

Holland & Knight

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D.C. OFFICE OF ZONING

2012 FEB 14 PM 1:40

Alice Gregg Haase
(202) 828-1859
alice.haase@hklaw.com

February 14, 2012

Via Hand Delivery

Board of Zoning Adjustment
for the District of Columbia
441 4th Street, NW, Suite 210S
Washington, DC 20001

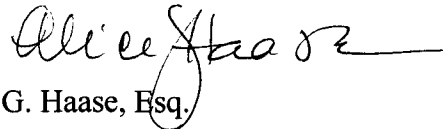
Re: BZA Case No. 18315 – S&R Foundation
1628 28th Street, NW (Square 1285, Lot 815)

Dear Board Members:

On behalf of Evermay Georgetown, LLC and the S&R Foundation, we are submitting herewith an original and twenty copies of the Statement of the Applicant in support of the application for special exception requested for the above-referenced property. We look forward to the Board of Zoning Adjustment's consideration of this application at the hearing on February 28, 2012.

Sincerely yours,

HOLLAND & KNIGHT LLP



Alice G. Haase, Esq.

cc: Joel Lawson, OP (*Via E-Mail*)
Stephen Mordfin, OP (*Via Email*)
Advisory Neighborhood Commission 2E (*Via Overnight Mail*)
M. Carolyn Brown, Esq. (*Via E-Mail*)

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18315

EXHIBIT NO. 27

RECEIVED
OFFICE OF ZONING

BEFORE THE DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT

2012 FEB 14 PM 1:40

APPLICATION OF:	)	
	)	
S&R FOUNDATION	)	BZA APPLICATION NO. 18315
	)	
Application for special exception, pursuant to	)	
Section 217, to allow non-profit offices in the R-1-	)	ANC 2E
B District at 1628 28 th Street, N.W. (Square 1285,	)	
Lot 815)	)	<u>HEARING DATE:</u>
	)	February 28, 2012
	)	

STATEMENT OF THE APPLICANT

I.

Nature of Relief Sought

The S&R Foundation (the "Applicant" or "Foundation"), on behalf of Evermay Georgetown, LLC, the owner of the property, submits this statement, through undersigned counsel, in support of its application to the Board of Zoning Adjustment ("BZA" or the "Board") for special exception, pursuant to section 217 of the Zoning Regulations, to allow the use of the existing residential dwelling, accessory buildings and property to be used for non-profit organizational use. The special exception to allow the Applicant to use the property at 1628 28th Street, NW, Washington, D.C., also known as Square 1285, Lot 815, ("Property" or "Evermay") for purposes of the Applicant, a 501(c)(3) non-profit. Evermay will continue to serve as a residence for the property owners. The Evermay site has a total measured land area of 3.57 acres, or 155,509 square feet. A survey is included as Exhibit A.

II.

Jurisdiction of the Board

The Board has jurisdiction to grant the requested relief pursuant to D.C. Code § 6-641.07 (2001 ed.) and 11 DCMR §§ 3103.2.

III.

Background

A. Site and Vicinity Characteristics

1. The Property

The subject property is located in the R-1-B District, as shown on the portion of the Zoning Map attached as Exhibit B. The site comprises Lot 815 in Square 1285, which is bounded by 28th Street, N.W. on the west, Oak Hill Cemetery on the north and east, and Dumbarton Oaks and four single-family dwellings to the south of the Property, three of which front on Q Street and one which fronts on 28th Street. To the west, across 28th Street, are a number of single-family detached dwellings and row dwellings in Square 1284. The Property is located within the Old Georgetown Historic District and is also individually designated as an historic landmark on both the D.C. Inventory of Historic Sites and the National Register of Historic Places.

The main house, a three-story Federal-style mansion, was constructed in 1801 and contains 10,110 square feet of gross floor area plus an additional 5,182 square feet of cellar space. The Gate House, adjacent to the street entrance at the north end of the Property, contains 2,285 square feet of gross floor area and is used for residential purposes. The former domestic quarters, located to the west of the mansion, contains 1,252 square feet of gross floor area. On the east side of the Property are several parking areas for guests and service personnel, and which can accommodate up to 109 vehicles (stacked) with valet parking. The entire area to the south of the main house contains a series of landscaped garden areas. See Exhibit A.

2. The Vicinity

Evermay is situated within Georgetown. Specifically, Square 1285 is generally bounded by Rock Creek Park on the north, the former 27th Street right-of-way on the east, Q Street on the

south, and 28th Street on the west in Northwest D.C. (see Exhibit C). Although Square 1285 is zoned R-1-B in its entirety, the surrounding property to the west and south of the square is located within the R-3 and R-5-B Districts (see Exhibit B). With the exception of Oak Hill Cemetery, which has been placed within the Parks, Recreation, and Open Space land use category, Evermay and all of the surrounding properties are designated for moderate-density residential land uses on the Future Land Use Map of the Comprehensive Plan.

B. Evermay History

Evermay's history dates to the late 18th century. Samuel Davidson, a Scot by birth, became a Georgetown resident in 1783 and a Georgetown commissioner a year later. A close friend of Major Pierre Charles L'Enfant, he bought a tract of land on Dumbarton Rock in 1792 which, after several additions, expanded to become a thirteen-acre estate called Evermay. Davidson enlisted the help of Nicholas King, a friend and Surveyor of the City of Washington, to design the home which he occupied in 1801. Not having any children, Samuel Davidson left Evermay to a nephew, Lewis Grant, also a native of Scotland and a businessman in and around Baltimore and Queen Anne, Maryland. A condition of the inheritance was that he would take the Davidson name.

The Davidsons married into the Dodge family, and it was Eliza Grant Davidson Dodge who sold two-thirds of the estate in the mid-1800s, much of it to develop Oak Hill Cemetery. The remainder of the Property was later sold to John D. McPherson, a local attorney, in 1877. After his death the Property was leased to the William Blakely Orme family, who lived at Evermay for twenty years. McPherson's descendants then sold the Property to Francis H. Duehey in 1919, who intended to develop the Property as a hotel or apartment buildings. However, when zoning permission was withheld, he sold the estate in 1923 to Ferdinand

Lammot Belin, an international diplomat, architect and philanthropist. The Property remained in the Belin family for many years until July 2011 when Harry Belin sold the Property to the current owner, Evermay Georgetown, LLC.

The managing members of Evermay Georgetown are Doctors Sachiko Kuno and Ryuji Ueno, the co-founders of the Foundation. Doctors Kuno and Ueno intend to establish their Foundation headquarters at Evermay while also retaining use of the property for residential purposes.

