

PROJECT DATA

OWNER:

MARY SCHOELEN AND BRAD SMITH
658 E STREET NE
WASHINGTON, DC, 20002

ZONING DATA

LOT: 801
SQUARE: 861
LOT AREA: 1211 SF
ZONE: R-4
USE GROUP: R-3
CONSTRUCTION TYPE: 3B

TWO STORY ROW DWELLING w/ BASEMENT
SINGLE FAMILY DWELLING

FIRE ALARM: NO
SPRINKLER: NO
FIRE DETECTION: HARD WIRED AND INTERCONNECTED
SMOKE DETECTORS W/ BATTERY BACKUP
ACCESSIBILITY: NO



VICINITY MAP (NTS)

	EXISTING	PROPOSED	MAXIMUM
LOT COVERAGE	786.8 SF	847.7 SF	726.6 SF
(PERCENTAGE)	64.97%	70%	60.0%
REAR YARD	25.5'	NO CHANGE	20.0' MINIMUM
SIDE YARD	N/A	N/A	N/A
OPEN COURT	3.8'	NO CHANGE	6.0' MIN
HEIGHT	23.0'	NO CHANGE	40'
STORIES	2+B	NO CHANGE	2+B
F.A.R.	N/A	N/A	N/A
SQUARE FOOTAGE			
BASEMENT	611 SF	NO CHANGE	
FIRST FLOOR	611 SF	NO CHANGE	
SECOND FLOOR	611 SF	NO CHANGE	
TOTAL	1833 SF	NO CHANGE	

PROJECT DESCRIPTION:

KITCHEN AND BATHROOM RENOVATION, INCLUDES MECHANICAL,
ELECTRICAL & PLUMBING

APPLICABLE BUILDING CODES:

DCMR 11
IBC 2006
IRC 2006
DCMR 12-8, DC CONSTRUCTION CODES SUPPLEMENT 2006 EDITION

FIRE RATING DATA:

EXTERIOR LOAD BEARING FACE-ON-LINE WALLS
1 HOUR RATED WOOD FRAME W/ VENEER
EXTERIOR LOAD BEARING PARTY WALLS
2 HOUR RATED SOLID MASONRY, 12" THICK
FLOOR FRAMING
FIRST FLOOR: 1 HOUR RATED, 2X10 WOOD JOISTS @ 16" OC
SECOND FLOOR: 0 HOUR RATED, 2X10 WOOD JOISTS @ 16" OC
ROOF FRAMING
1 HOUR RATED WITH 4" OF P.L.L. 2X8 RAFTERS, OR
2 HOUR RATED PARAPET WALL TO 30" ABOVE ROOF

STRUCTURAL DESIGN CRITERIA:

DECK
LIVE LOAD: 40 PSF
SNOW LOAD: 30 PSF

CONCRETE FOR FOOTINGS TO BE MIN 3000 PSI,
NORMAL WEIGHT, AIR ENTRAINED

WOOD STRUCT MEMBERS TO BE NON ARSENIC, PT HEM-FIR SS
EXTREME FIBER STRESS IN BENDING 1200 PSI
MODULUS OF ELASTICITY 1.4X10-6 PSI
ALLOWABLE DEFLECTION 1/360 OF SPAN

WOOD DECKING TO BE 1" RECYCLED LUMBER
COMPRESSION PARALLEL 1806 PSI
COMPRESSION PERPENDICULAR 1944 PSI
MODULUS OF ELASTICITY 175 PSI
TENSILE STRENGTH 854 PSI
SHEAR STRENGTH 561 PSI

HANDRAILS

LIVE LOAD: 200 PSF

STAIRS

40 PSF OR 300 LBS CONCENTRATED LOAD
ACTING OVER 4 SQ INCHES

FLOOR JOIST SPANS

RESIDENTIAL LIVING AREAS: 40 PSF
RESIDENTIAL SLEEPING AREAS: 30 PSF

SOIL BEARING LOAD

2000 PSI

MIN CONCRETE STRENGTH

2500 PSI

PORCH ADDITION

658 E STREET NE

Washington DC 20002

Schoelen - Smith Residence

DRAWING INDEX

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BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18316

