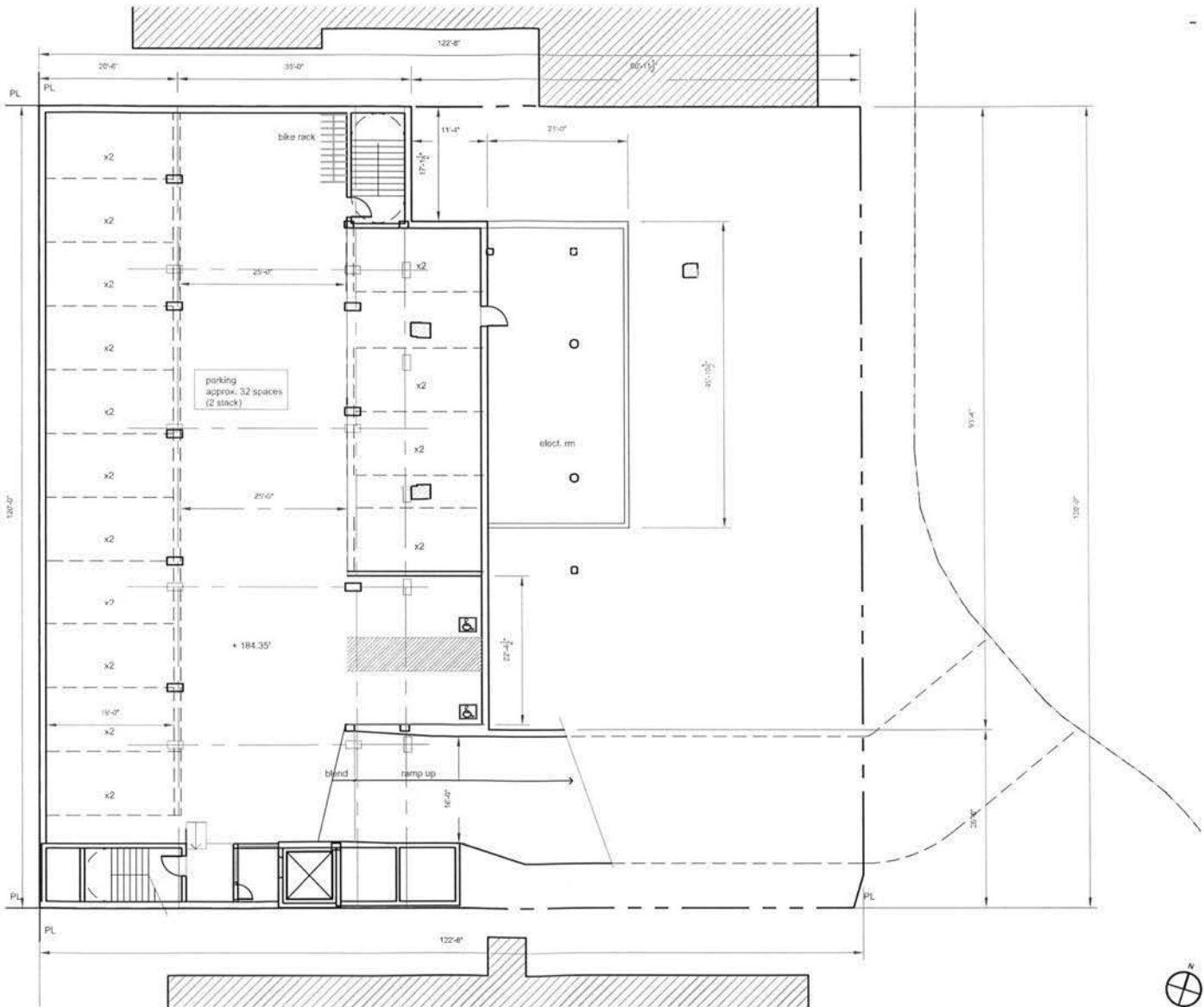
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CELLAR PLAN
 PLAN

1.0



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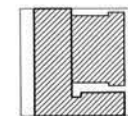
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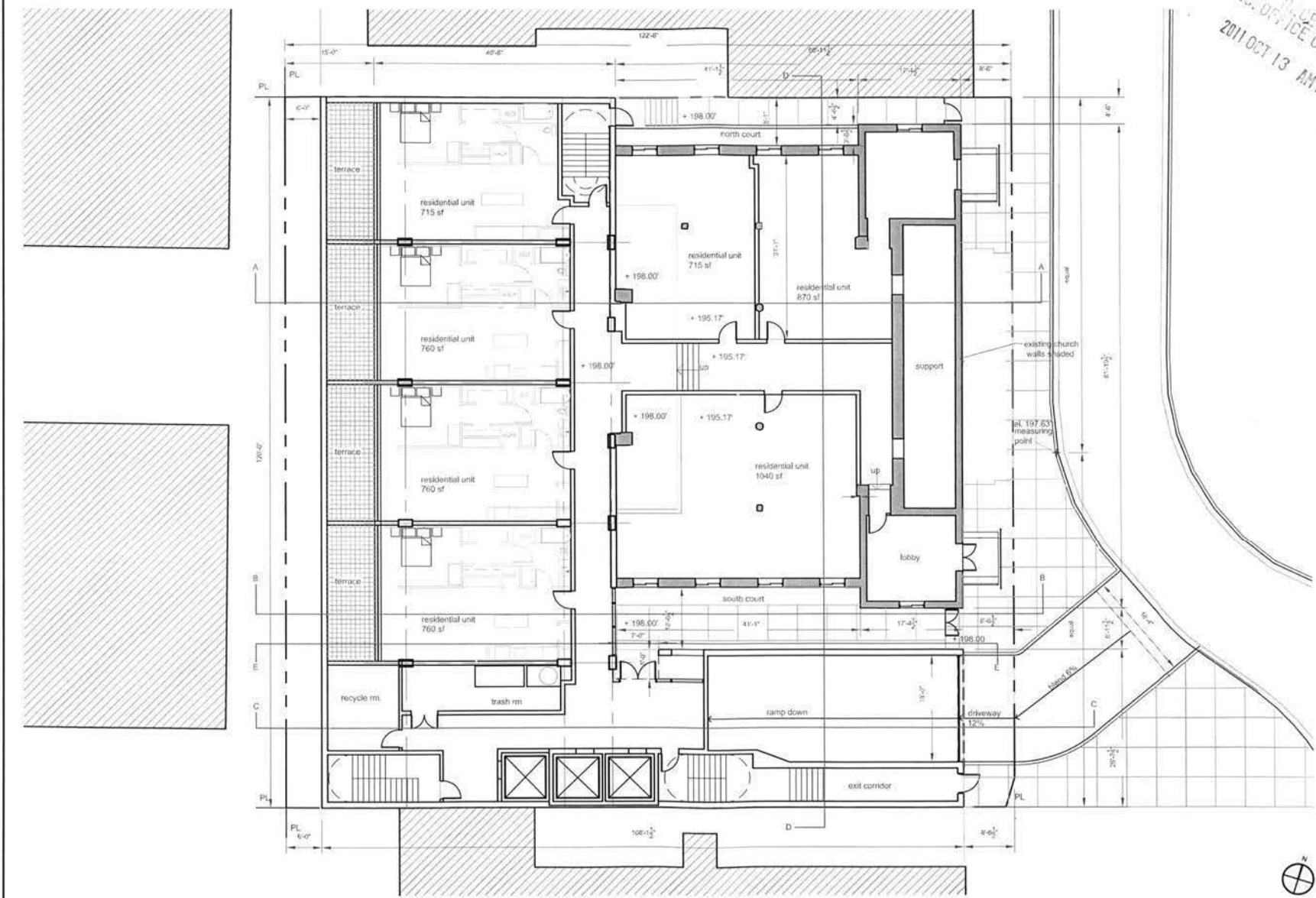
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SHEET TITLE:

**GROUND FLOOR
PLAN**

1.1



GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0" 01

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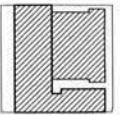
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SHEET TITLE:

**FIRST FLOOR
PLAN**

1.2

FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0" 01

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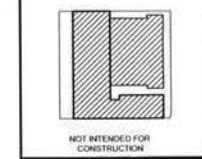
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KEY PLAN

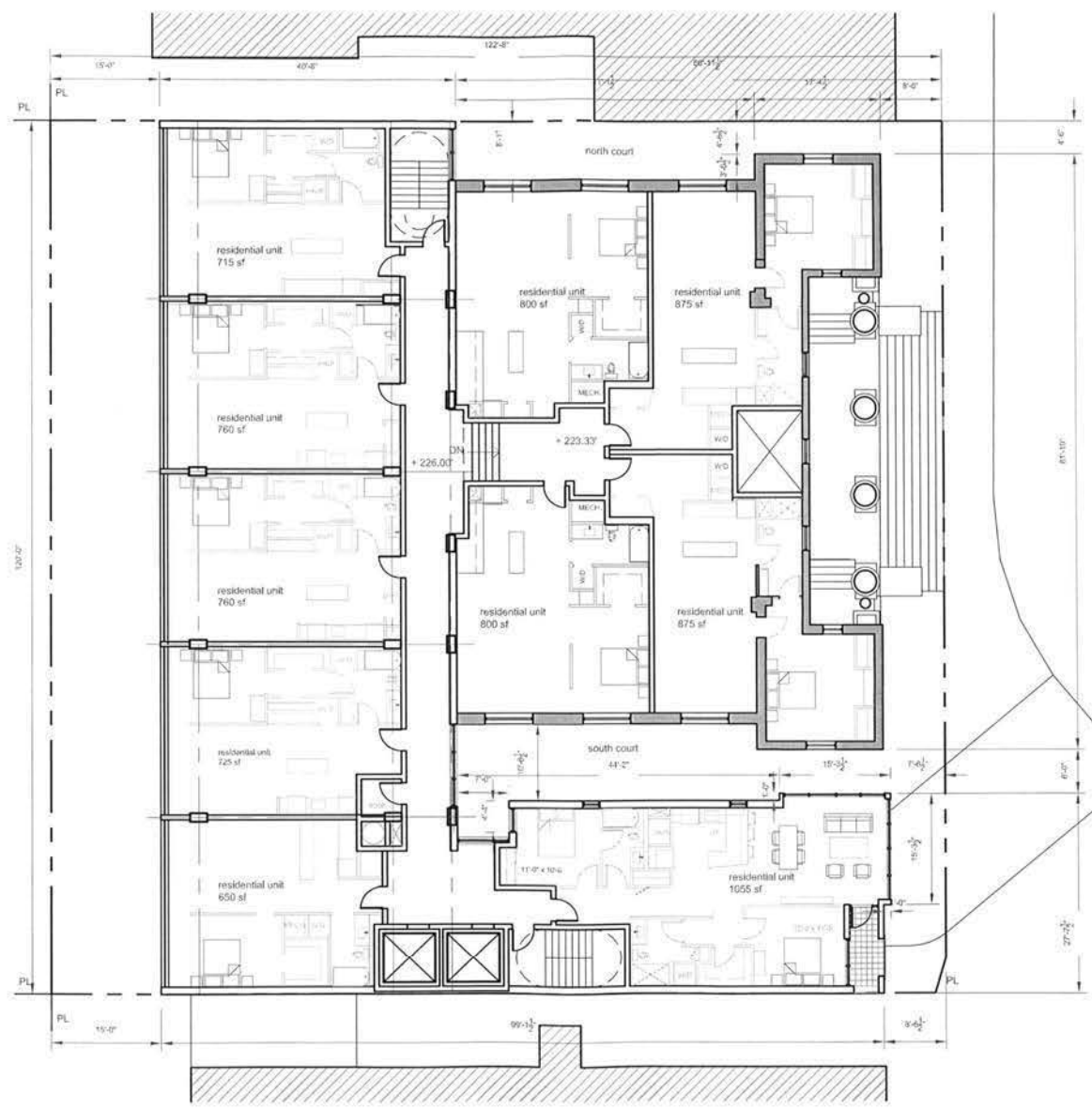


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SHEET TITLE:

THIRD FLOOR PLAN

1.4



THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0" 01

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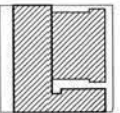
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KEY PLAN



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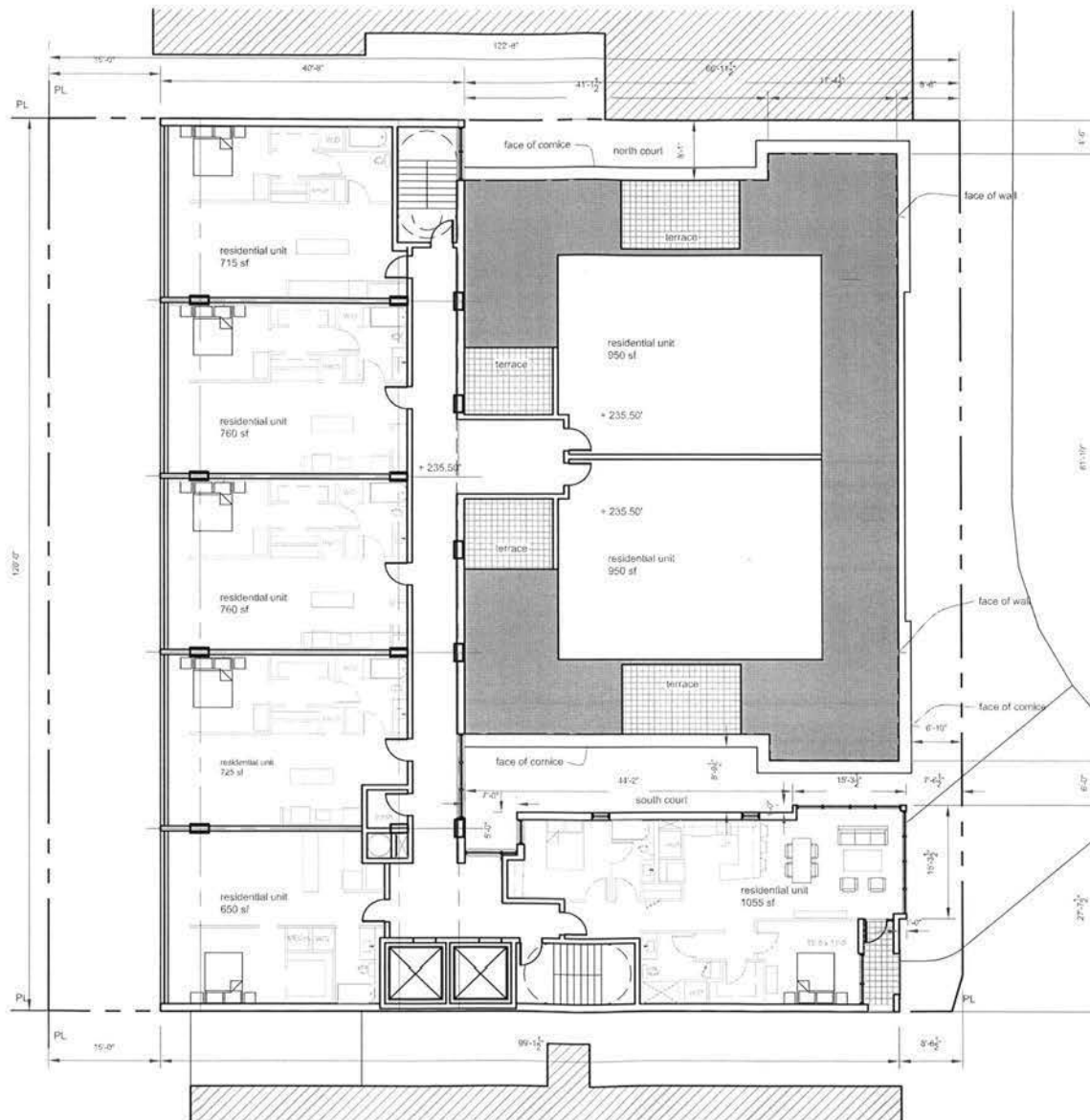
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SHEET TITLE:

FOURTH FLOOR
 PLAN

1.5



FOURTH FLOOR PLAN

SCALE: 1/16" = 1'-0" 01

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Washington, DC

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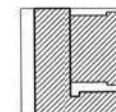
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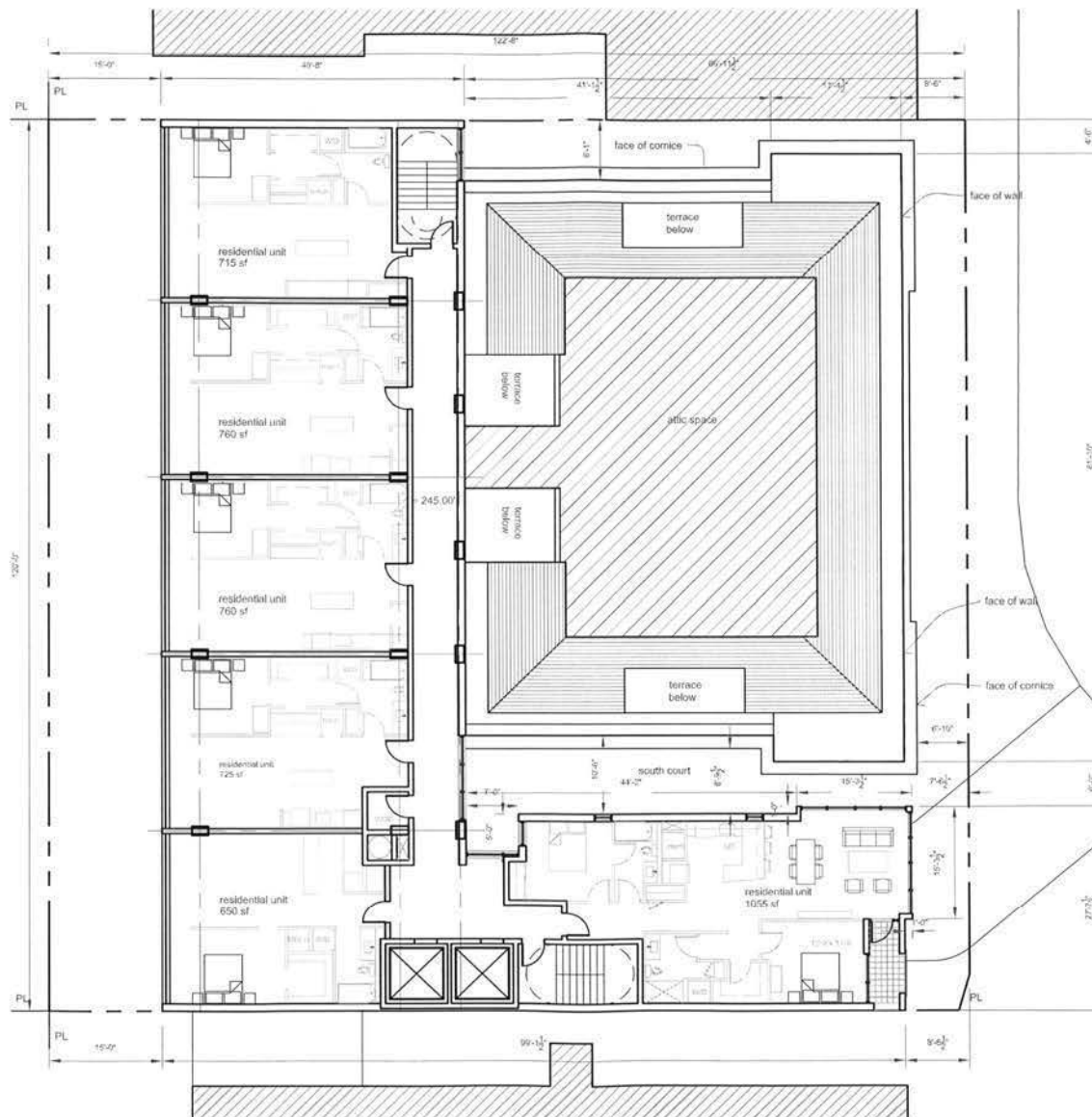
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SHEET TITLE:

FIFTH FLOOR
PLAN

1.6



FIFTH FLOOR PLAN

SCALE: 1/16" = 1'-0" | 01

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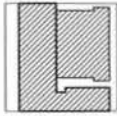
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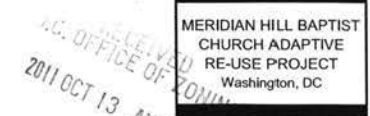
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SIXTH FLOOR
PLAN

1.7

SIXTH FLOOR PLAN

SCALE: 1/16" = 1'-0" | 0'



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SEVENTH FLOOR
PLAN

1.8

SCALE: 1/16" = 1'-0" 01

SCALE: 1/16" = 1'-0" 01

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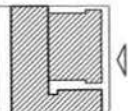
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KEY PLAN



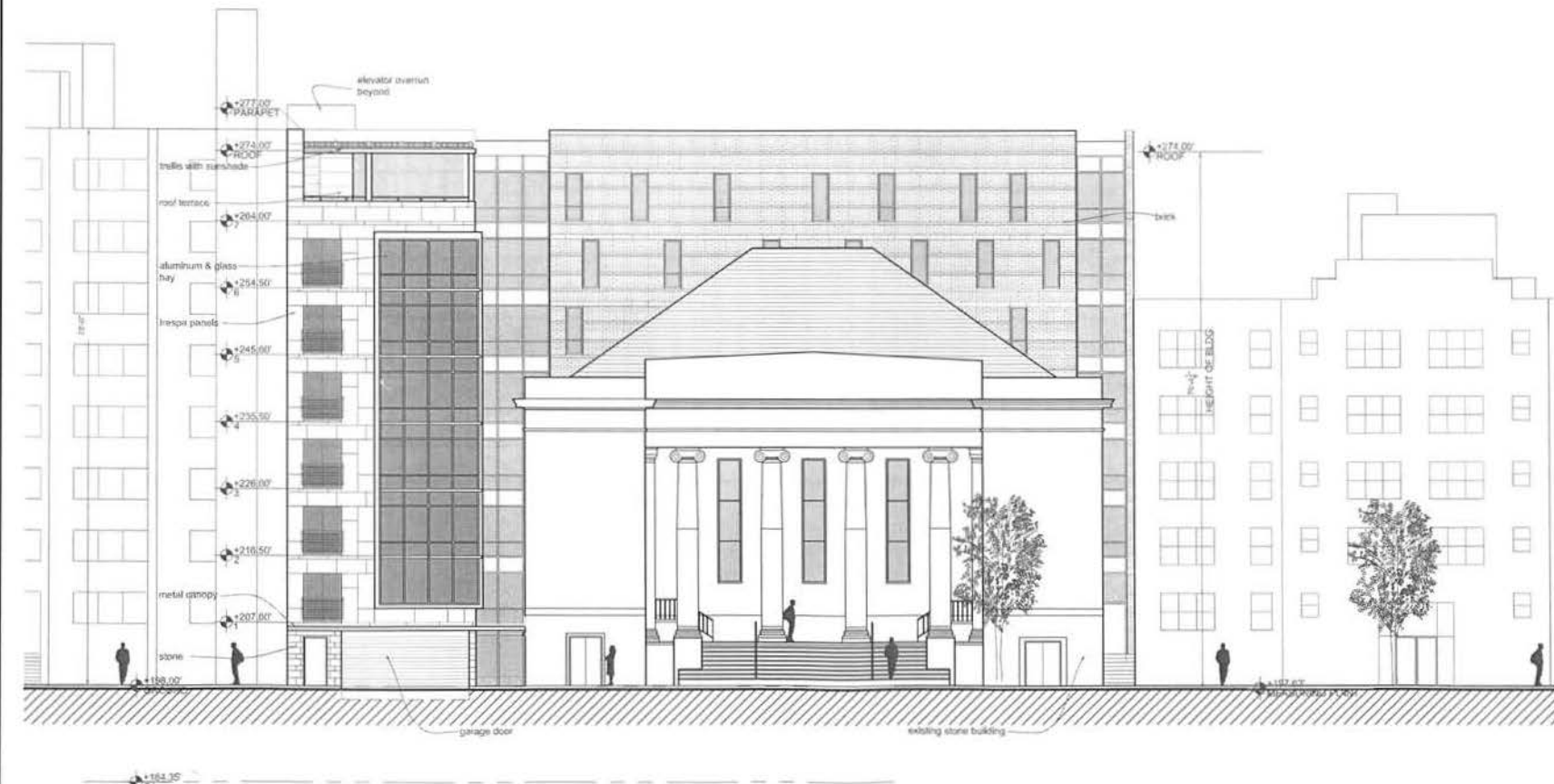
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SHEET TITLE:

EAST
 ELEVATION

2.0



EAST ELEVATION

SCALE: 1/16" = 1'-0" 01

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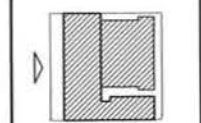
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**BOARD OF ZONING
ADJUSTMENT
SUBMISSION**

NOTE:
THE APPLICANT IS REQUESTING
FLEXIBILITY TO MODIFY THE
BUILDING DESIGN AND INTERNAL
LAYOUT TO ADDRESS ANY
COMMENTS FROM THE D.C.
HISTORIC PRESERVATION REVIEW
BOARD DURING FINAL REVIEW OF
THE PROJECT SO LONG AS THE
MODIFICATIONS DO NOT REQUIRE
ANY ADDITIONAL AREAS OF
ZONING RELIEF.

KEY PLAN

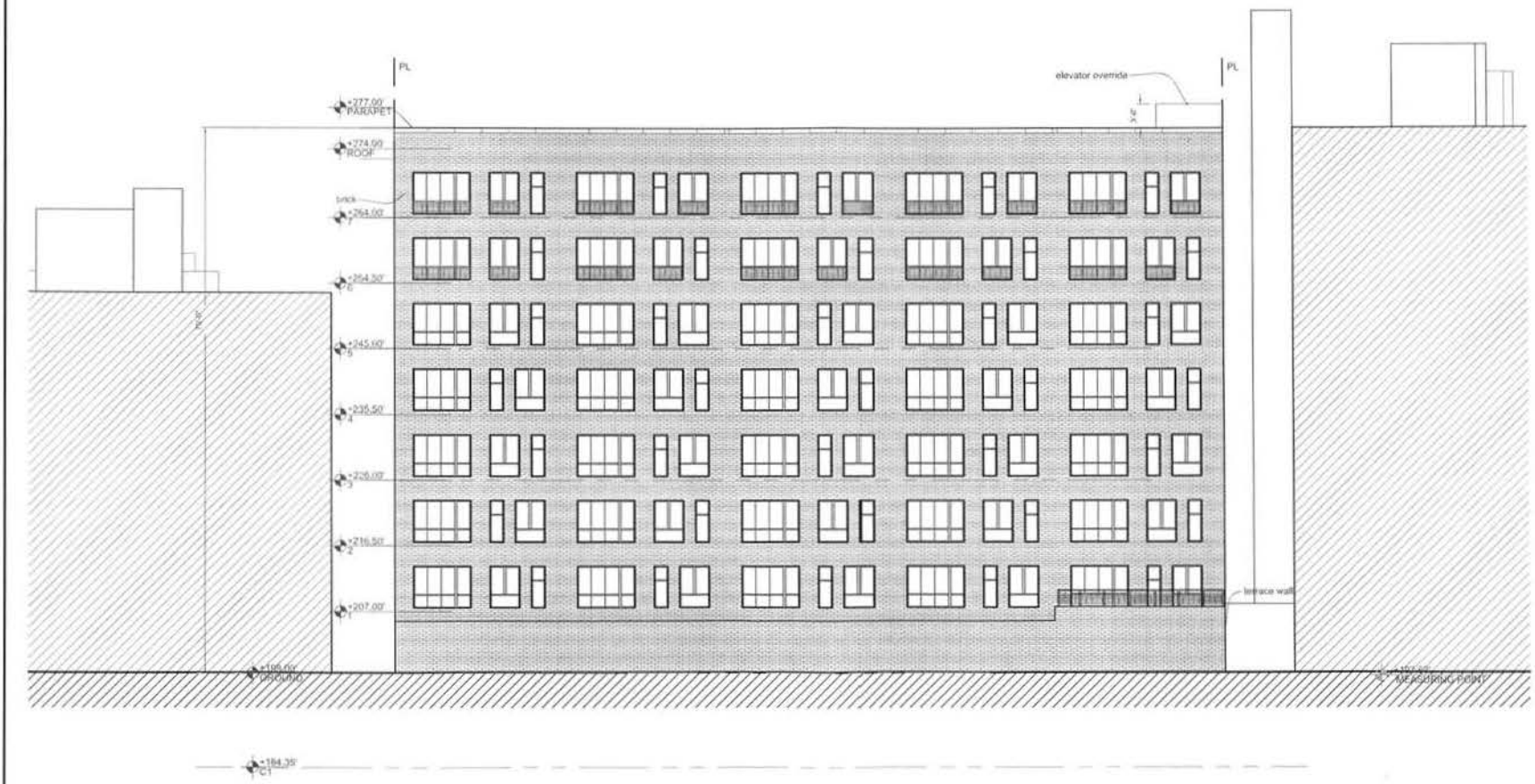


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CONSTRUCTION

DATE:	DESCRIPTION:
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SHEET TITLE:
**WEST
ELEVATION**

2.1



WEST ELEVATION

SCALE: 1/16" = 1'-0" 01

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**MERIDIAN HILL BAPTIST
CHURCH ADAPTIVE
RE-USE PROJECT**
Washington, DC

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301.823.1501

Architect
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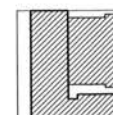
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M+J Project No. 7804

**BOARD OF ZONING
ADJUSTMENT
SUBMISSION**

NOTE: THE APPLICANT IS REQUESTING FLEXIBILITY TO MODIFY THE BUILDING DESIGN AND INTERNAL LAYOUT TO ADDRESS ANY COMMENTS FROM THE D.C. HISTORIC PRESERVATION REVIEW BOARD DURING FINAL REVIEW OF THE PROJECT SO LONG AS THE MODIFICATIONS DO NOT REQUIRE ANY ADDITIONAL AREAS OF ZONING RELIEF.