IV. Description and Operation of the S&R Foundation

A. Description of Foundation (Applicant)

Doctors Kuno and Ueno established the Foundation in 2000 to encourage and stimulate scientific research and artistic endeavors among gifted young individuals, with an emphasis on individuals who had, or could, contribute to a greater understanding between the United States and their native Japan. Originally the purposes of the Foundation were focused on the fields of the arts, cultural understanding, as well as medical and pharmaceutical research. But in 2011, after witnessing, and in some cases, experiencing, the world-wide effects of earthquakes, tsunamis and hurricanes, the Foundation's Board of Directors expanded the Foundation's purposes to include the exchange of knowledge regarding such catastrophes, including recommendations for appropriate response to, and management of, emergency hazards. The more specific purposes of the Foundation, as listed in the Articles of Incorporation, as amended, are:

- (1) To operate exclusively for charitable, scientific, literary or educational purposes;

- (2) To provide scholarships and financial support to medical students and students pursuing health care service related degrees;
- (3) To provide grants for research in the medical field and pharmaceutical field;
- (4) To encourage and support young artists with an emphasis on young artists whose activities take place in both the United States and Japan or whose specialties contribute to mutual understanding between the two countries;
- (5) To enhance and promote cultural exchange between the United States and Japan, with the intention of fostering mutual understanding;
- (6) To encourage the exchange of knowledge, information, and ideas between the United States, Japan, and countries in the Asia/Oceania Region regarding emergency management of hazard risks that cause disasters or catastrophes, whether the hazard risks are naturally occurring or human-made;
- (7) To provide high quality, independent research, innovation, and practical recommendations for emergency management of hazard risks;
- (8) To advance global resilience by disseminating to countries and non-governmental organizations best practices for structural and nonstructural measures to prepare for, protect against, respond to, recover from, and mitigate all hazard risks.

A copy of the Articles of Incorporation and Amendment are attached hereto and incorporated herein as Exhibit D.

The Foundation has a track-record of success. Since 2001 the Foundation has funded two on-going awards, one in the field of fine arts and the other in health care-related sciences. For the past ten years the S&R Foundation has provided grants to over 40 particularly talented artists and scientists through its annual awards program, the S&R Washington Award and the S&R Ueno Award.

The S&R Washington Award is given annually to one or more talented young artists in the fields of music, drama, dance, photography or film. Since the Foundation was organized, 31 artists have benefitted from the grants, with some having debuts at the Kennedy Center, Carnegie Hall, and recitals with the Washington Conservatory of Music. The most recent award winners, announced in December 2011, include a cellist, conductor, pianist, and theatrical set designer. In April 2012, the Foundation will host a performance series at the Kennedy Center in conjunction with the National Cherry Blossom Festival's Centennial Celebration of the Gift of Trees from the people of Tokyo to the people of Washington, DC. This unique concert series, entitled "Overtures", will feature seven artists, four of whom are past award-winners and each of whom has since achieved world-class stature. Locally, the Foundation also has lent its support to various other institutions, such as the Textile Museum, Washington Ballet, and Young Concert Artists, among others.

The S&R Ueno Award is intended to support targeted medical and pharmaceutical research in ion channels or epithelial barrier function, and is generally given to the institution in which the research is performed. The award was created in 2008 and is now sponsored in collaboration with the American Physiological Society as the S&R Ryuji Ueno Award. As example, past recipients have included the University of Maryland School of Medicine, the Medical College of Wisconsin, Emory University and the University of California at Los Angeles. The 2012 award winner is Dr. Christopher Weber, at the University of Chicago Pritzker School of Medicine.

Not satisfied with the Foundation's phenomenal success, the Board of Directors believe that with strategic planning and conservative management, the Foundation's resources can experience greater growth. In that manner, the Foundation will be able to identify and sponsor

more talented artists and scientists in greater numbers and at more rapid pace. Therefore, the use of, and operations at, Evermay are based on a 10-year plan to which the Foundation aspires.

B. Operations of the Foundation (Applicant)

Pursuant to approval of the special exception, the Foundation intends to locate its offices at Evermay, conduct its business operations and hold associated Foundation events there, as well. Most importantly, unlike several of the other Georgetown "great houses", Evermay *will not* be used for regularly scheduled house and garden tours, or as a rental venue for any events. Rather, the Foundation intends to host its concerts, exhibits and meetings at Evermay.

1. Non-Profit Offices

The non-profit offices will be located in the former domestic quarters. See Exhibit A. In the last few months, the domestic quarters were renovated to provide office space for up to nine employees. When the Foundation relocates to Evermay, it will do so with only five employees, although the proposed Special Exception Conditions ("Conditions") permit a total of nine employees. See Exhibit E.

Regular office hours will be Monday through Friday, 7 a.m. to 8 p.m. These hours will provide employees with flexible arrival and departure times. There will be occasional weekend hours, generally during weekend events associated with artists' performances. Parking is plentiful at Evermay and all employees who drive to work will park on-site.

2. Concerts and Exhibits

Concerts and exhibits will be held year-round, to showcase the artists to whom the Foundation has awarded grants (past, present and future), as well as for other intended beneficiary organizations, such as those listed in Section IV.A. Attendees will be invited guests only (concerts and exhibits are not open to the general public) and attendance will be limited

pursuant to the Conditions. Events have been scheduled to circumvent arrivals and departures during peak traffic hours so as to mitigate any associated impact upon the neighborhood. The days and hours for concert events are as follows:

Days	Hours
Monday - Thursday	2 p.m. to 4 p.m.; 7 p.m. to 10 p.m.
Friday and Saturday	1 p.m. to 10 p.m.
Sunday	1 p.m. to 9 p.m.

Exhibitions may be held on the following days and during the following hours:

Days	Hours
Monday - Thursday	10 a.m. to 4 p.m.
Friday and Saturday	1 p.m. to 10 p.m.
Sunday	1 p.m. to 9 p.m.

As referenced above, attendance will be limited to invited guests only, and events will further be restricted by the number of guests. The ten-year plan for the concerts and exhibits, including the maximum number of permitted guests and events, and on-site parking management, is:

Maximum Number of Guests	Number of Events Permitted Annually	On-site Parking
1 - 50	24	Foundation staff
51 - 80	18	Valet Service
81 - 150	12	Valet Service

3. Civic/Fundraising Events

Pursuant to the draft Conditions, the Foundation proposes to hold a total of three events associated with its distinct fund-raising or civic obligations. For instance, the Foundation has traditionally held an annual fund-raising dinner/concert showcasing the past year's award winners and an event might be held in conjunction with the National Cherry Blossom Festival. As with the concerts and exhibits, only invited guests will attend these events. The 10-year schedule permits three of these events annually, two of which would be for 50 to 100 guests, and one which would permit up to 200 guests, according to the following schedule:

Days	Hours
Monday - Thursday	7 p.m. to 10 p.m.
Friday and Saturday	1 p.m. to 10 p.m.
Sunday	1 p.m. to 9 p.m.

4. Fellows Meetings

Fellows meetings are intended to gather scholars, scientists, and the like, to further the exchange and dissemination of information related to global resilience and particularly, to the emergency management of hazard risks. As implied, the "Fellows" would be professionals with significant levels of experience and leadership in hazard-related fields who gather at Evermay for scholarly exchange. The Fellows meeting events would run throughout the year, Monday through Friday, during normal business hours, often attended by only 10-20 participants, although the occasional meeting might be attended by more fellows (but no more than 50), and then, only for one to two days. There are two unique features to the Fellows program. First, generally the Fellows will not be residents of Washington, D.C., and often, not live in the United

States. Second, Evermay is capable of housing approximately ten Fellows on-site for the duration of the meetings. The unique features of the Fellows program implicitly mitigate traffic impacts since Fellows will not arrive in individual vehicles. They either will be on-site or reside as group in off-site accommodations and will arrive by shuttle vans.