EXHIBIT NO. 9

Board of Zoning Adjustment
District of Columbia
CASE NO.18316
EXHIBIT NO.9

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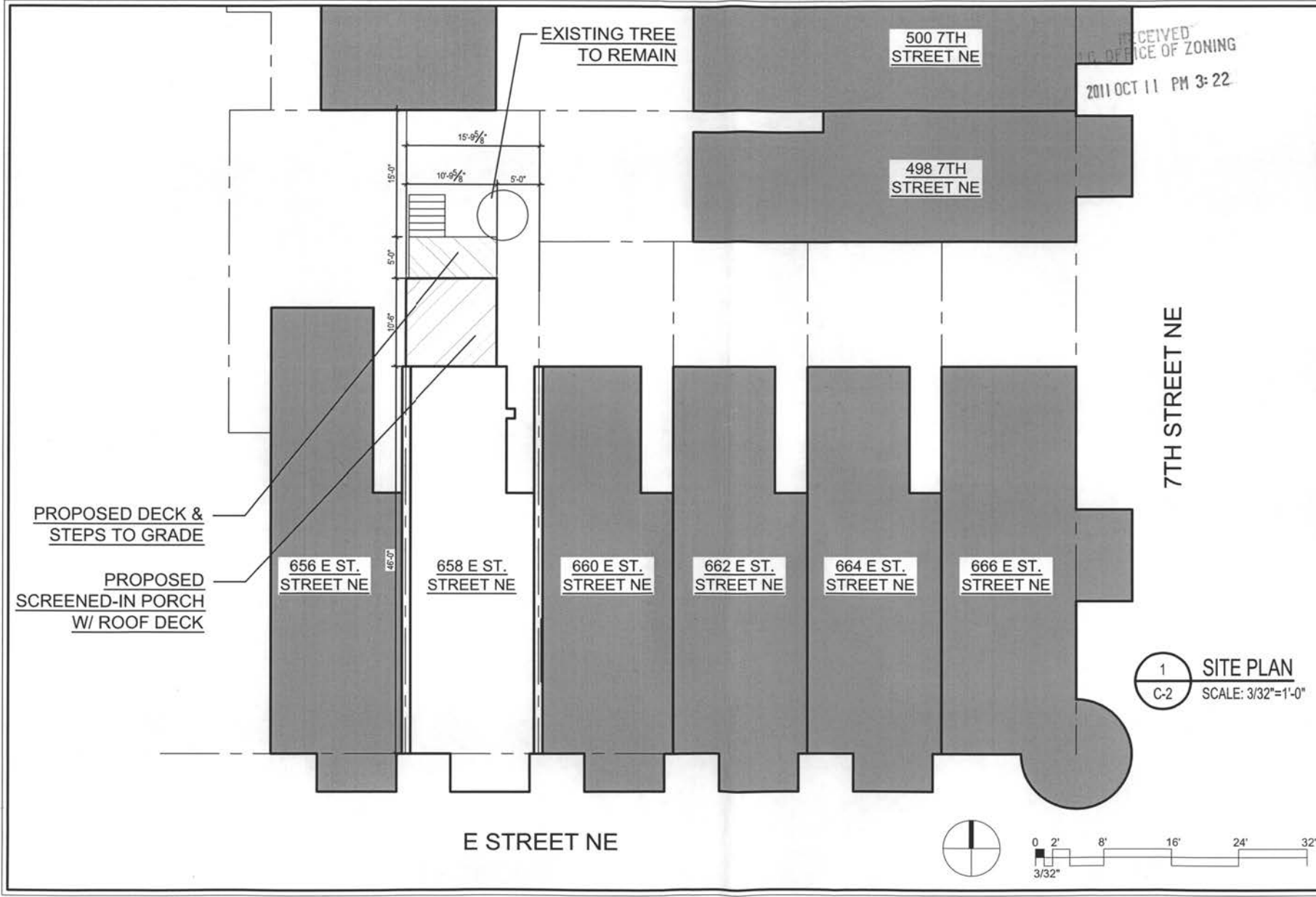
VERSION: PRELIM

DATE: 8-24-11

SCALE: N.T.S.

COVER SHEET

C-1



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1 SITE PLAN
C-2 SCALE: 3/32"=1'-0"

VERSION: BZA
DATE: 10-11-11
SCALE: 3/32"=1'-0"