KEY PLAN



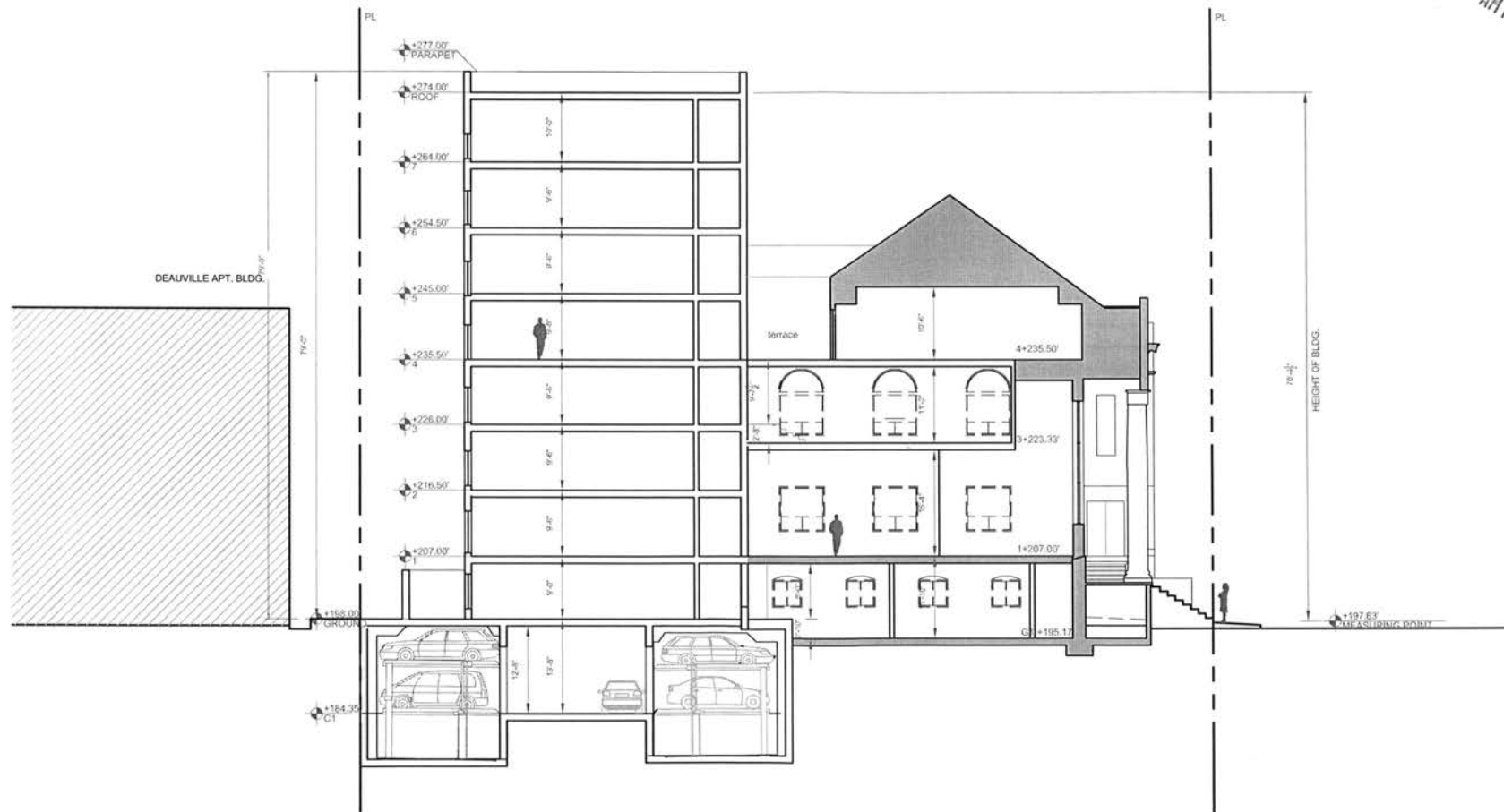
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DATE:	DESCRIPTION:
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SHEET TITLE:

SECTION AA

3.0



SECTION AA

SCALE: 1/16" = 1'-0" 01

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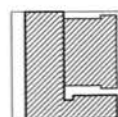
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KEY PLAN



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SHEET TITLE:

SECTION BB

3.1

SECTION BB

SCALE: 1/16" = 1'-0" 01

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**MERIDIAN HILL BAPTIST
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202.333.4480

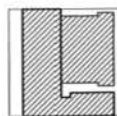
THESE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS
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ACCURACY OF THE INFORMATION PROVIDED HEREIN, NOR
THE COMPLETION OF THE PROJECT. THE ARCHITECT
TAKES NO RESPONSIBILITY FOR THE CONSTRUCTION OF
THE BUILDING OR FOR THE PERFORMANCE OF THE
BUILDING. THE ARCHITECT'S LIABILITY IS LIMITED TO
THE DESIGN OF THE BUILDING. THE ARCHITECT
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OF THE BUILDING OR FOR THE PERFORMANCE OF
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**BOARD OF ZONING
ADJUSTMENT
SUBMISSION**