The Fellows meeting schedule will be Monday through Friday, 7 a.m. to 9 p.m., for the maximum number of guests:

Maximum number of Guests	Maximum Number of Fellows Meetings Permitted
1 - 20	24 (Monday - Friday)
21 - 50	12 (Two-day meeting)

V.

The Application Meets the Standards for Special Exception for Non-Profit Use under the Zoning Regulations

A. Nature of Relief Sought

The R-1-B district permits non-profit organization use through special exception relief. In order for the Foundation to locate its offices at Evermay, it must first seek special exception relief under section 217 of the Zoning Regulations. The Foundation meets the requirements for special exception approval under sections 217 and 3104 as detailed below.

B. Standard of Review for Variance Relief

Section 217 of the Zoning Regulations provides that the Board of Zoning Adjustment may grant special exception relief from the R-1-B regulations, subject to the following requirements:

a. 217.1: (a) If the building is listed in the District of Columbia's Inventory of Historic Sites contained in the comprehensive statewide historic preservation survey and plan prepared pursuant to § 101(a) of the National Historic Preservation Act, approved October 15, 1966 (80 Stat. 915, as amended; 16 U.S.C. § 470a), or, if the building is located within a district, site, area, or place listed on the District of Columbia's Inventory of Historic Sites; and (b) If the gross floor area of the

building in question, not including other buildings on the lot, is ten thousand square feet (10,000 ft.²) or greater.

Evermay satisfies both conditions of this provision. It is listed in the D.C. Inventory of Historic Sites as an individual landmark and has a gross floor area that exceeds 10,000 square feet.

Evermay's heritage is an essential element in the history of Washington, D.C. Its beginnings trace back to 1792, followed by the completion of the dream home of Samuel Davidson (1801), first homeowner and a close friend of Major Pierre Charles L'Enfant. Davidson was one of eighteen landlords who sat with George Washington to help plan the Nation's capital city – America's hometown. Today Evermay is situated on over 3.5 acres and is listed as an individual historic landmark in both the National Register of Historic Places and the DC Inventory of Historic Sites.

Additionally, the gross floor area of the main building, not including other buildings on the lot, is 10,110 square feet of gross floor area. The main building also contains 5,182 square feet of cellar space. The Gate House, adjacent to the formal entrance to the Property, contains 2,285 square feet of floor area, and the former domestic quarters contain 1,252 square feet of floor area.

b. Section 217.2: Use of existing residential buildings and land by a nonprofit organization shall not adversely affect the use of the neighboring properties.

The use of the existing buildings and land by the Foundation will not adversely affect the use of neighboring properties. No more than nine Foundation employees may have offices at Evermay and the grounds provide more than adequate parking for the employees. Most activities will occur during business hours, Monday through Friday, 7 a.m. to 8 p.m. In fact, all Foundation activities will be scheduled so that events start outside of both AM and PM peak hours, as set forth in the proposed Conditions attached as Exhibit E. This scheduling

encompasses staff hours, concerts, exhibits, Fellows meetings, civic and fundraising events and is designed to ensure that the Foundation activities do not adversely impact traffic. A copy of the "Transportation Impact Study for Evermay Georgetown, LLC," prepared by Gorove/Slade and dated January 12, 2012 is attached as Exhibit F.

The private events that the Foundation intends to host in the evening are limited in number and hours and are for invited guests only to ensure that the quiet enjoyment of neighboring properties is not disrupted. The majority of Foundation events will be attended by fewer than 50 persons and frequently, less than 25. Significantly, Evermay *will not* be rented out as a wedding or special events venue. Consequently, the Foundation will have strict control over its private concerts, exhibitions and private functions. Public and private events have historically been held at Evermay over the past 80 years. The Foundation has met with the immediate neighbors, Georgetown citizens, as well as Advisory Neighborhood Commission ("ANC") 2E, and has committed to implement a comprehensive list of requirements and protocols to minimize external effects, which are set forth in the Conditions.

c. *Section 217.3: The amount and arrangement of parking spaces shall be adequate and located to minimize traffic impact on the adjacent neighborhood.*

The amount and arrangement of parking spaces will be adequate and located to minimize traffic impact on the adjacent neighborhood. There is adequate space on-site to park approximately 109 cars. See Exhibit G. This plethora of parking has enabled the Applicant to plan events such that guests, staff and vendors will be directed to park entirely on-site, negating the need for street parking. Parking will be directed by either the Applicant's staff (for any event under 50 guests) or by on-site valet service (for any event over 51 guests). When valet services are used, the Conditions will require all parking operations to occur on-site, beginning with the unloading of passengers and ending with the re-loading of passengers.

All deliveries will occur on-site subject to guidelines setting forth a strict set of procedures and delivery times so as to mitigate noise and disturbance of neighbors at night. See Exhibit E.

d. *Section 217.4: No goods, chattel, wares, or merchandise shall be commercially created, exchanged, or sold in the residential buildings or on the land by a nonprofit organization, except for the sale of publications, materials, or other items related to the purposes of the nonprofit organization.*

No goods, chattel, wares or merchandise will be commercially created, exchanged or sold in the residential building or on the land by the Foundation, except for the possible sale of publications, CDs, materials, or other items related to the purposes of the Foundation.

e. *Section 217.5: Any additions to the building or any major modifications to the exterior of the building or to the site shall require the prior approval of the Board.*

There will be no additions to the buildings or any major modifications to the exterior of the buildings, or to the site, associated with the Foundation's use. A minor free-standing garage will be constructed on the property as an accessory building to the residential use of the property. The design for the garage was approved by the Old Georgetown Board, and a building permit is pending.

f. *Section 3104.1: The Board is authorized ... to grant special exceptions, as provided in this title, where, in the judgment of the Board, the special exceptions will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps and will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps.*

The special exception will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps and will not tend to adversely affect the use of neighboring property in accordance with the Zoning Regulations and Zoning Map. The very purpose of Section 217 is to allow large historic properties such as Evermay to be used for non-profit organization purposes, subject to review by this Board. In fact, establishment of the

Foundation at Evermay will help protect the landmark, allow its productive use, create presence on the street, and contribute to vitality of Georgetown Historic District.

VI. **Community Support**

The Applicant has actively engaged the community in discussions on the proposed non-profit use at Evermay for the past six months. Meetings were held to discuss the application for immediate neighbors on August 25, September 1 and December 17, 2011. The Applicant also participated in an informal public meeting sponsored by ANC 2E at the Georgetown Library on January 26th, and appeared at the ANC 2E's duly noticed and regularly scheduled meeting of January 30, 2012. The ANC voted unanimously to support this application, conditioned upon a 5-year term, as opposed to the 7-year term the Applicant seeks. A copy of the letter of support is included in the BZA record as Exhibit H.