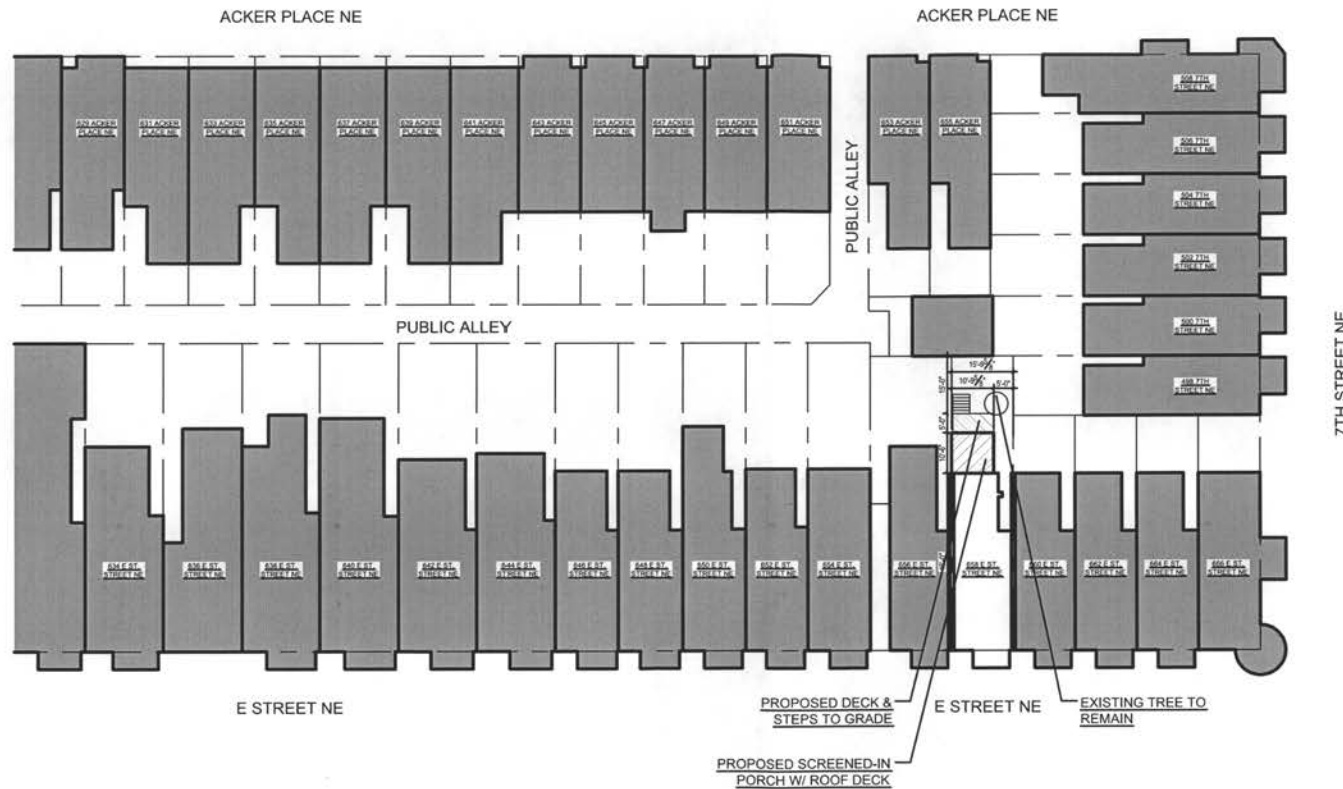
SITE PLAN

C-2

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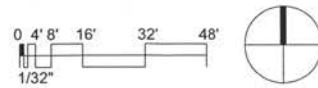
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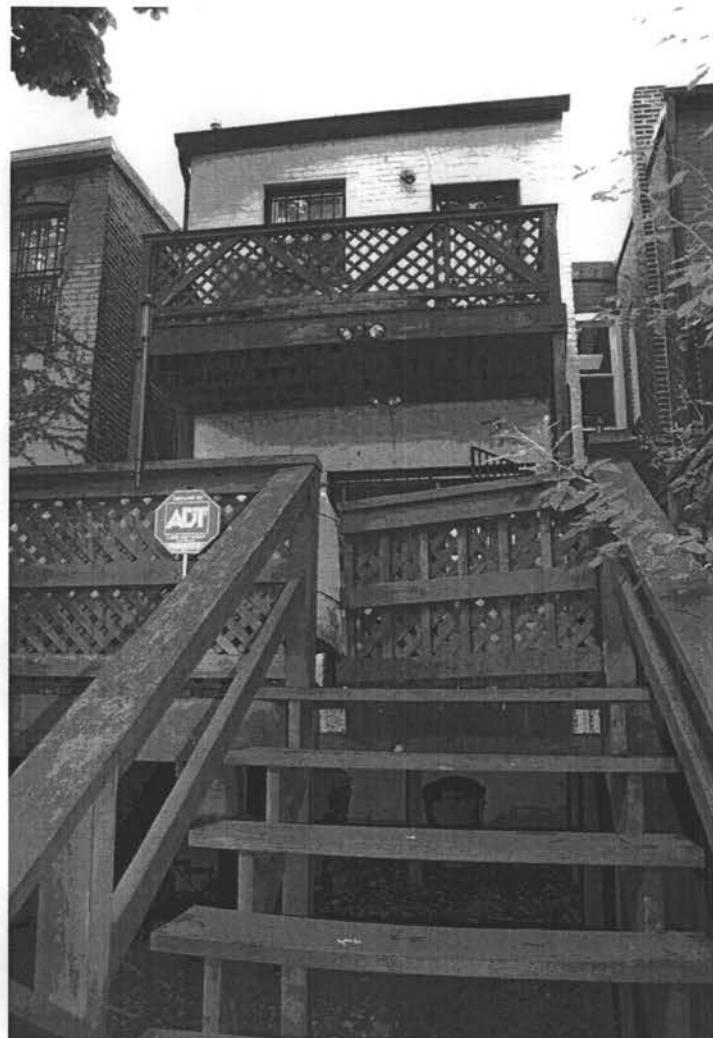
SITE PLAN

C-3

1 BLOCK SITE PLAN
C-3 SCALE: 1/32"=1'-0"



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2 REAR FACADE
C-4 SCALE: N.T.S.



1 STREET FRONTAGE
C-4 SCALE: N.T.S.

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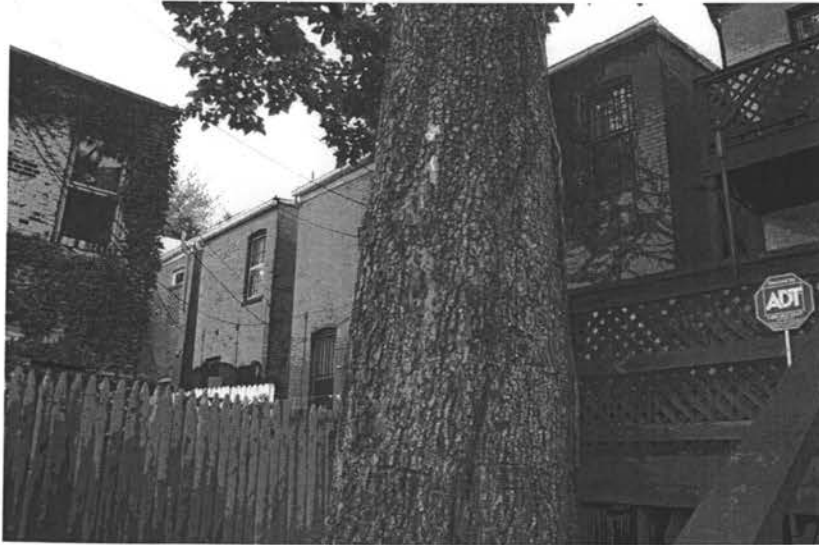
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PICTURES

C-4

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2 HOUSES TO THE EAST
C-5 SCALE: N.T.S.

1 HOUSES TO THE WEST
C-5 SCALE: N.T.S.

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PICTURES

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SCALE: N.T.S.