NOTE:
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KEY PLAN



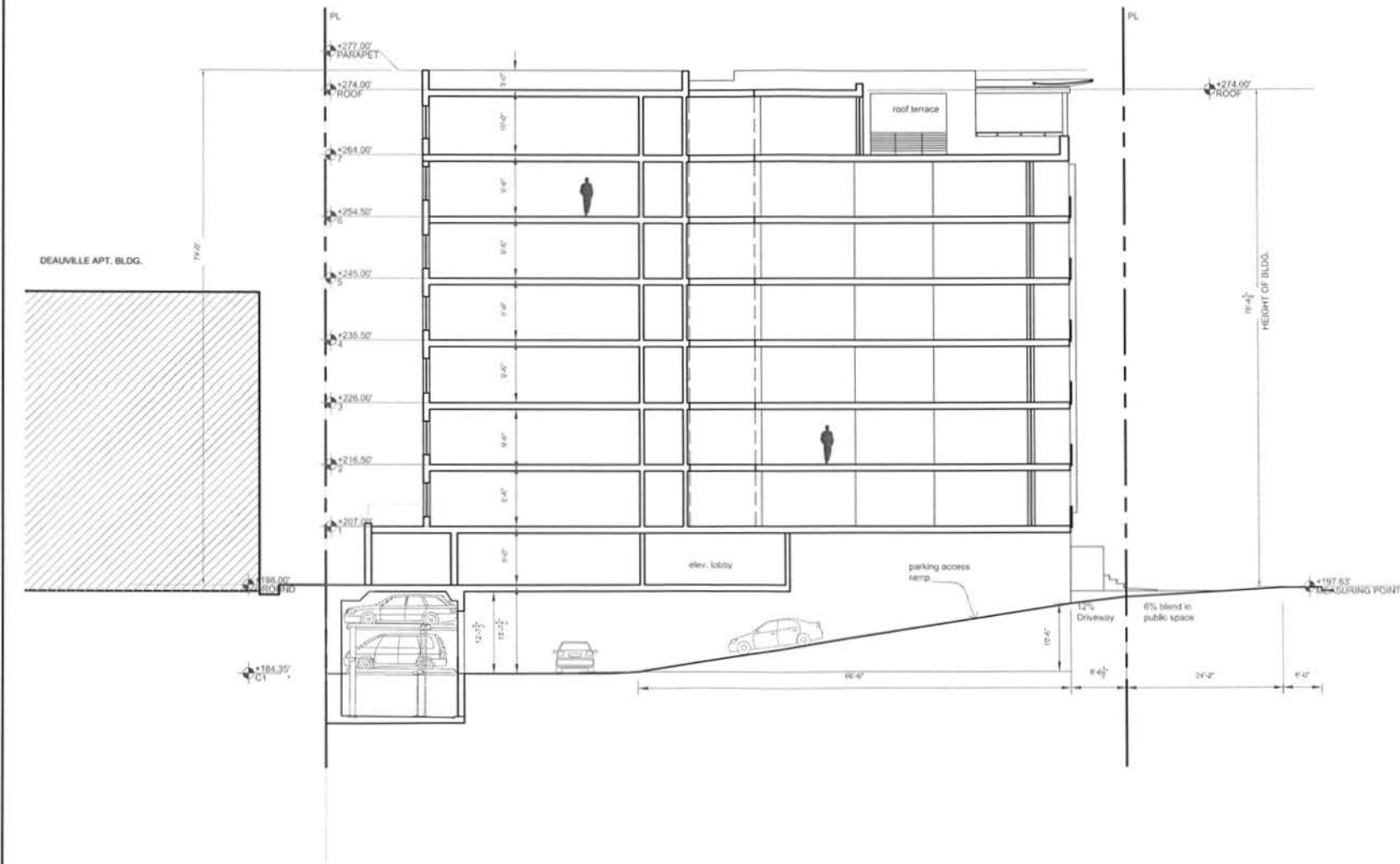
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DATE:	DESCRIPTION:
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SHEET TITLE:

SECTION CC

3.2



SECTION CC

SCALE: 1/16" = 1'-0"

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**MERIDIAN HILL BAPTIST
 CHURCH ADAPTIVE
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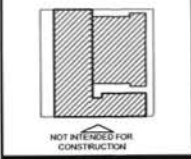
Architect
 MARTINEZ + JOHNSON ARCHITECTURE
 1412 Eye Street, NW
 Washington, DC 20005
 202.333.4480

These drawings, specifications and other documents shall be read in conjunction with the zoning regulations of the District of Columbia, and the applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

**BOARD OF ZONING
 ADJUSTMENT
 SUBMISSION**

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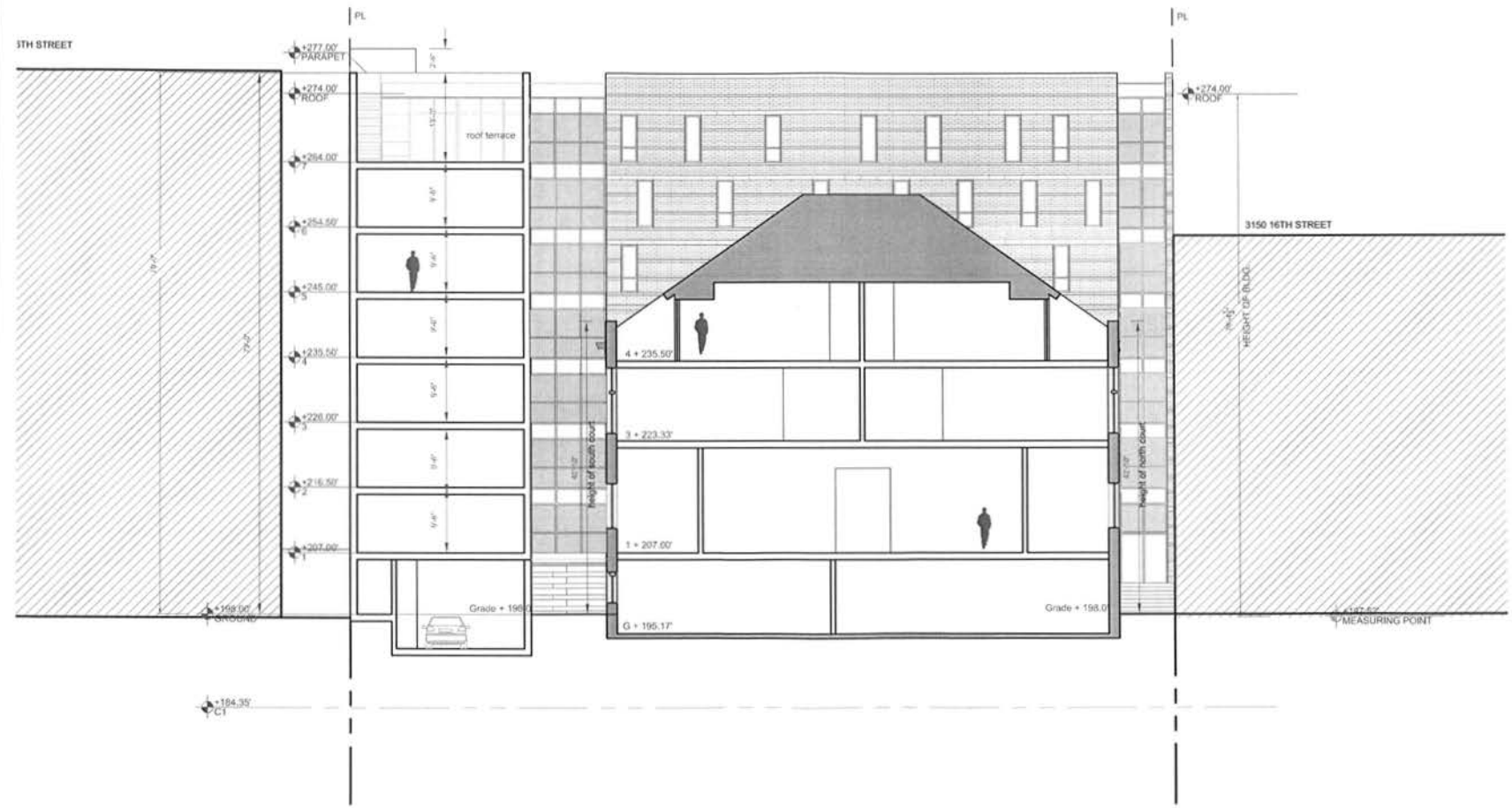
KEY PLAN