VII. **Witnesses**

The following witnesses may provide testimony at the Board's public hearing on the application:

1. Sachiko Kuno, Ph.D., Evermay Georgetown, LLC /S&R Foundation
2. Erwin Andres, Grove/Slade

VIII. **Exhibits in Support of the Application**

The following exhibits are attached to this statement in further support of the application:

- Exhibit A: Survey of Evermay Georgetown illustrating the site; drawing illustrating Evermay Gardens, site Plan of Evermay
- Exhibit B: Portion of the Zoning Map illustrating the site and surrounding area
- Exhibit C: Area surrounding Evermay

- Exhibit D: S&R Foundation Articles of Incorporation and Amendment
- Exhibit E: Proposed Special Exception Conditions
- Exhibit F: Traffic Impact Study
- Exhibit G: Parking Plan for Evermay
- Exhibit H: Letter of Support from Advisory Neighborhood Commission 2E
- Exhibit I: Outlines of Witness Testimony:
- Sachiko Kuno, S&R Foundation/Evermay Georgetown, LLC
 - Erwin Andres, Grove/Slade
 -

IX.
Conclusion

For the reasons stated above, the requested relief meets the applicable standards of the Zoning Regulations and can be granted without substantially impairing the intent, purpose, and integrity of the Zoning Regulations. The Applicant therefore respectfully requests that the Board grant the application.

Respectfully submitted,

HOLLAND & KNIGHT LLP

By:



Alice Gregg Haase



Mary Carolyn Brown

2099 Pennsylvania Ave., N.W.
Suite 100
Washington, D.C. 20006
(202) 955-3000

February 14, 2012

A

1. THIS AND BEING IN THE DISTRICT OF
IT AND TAXATION AS LOT NUMBERED EIGHT
THOUSAND TWO HUNDRED EIGHTY-FIVE (1285)
1. OF ASSESSMENT AND TAXATION FOR THE
RE PARTICULARLY DESCRIBED AS FOLLOWS:

1. FACE OF A BUILDING LOCATED AT THE
3. OF LOT 5 IN THE AFORESAID SQUARE
1. OF THE SURVEYOR IN SUPERVISION BOOK 201
EST. 180.00 FEET FROM NORTHEASTERLY
2. THENCE RUNNING WITH THE EASTERLY LINE

1) OR 440.00 FEET (PER A&T RECORD)
2. HILL CEMETERY PROPERTY LINE AND
WEST CORNER OF LOT 815; THENCE LEAVING
NORTH LINES OF THE OAK HILL CEMETERY

1) OR 103.96 (PER A&T RECORD) TO

1) OR 128.74 (PER A&T RECORD) TO

1) OR 75.82 (PER A&T RECORD) TO

1) OR 20.00 (PER A&T RECORD) TO AN

1) OR 16.75 (PER A&T RECORD) TO

1) OR 18.00 (PER A&T RECORD) TO AN

1) OR 21.72 (PER A&T RECORD) TO A

1) OR 18.82 (PER A&T RECORD) TO AN

1) OR 20.97 (PER A&T RECORD) TO AN

1) OR 19.75 (PER A&T RECORD) TO AN

1) OR 20.63 (PER A&T RECORD) TO AN

1) OR 20.38 (PER A&T RECORD) TO A

1) OR 18.31 (PER A&T RECORD) TO AN

1) OR 22.47 (PER A&T RECORD) TO A

1) OR 18.68 (PER A&T RECORD) TO A

OR 20.95 (PER A&T RECORD) TO A

1) OR 175.00 (PER A&T RECORD) TO A

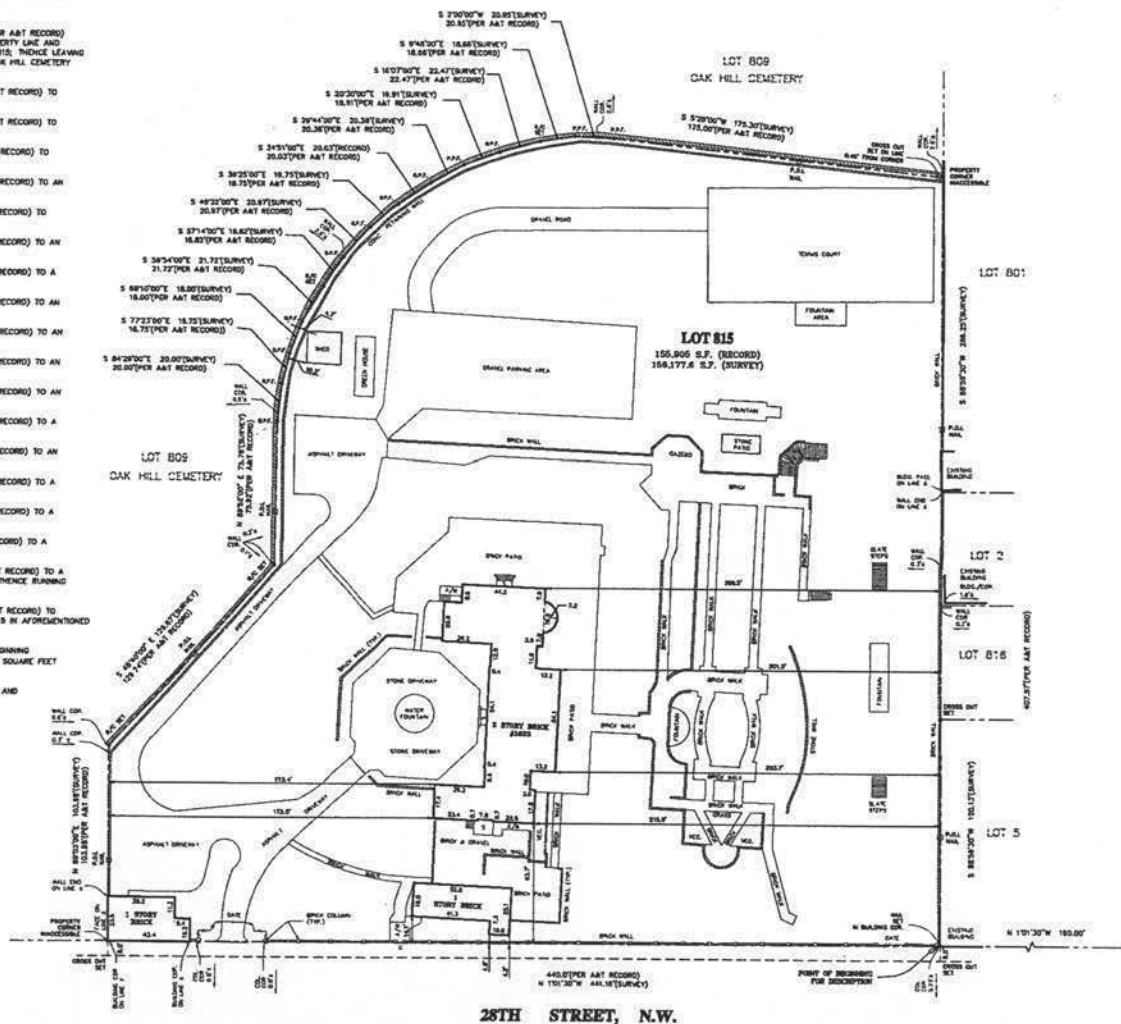
4. AFORESAID SQUARE; THENCE RUNNING

1) OR 452.57 (PER A&T RECORD) TO

1) TO THE POINT OF BEGINNING

2. SURVEY) OR 155,805 SQUARE FEET

—OF—WAY, COVENANTS, AND



A&T PAGE 3621-D



VICINITY
28TH STREET, N.W.
MAP PAGE 16, G2
Scale: 1" = 20'