PICTURES

C-6

1 ALLEY TO THE NORTH
C-6 SCALE: N.T.S.

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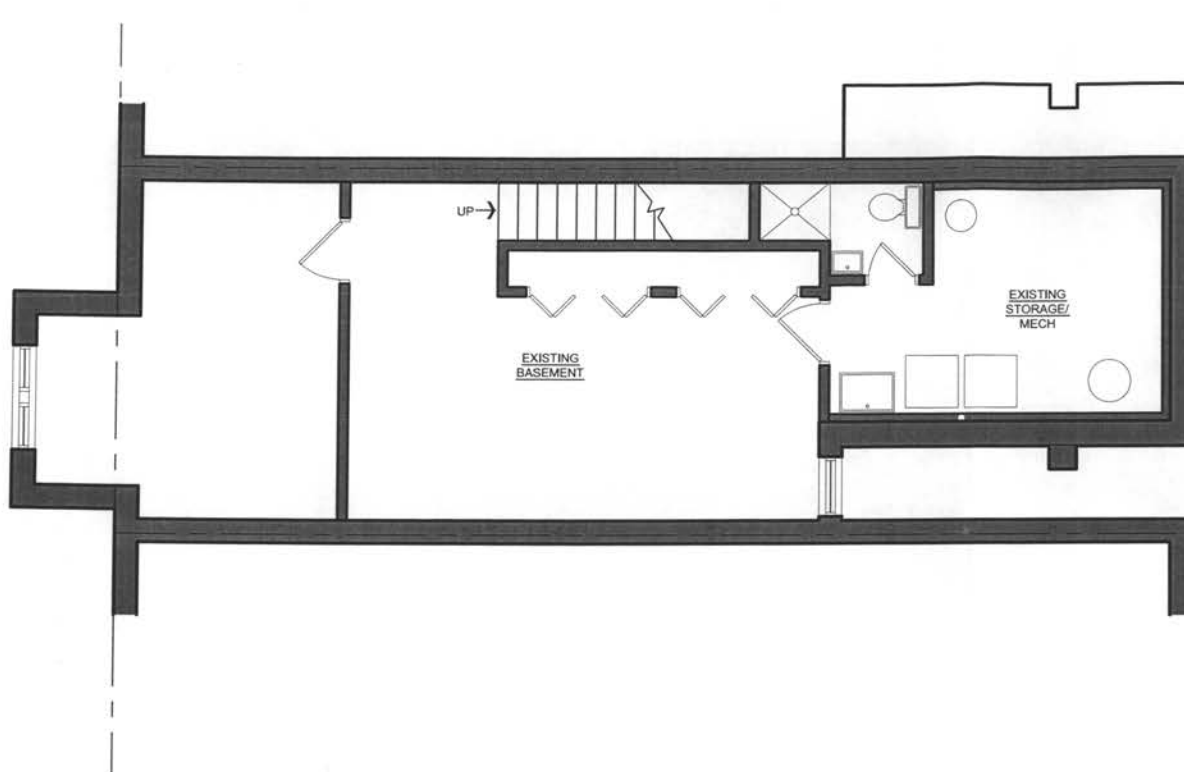
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SCALE: 3/16"=1'-0"

BASEMENT
DEMOLITION PLAN

D-1



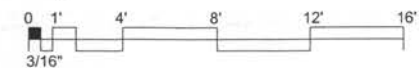
GENERAL DEMOLITION NOTES:

1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. LABEL, STORE AND PROTECT ALL SALVAGE ITEMS TO BE REUSED IN THIS PROJECT.
3. ALL WALLS, DOORS, FRAMES, ETC. SHOWN DASHED SHALL BE REMOVED COMPLETELY, UON.
4. WALLS TO BE REMOVED SHALL BE REMOVED FROM FLOOR TO STRUCTURE ABOVE. REMOVAL SHALL INCLUDE ALL ARCHITECTURAL, MECHANICAL, & ELECTRICAL ACCESSORIES, EQUIPMENT, ETC.
5. WHERE AN EXISTING DOOR IS INDICATED FOR REMOVAL THE DOOR FRAME SHALL ALSO BE REMOVED UNLESS OTHERWISE NOTED. SALVAGE ALL DOORS AND TRIM.
7. DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION. ALL PATCHING SHALL BE FLUSH WITH SURROUNDING SURFACES AND LEVEL WITHIN TOLERANCES SPECIFIED FOR THE SPECIFIC MATERIAL. IF MATERIAL IS NOT SPECIFIED, MAINTAIN EXISTING PLANES WITHIN 1/8" IN 10 FEET, NON-CUMULATIVE.
8. THE ITEMS IDENTIFIED TO BE REMOVED REPRESENT THE MAJOR ITEMS ONLY. MINOR ITEMS, THAT REQUIRE REMOVAL TO COMPLETE THE WORK, SHALL ALSO BE REMOVED.