DATE:	DESCRIPTION:
10.07.11	BZA SUBMISSION

SHEET TITLE:
SECTION DD

3.3



SECTION DD

SCALE: 1/16" = 1'-0" 01

MERIDIAN HILL BAPTIST
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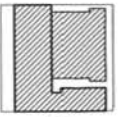
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BOARD OF ZONING
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KEY PLAN



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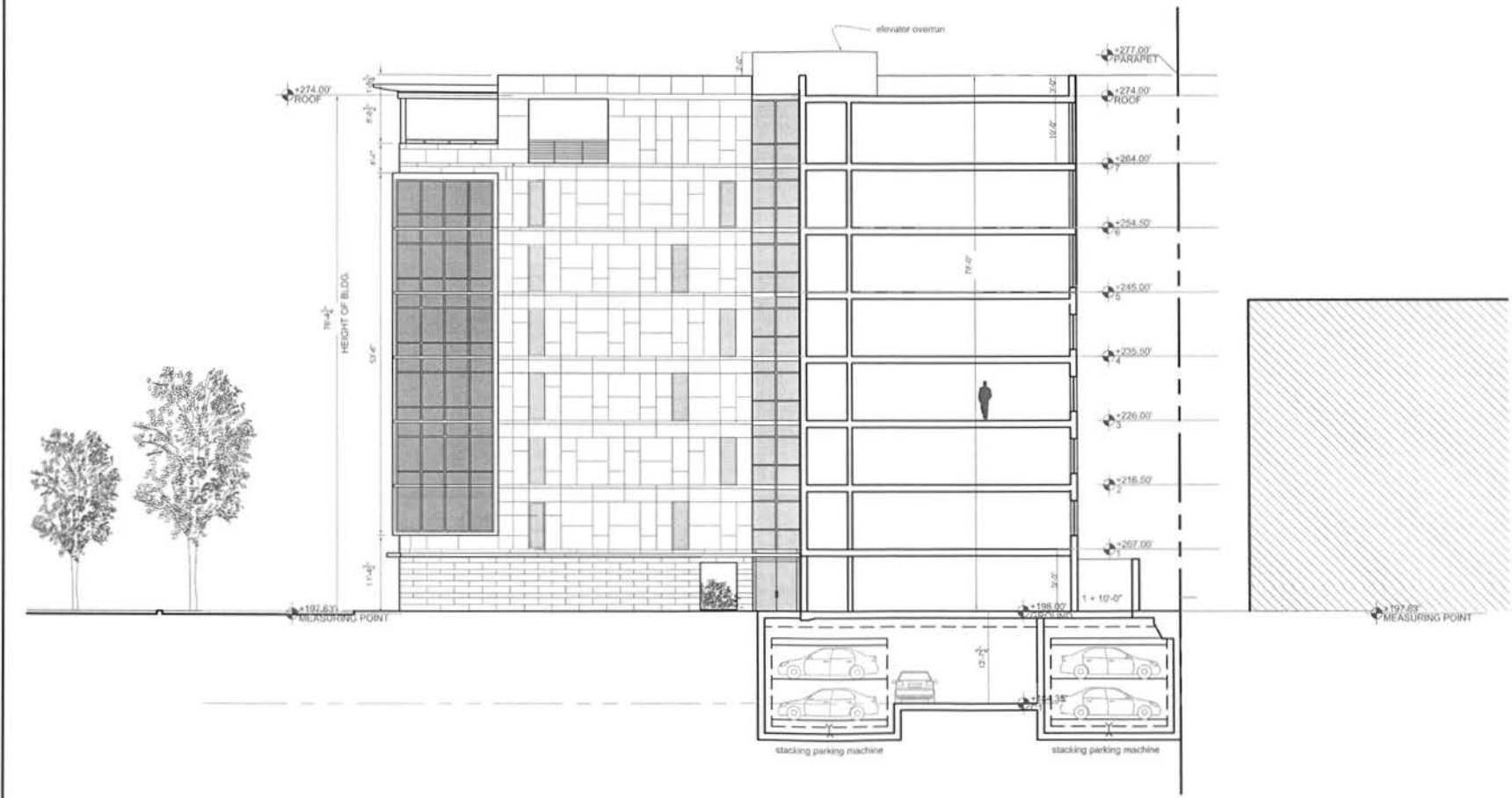
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SHEET TITLE:

SECTION EE

3.4



SECTION EE

SCALE: 1/16" = 1'-0" 01

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