GENERAL NOTES:

1. FLOOD ZONE "X" PER HILL FLOOD INSURANCE RATE MAPS
COMMUNITY-FAMILY NUMBER 2016C. FLOOD ZONE INFORMATION
HAS BEEN TAKEN FROM AVAILABLE SOURCES AND IS SUBJECT
TO INTERPRETATION OF ORIGINALS.
2. PROPERTY ADDRESS: #1623 28TH STREET, N.W.
WASHINGTON, DC 20007
3. PROPERTY IS RECORDED AMONG THE LAND RECORDS OF THE
OFFICE OF ASSESSMENT AND TAXATION FOR THE DISTRICT OF
COLUMBIA ON A&T PAGE 3621-D.
4. L.P.F. INDICATES IRON PIPE FOUND
O.P.F. INDICATES OPEN PIPE FOUND
P.P.F. INDICATES PITCH PIPE FOUND
R/C SET. INDICATES REBAR AND CAP SET.
5. ALL PROPERTY CORNERS HAVE BEEN RECOVERED OF SET AND
WONDER PER FIELD SURVEY PERFORMED: JUNE 28, 2011.

TITLE REPORT NOTES:

TITLE ABSTRACT PROVIDED BY UNITY TITLE SERVICES, LLC.
CASE NO. 11-05-063 HAS BEEN REVIEWED AND THE RESULTS SHOW
NO PLOTTABLE EASEMENTS AFFECTING THE SUBJECT PROPERTY.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON
HAS BEEN BASED UPON A FIELD SURVEY PURSUANT TO CODE
OF RECORD AT THE OFFICE OF THE SURVEYOR FOR THE DISTRICT
OF COLUMBIA. PROPERTY MARKERS HAVE BEEN RECOVERED OR I
AND HAVE BEEN DETERMINED TO BE IN RELATIVE AGREEMENT
RECORD INFORMATION AS SHOWN.

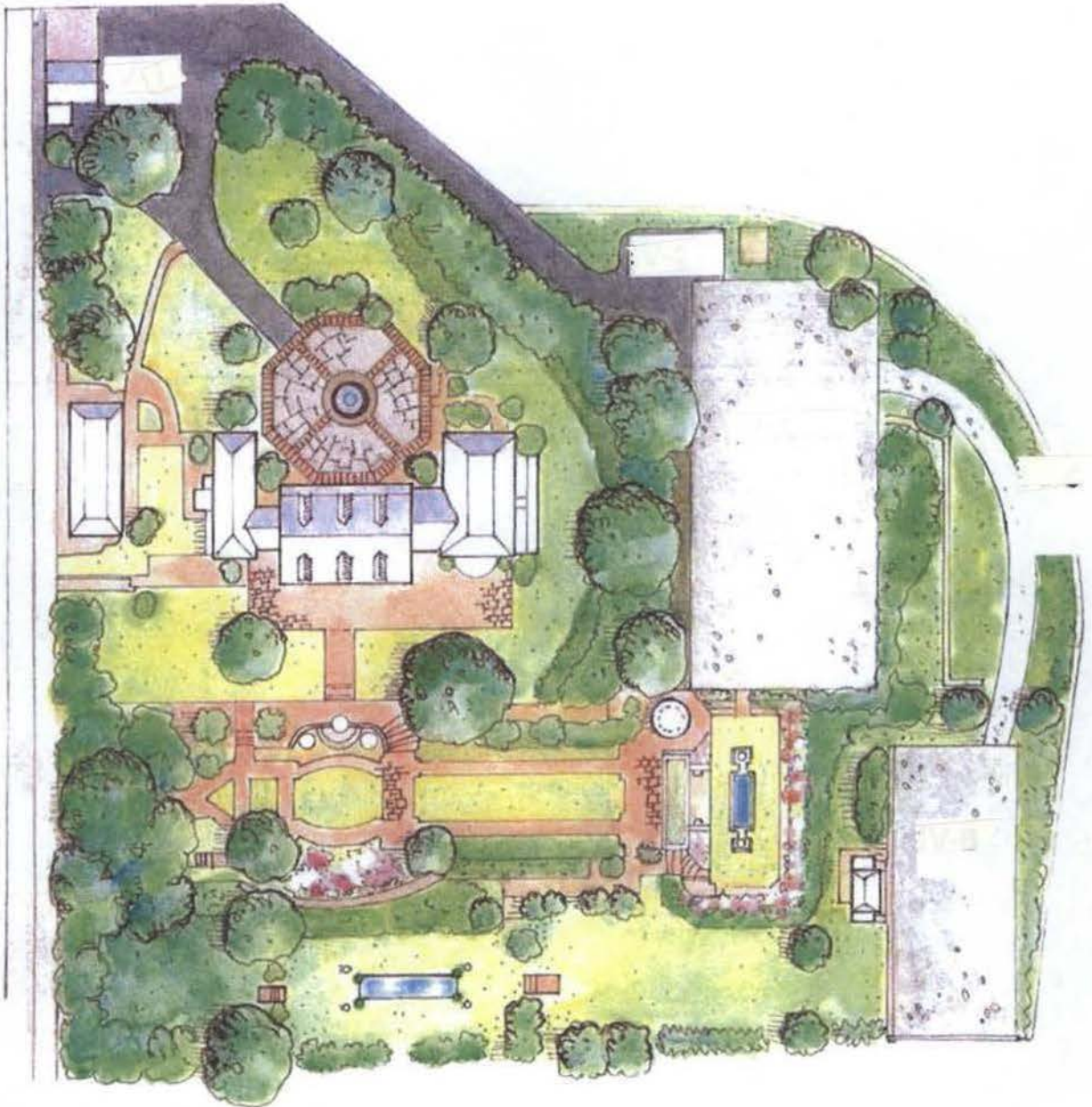
DATE: _____
JOSEPH E. SNIDER
LICENSED LAND SURVEYOR
D.C. LICENSE #90

PLAT OF SURVEY
#1623 28TH STREET, N.W.
LOT 815 SQUARE 1;
WASHINGTON
DISTRICT OF COLUMBIA
SCALE: 1" = 30' JUNE, 2011



SNIDER & ASSOCIATES
LAND SURVEYORS
20270 Goldenrod Lane, Suite 1
Germantown, Maryland 20876
301/948-5100 Fax 301/948-112