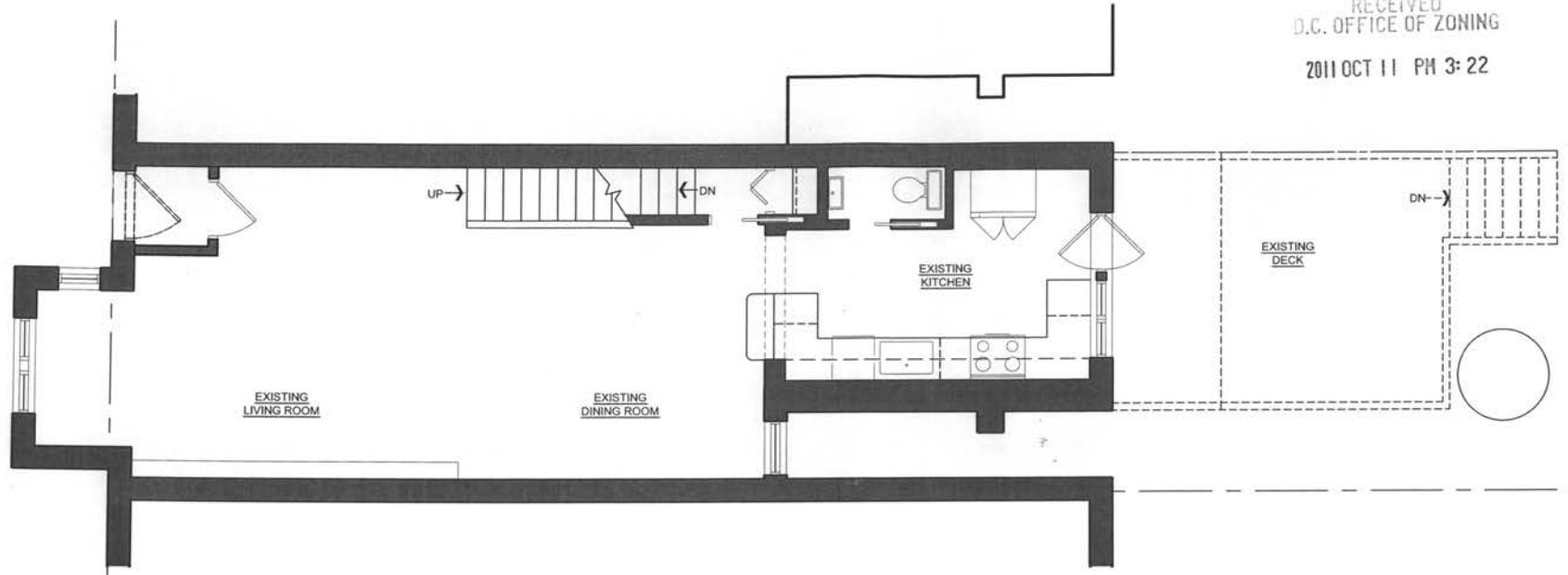
1 BASEMENT DEMOLITION PLAN D-1 SCALE: 3/16"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED



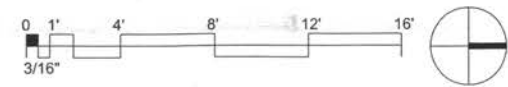
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LEGEND:

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED

1
D-2 **FIRST FLOOR DEMOLITION PLAN**
SCALE: 3/16"=1'-0"



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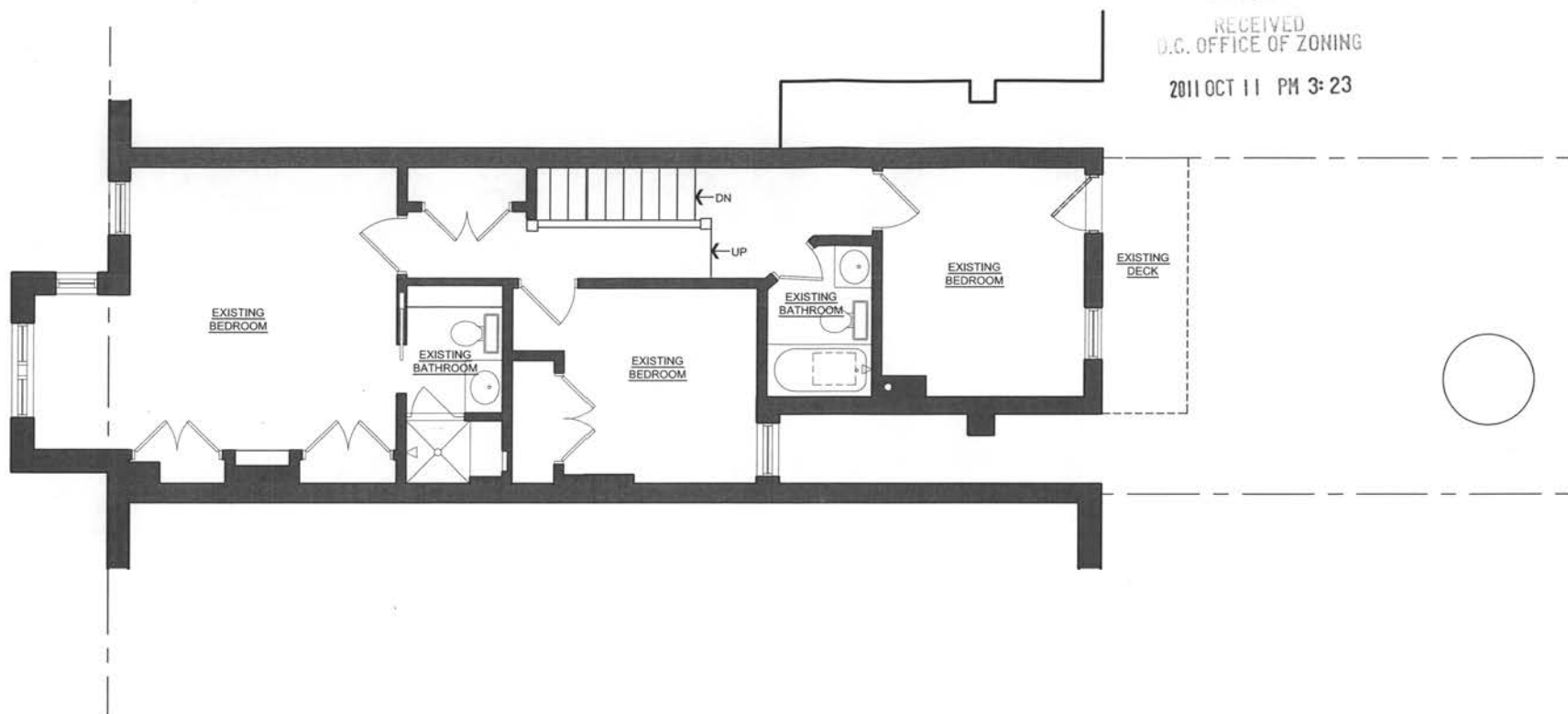
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FIRST FLOOR
DEMOLITION PLAN