EVERMAY



Evermay
Garage

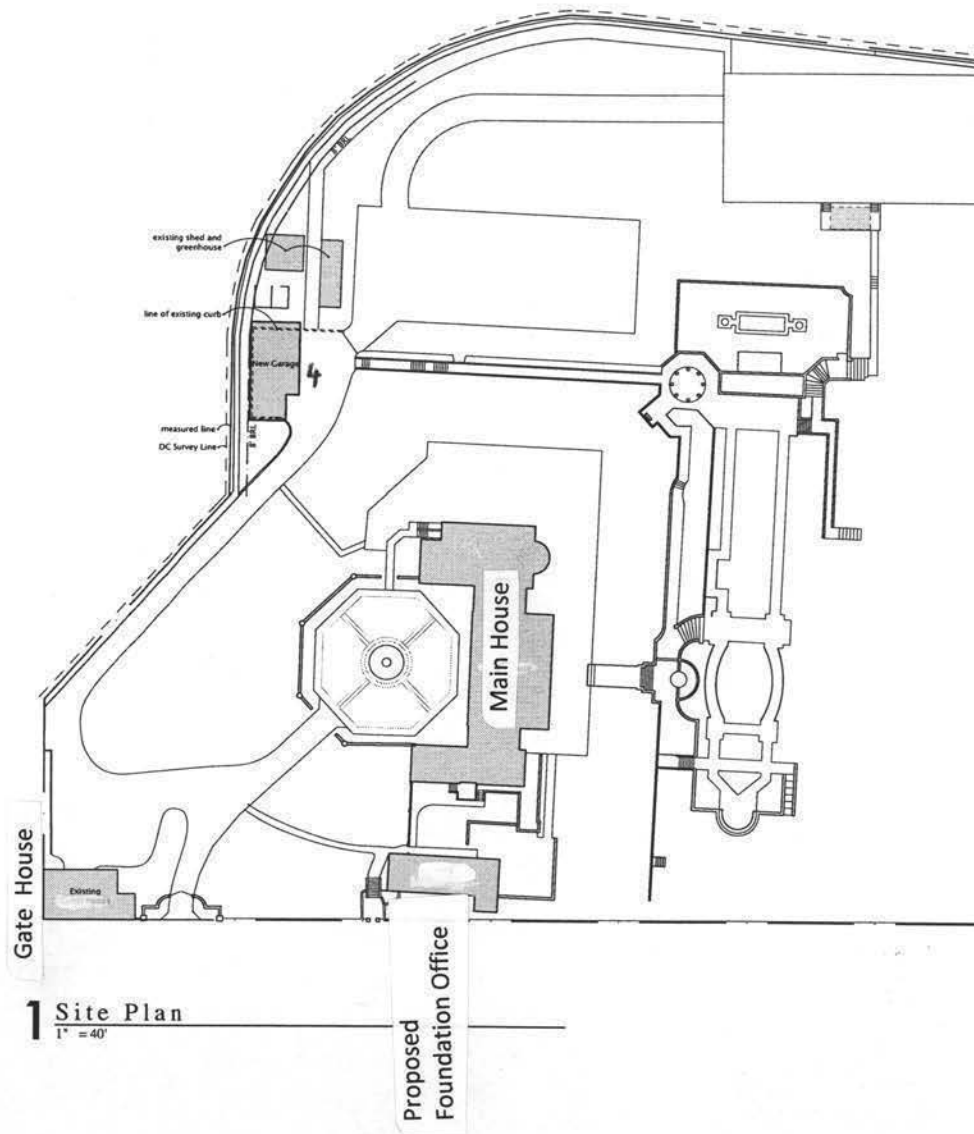
1623 28th Street NW
Washington, DC

© 2011 Rill Architects, P.C.
14 SEPTEMBER 2011

NOT FOR
CONSTRUCTION

Site Plan

T2



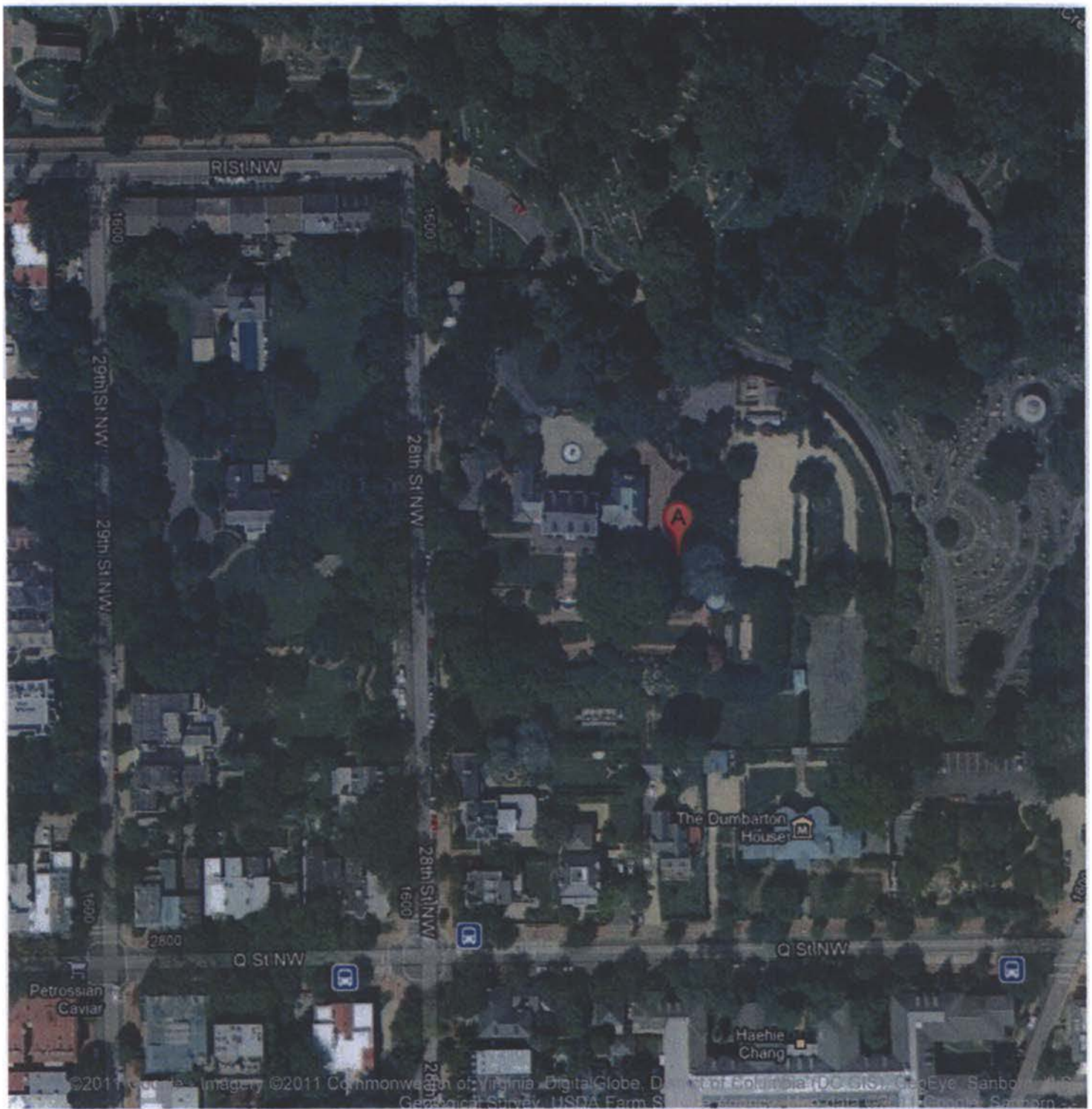
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3



- To certify zoning on any property in order to satisfy a legal requirement, contact the Office of Zoning at (202) 727-6311.

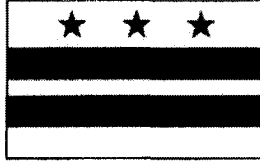
C



'Evermay'
1628 28th St, Washington, DC

D

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS
CORPORATIONS DIVISION

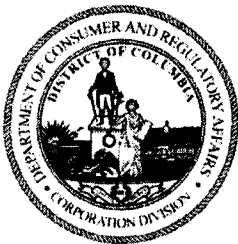


C E R T I F I C A T E

THIS IS TO CERTIFY that all applicable provisions of the District of Columbia
NONPROFIT CORPORATION Act have been complied with and accordingly, this
CERTIFICATE OF AMENDMENT is hereby issued to:

S&R FOUNDATION

IN TESTIMONY WHEREOF I have herunto set my hand and caused the seal
of this office to be affixed as of **10/17/2011**



Business and Professional Licensing Administration

A handwritten signature in cursive script, reading 'Patricia E. Grays', written over a horizontal line.

PATRICIA E. GRAYS
Superintendent of Corporations
Corporations Division

Vincent C. Gray
Mayor

Tracking #: AYSLCWR3LN

**ARTICLES OF AMENDMENT
OF
ARTICLES OF INCORPORATION**

To: Department of Consumer and Regulatory Affairs
Corporations Division
PO Box 92300
Washington, D.C. 20090

Pursuant to the provisions of the District of Columbia Non-profit Corporation Act, the undersigned adopts the following Articles of Amendment of its Articles of Incorporation.

FIRST: The name of the Corporation is the S&R Foundation.

SECOND: The following amendment to the Articles of Incorporation was duly adopted by the Corporation in the manner prescribed by the District of Columbia Non-profit Corporation Act:

Article Third is being amended as follows:

(1) Paragraphs (4) and (5) are being redesignated paragraphs (9) and (10), respectively; and

(2) The following new paragraphs (4), (5), (6), (7), and (8) are being added:

(4) To encourage and support young artists with an emphasis on young artists whose activities take place in both the United States and Japan or whose specialties contribute to mutual understanding between the two countries;

(5) To enhance and promote cultural exchange between the United States and Japan, with the intention of fostering mutual understanding;

(6) To encourage the exchange of knowledge, information, and ideas between the United States, Japan, and countries in the Asia/Oceania Region regarding emergency management of hazard risks that cause disasters or catastrophes, whether the hazard risks are naturally occurring or human-made;

(7) To provide high quality, independent research, innovation, and practical recommendations for emergency management of hazard risks;

RSB

(8) To advance global resilience by disseminating to countries and non-governmental organizations best practices for structural and nonstructural measures to prepare for, protect against, respond to, recover from, and mitigate all hazard risks.

THIRD: The amendment was adopted by consent in writing signed by all members entitled to vote with respect hereto.

IN WITNESS WHEREOF, the Corporation has caused these Articles of Amendment to be signed by Sachiko Kuno, Ph.D., the President of the Corporation, and Douglas W. Charnas, the Secretary of the Corporation, this 29th Day of August, 2011. By signing these Articles of Amendment of Articles of Incorporation, the undersigned agree that they understand that anyone who makes a false statement anywhere on this document can be punished by criminal penalties of a fine up to \$1000, imprisonment up to 180 days, or both, under DCOC § 22-2405.

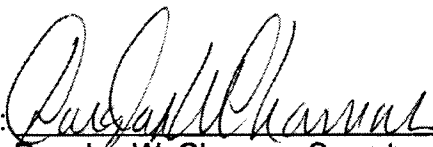
S&R Foundation

Date: 08-26-2011

By: 
Sachiko Kuno, Ph.D., President

Attest:

Date: 08-26-2011

By: 
Douglas W. Charnas, Secretary

GOVERNMENT OF THE DISTRICT OF COLUMBIA
DEPARTMENT OF CONSUMER AND REGULATORY AFFAIRS



COPY

C E R T I F I C A T E

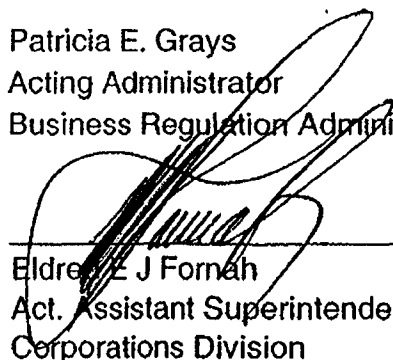
THIS IS TO CERTIFY that all applicable provisions of the District of Columbia NonProfit Corporation Act have been complied with and accordingly, this **CERTIFICATE OF INCORPORATION** is hereby issued to:

S&R FOUNDATION

IN WITNESS WHEREOF I have hereunto set my hand and caused the seal of this office to be affixed as of the **26th** day of **December, 2000**.

Carlynn M. Fuller
Acting Director

Patricia E. Grays
Acting Administrator
Business Regulation Administration



Eldred E. J. Fornan
Act. Assistant Superintendent of Corporations
Corporations Division

Anthony A. Williams
Mayor

**ARTICLES OF INCORPORATION
OF
S&R FOUNDATION**

FILE

DEC 26 1999

To: Department of Consumer and Regulatory Affairs
Business Regulation Administration
Corporations Division
Washington, D.C.

We, the undersigned, being at least eighteen (18) years of age, under and by virtue of Title 29, Chapter 5 of the District of Columbia Code, hereby adopt and present these Articles of Incorporation with the intention of forming a nonprofit corporation and, to that end, set forth the following:

FIRST: The name of the corporation is S&R FOUNDATION (the "Corporation").

SECOND: The period of its duration is perpetual.

THIRD: The purposes for which the Corporation is organized are as follows:

(1) To operate exclusively for charitable, scientific, literary or educational purposes;

(2) To provide scholarships and financial support to medical students and students pursuing health care service related degrees;

(3) To provide grants for research in the medical field and pharmaceutical field;

(4) To make contributions to any organizations described in Sections 501(c)(1) or 501(c)(3) of the Internal Revenue Code of 1986, as amended, or its successor provisions (hereinafter referred to as the "Code"), or to or for the benefit of the United States Government; and

(5) To engage in any lawful act or activity as may be necessary or appropriate to effect the foregoing objects and purposes, except as specifically restricted herein.

In furtherance of its corporate purposes and subject to such restrictions and limitations set forth herein, the Corporation shall have all the general powers conferred upon the Corporation by law, together with the power to solicit grants and contributions for such purposes. Such powers shall include, but are not limited to, the power to receive property by gift, devise or bequest, invest and reinvest the same, and apply the income and principal thereof, as the Board of Directors may from time to time determine, either

directly or through contributions to any charitable organization or organizations, exclusively for charitable, scientific, or educational purposes, and to engage in any lawful act or activity for which corporations may be organized under the District of Columbia Nonprofit Corporation Act.

FOURTH: The Corporation shall have no members.