D-2



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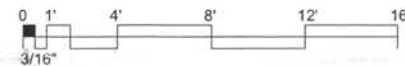
LEGEND:

-  EXISTING PARTITION TO REMAIN
-  EXISTING PARTITION TO BE REMOVED
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"



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SECOND FLOOR
DEMOLITION PLAN

D-3

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SCALE: 3/16"=1'-0"

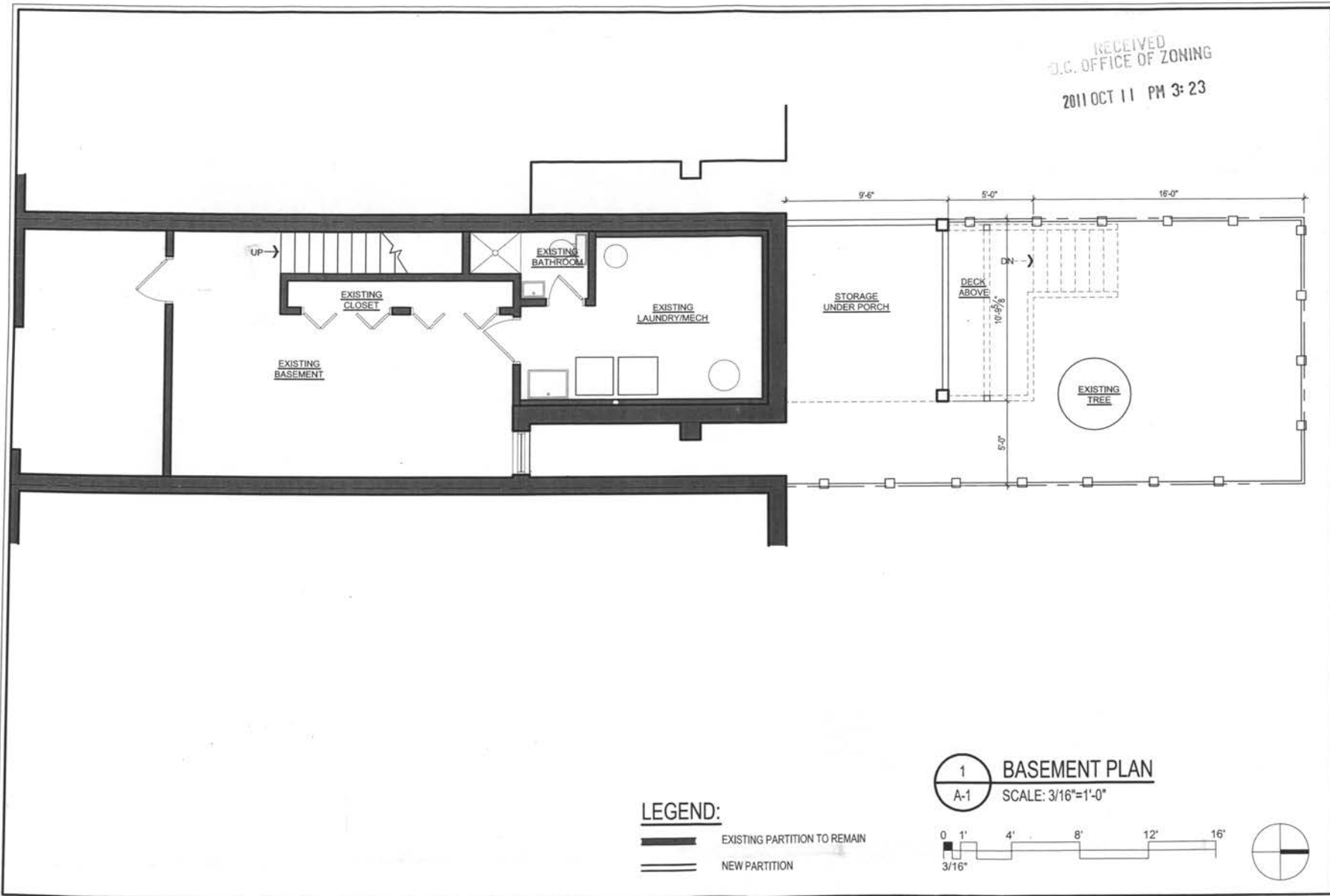
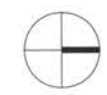
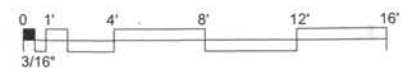
BASEMENT PLAN

A-1

LEGEND:

- EXISTING PARTITION TO REMAIN
- NEW PARTITION

1
A-1
BASEMENT PLAN
SCALE: 3/16"=1'-0"



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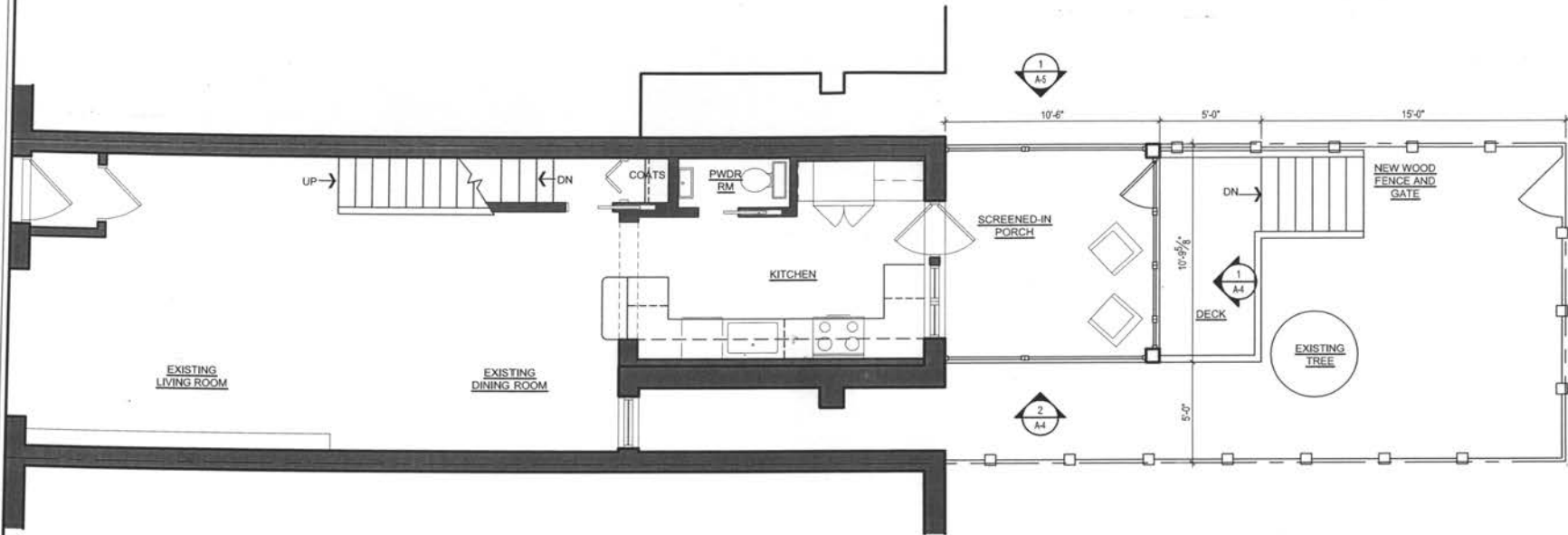
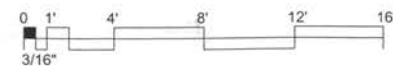
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DATE: 10-11-11
SCALE: 3/16"=1'-0"
FIRST FLOOR PLAN

A-2

LEGEND:

- EXISTING PARTITION TO REMAIN
- NEW PARTITION

1 FIRST FLOOR PLAN
A-2 SCALE: 3/16"=1'-0"



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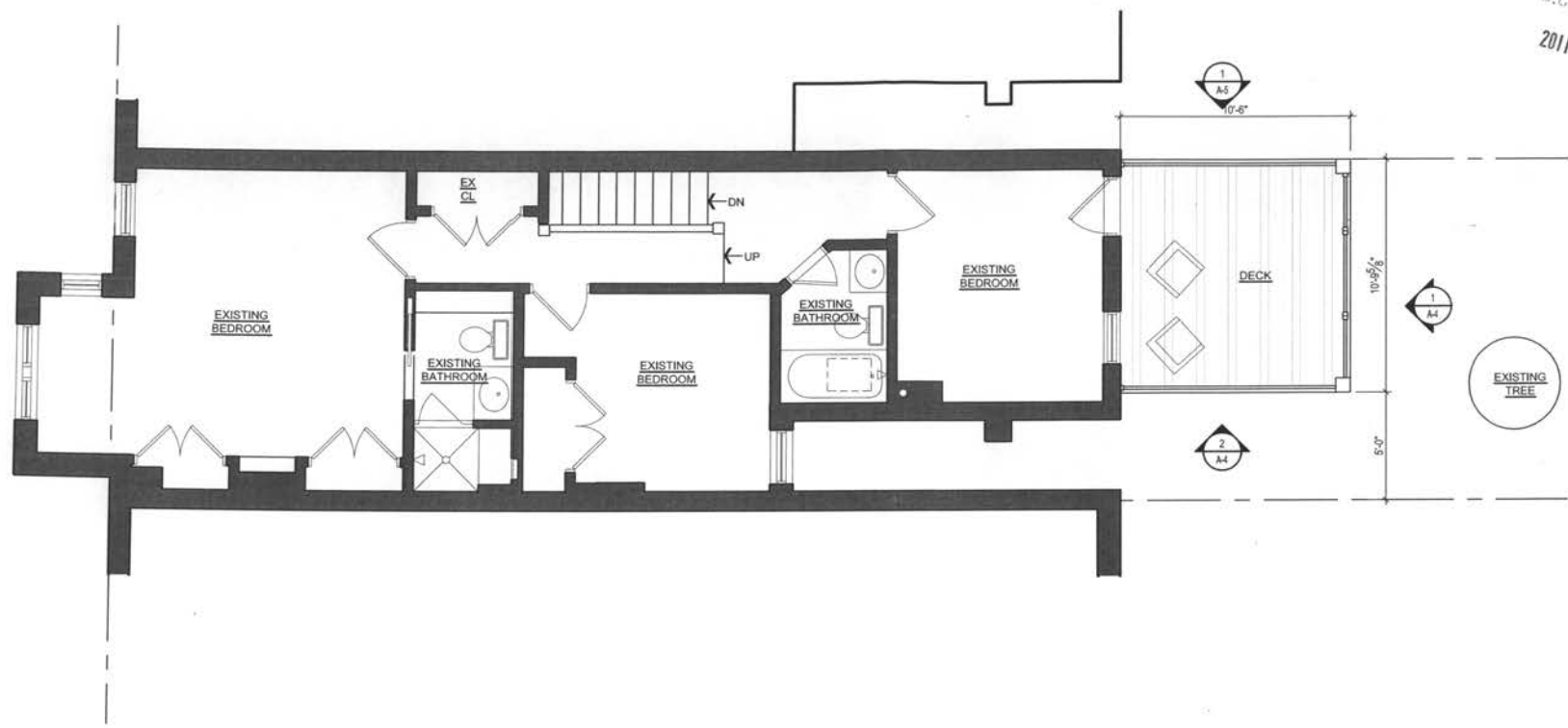
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 SECOND FLOOR PLAN

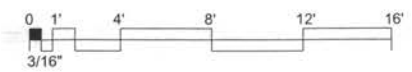
A-3



1
 A-3
 SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"

LEGEND:

- EXISTING PARTITION TO REMAIN
- NEW PARTITION



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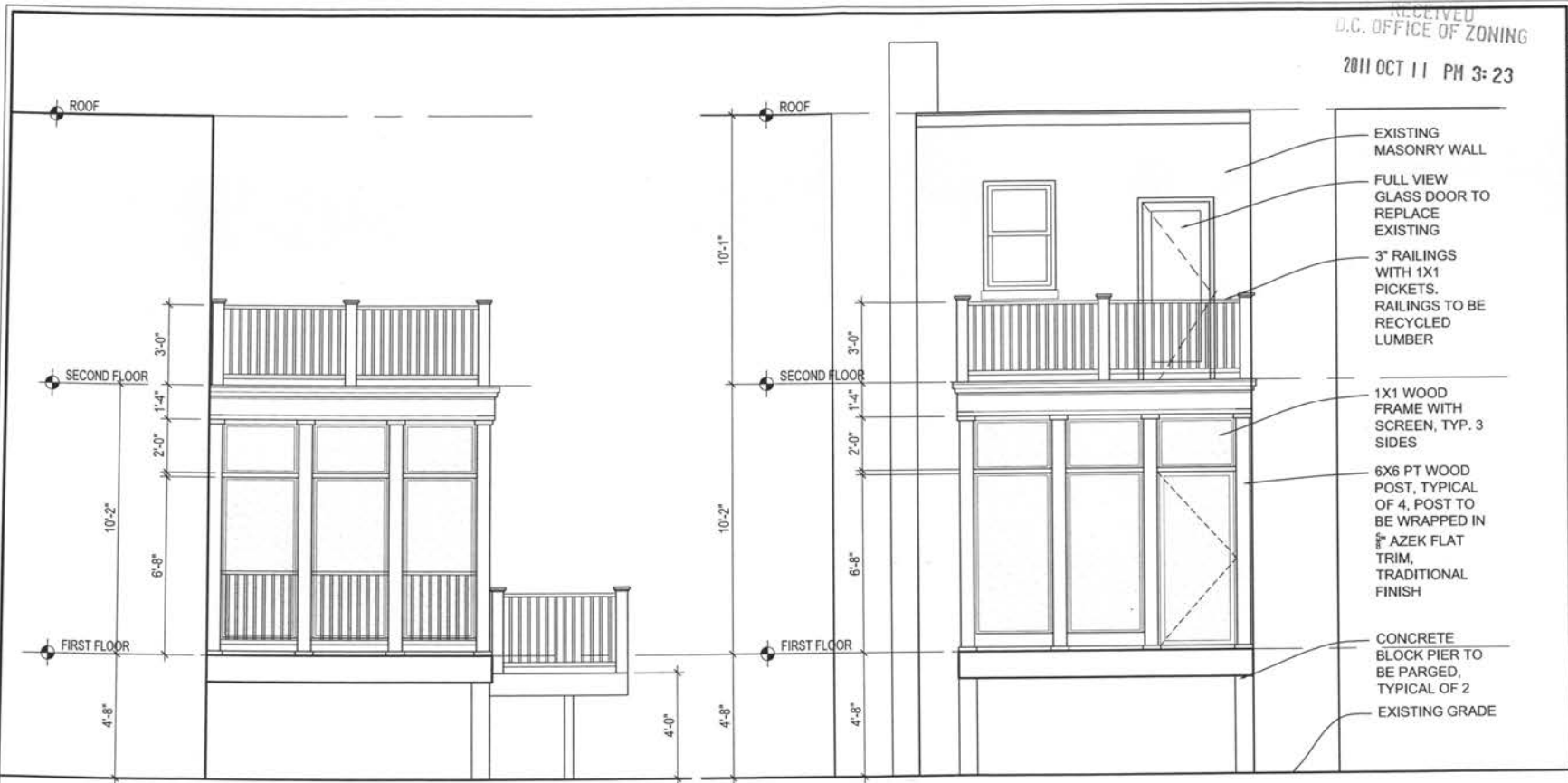
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EXTERIOR ELEVATIONS

A-4



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1 WEST ELEVATION
A-5 SCALE: 1/4"=1'-0"

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EXTERIOR ELEVATIONS

A-5