FIFTH: The business of the Corporation shall be managed by and all of the powers of the Corporation shall be exercised by the Board of Directors of the Corporation. At each annual meeting of the Board of Directors, the directors then in office shall elect directors, each director to hold office until the next annual meeting of the Board, and until his or her successor has been elected and qualified.

SIXTH: The number of directors constituting the initial Board of Directors of the Corporation is three (3), unless and until otherwise provided by the By-Laws of the Corporation. The names and addresses, including street and number, of the persons who are to serve as the initial directors until the first annual meeting of the Board of Directors or until his or her successor is elected and shall qualify are as follows:

<u>Name</u>	<u>Address</u>
Sachiko Kuno	4733 Bethesda Avenue Suite 348 Bethesda, MD 20814
Ryuji Ueno	4733 Bethesda Avenue Suite 348 Bethesda, MD 20814
Hiroyuki Umezono	Masuda & Ejiri 399 Park Avenue, 18 th Floor New York, NY 10022

SEVENTH: The provisions for the regulation of the internal affairs of the Corporation, except as provided in these Articles, are and shall be as provided in the By-Laws of the Corporation. If the By-Laws so provide, the Board of Directors may, by resolution or resolutions passed by a majority of the whole Board, designate two (2) or more of the Directors to serve as a committee, which, to the extent provided in such resolution or resolutions and to the extent consistent with law, shall have and may exercise the powers of the Board of Directors in the management of the business and affairs of the Corporation, and may have the power to authorize the seal of the Corporation to be affixed to all papers which may require it.

At all times, and notwithstanding merger, consolidation, reorganization, termination, dissolution or winding up of the Corporation, voluntarily or involuntarily, or by operation of law or any other provision hereof:

(1) The Corporation shall neither have nor exercise any power, nor shall it directly or indirectly engage in any activity, that would (a) prevent it from obtaining an exemption from Federal income taxation as a corporation described in Section 501(c)(3) of the Code, or (b) cause it to lose such exempt status;

(2) The Corporation shall not be operated for the purpose of carrying on a trade or business for profit;

(3) No part of the net earnings of the Corporation shall inure to the benefit of or be distributable to any director or officer of the Corporation or any other private person, except that the Corporation shall be authorized and empowered to pay reasonable compensation for services rendered to or for the Corporation and to make payments and distributions in furtherance of the purposes set forth in Article THREE hereof. No trustee, director or officer of the Corporation, or any private individual shall be entitled to share in any distributions of any of the assets of the Corporation upon its dissolution.

(4) No substantial part of the activities of the Corporation shall be the carrying on of propaganda, or otherwise attempting to influence legislation (except as may otherwise be permitted by Section 501(h) of the Code and any corresponding laws of the District of Columbia); nor shall the Corporation participate in, or intervene in (including the publishing or distribution of statements concerning) any political campaign on behalf of (or in opposition to) any candidate for public office; nor shall the Corporation engage in any activities that are unlawful under applicable Federal, state or local laws;

(5) During such period, or periods, of time as the Corporation is treated as a "private foundation" pursuant to Section 509 of the Code, the Corporation shall be subject to the following restrictions and prohibitions:

(a) The Corporation shall distribute its income for each taxable year at such time and in such manner so as not to subject the Corporation to taxation on undistributed income under Section 4942 of the Code;

(b) The Corporation shall not engage in any act of self-dealing (as defined in Section 4941(d) of the Code);

(c) The Corporation shall not retain any excess business holdings (as defined in Section 4943(c) of the Code) which would subject the Corporation to taxation under Section 4943 of the Code;

(d) The Corporation shall not make any investments or otherwise acquire assets in such manner so as to subject the Corporation to taxation under Section 4944 of the Code; and

(e) The Corporation shall not make any taxable expenditures (as defined in Section 4945(d) of the Code).

(6) Upon the dissolution or final liquidation of the Corporation, the assets of the Corporation shall be applied as follows:

(a) All liabilities and obligations of the Corporation shall be paid, satisfied, and discharged, or adequate provision shall be made therefor;

(b) Assets held by the Corporation upon condition requiring return, transfer, or conveyance, which condition occurs by reason of dissolution, shall be returned, transferred, or conveyed in accordance with such requirements; and

(c) All other assets shall be distributed exclusively to such organization or organizations organized and operated exclusively for charitable, educational, religious, or scientific purposes as shall at the time qualify as an exempt organization or organizations under Section 501(c)(1) or 501(c)(3) of the Code as the Board of Directors shall determine, pursuant to a plan of distribution.

EIGHTH: The address of the initial registered office is 1120 20th Street, N.W., Suite 300, South Tower, Washington, D.C. 20036. The name of the registered agent at said address is J & C Agency Services, Inc.

NINTH: The names and addresses of the incorporators of the Corporation are:

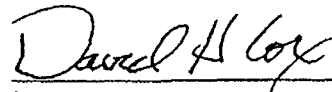
<u>Name</u>	<u>Address</u>
Douglas W. Chamas	c/o Jackson & Campbell, P.C. 1120 20th Street, N.W. Suite 300, South Tower Washington, D.C. 20036
David H. Cox	c/o Jackson & Campbell, P.C. 1120 20th Street, N.W. Suite 300, South Tower Washington, D.C. 20036
Nathan H. Williams	c/o Jackson & Campbell, P.C. 1120 20th Street, N.W. Suite 300, South Tower Washington, D.C. 20036

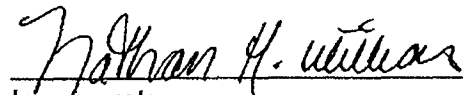
TENTH: The personal liability of the officers and directors of the Corporation is hereby limited to the fullest extent permitted by laws of the District of Columbia, as now in effect or as may hereinafter be amended, and the Corporation shall indemnify all persons whom it may indemnify pursuant thereto; provided, however, that such relief from liability shall not apply in any instance where such relief is inconsistent with any provision of the Code applicable to corporations described in Section 501(c)(3) of the Code.

IN WITNESS WHEREOF, the undersigned incorporators of S&R FOUNDATION, who executed the foregoing Articles of Incorporation hereby acknowledge the same to be their act and deed and further acknowledge and verify that, to the best of their knowledge, the matters and facts set forth therein are true in all material respects under the penalties of perjury.

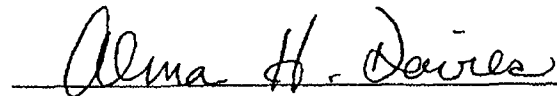
Dated this 22nd day of December, 2000.


Incorporator


Incorporator


Incorporator

I, Alma H. DAVIES, a Notary Public, hereby certify that on the 22nd day of December, 2000, Douglas W. Charnas, David H. Cox and Nathan H. Williams appeared before me and signed the foregoing document as incorporators, and have averred that the statements therein contained are true.



My commission expires: 8/31/2004

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**EVERMAY GEORGETOWN, LLC
S&R FOUNDATION, INC.
SPECIAL EXCEPTION #18315
PROPOSED BZA CONDITIONS**

1. Approval shall be for a period of FIVE (5) YEARS.
2. The Property shall not be used as a rental venue for social or other events.
3. Pursuant to approval of the special exception, the Property shall be used only for a 501 (c)(3) non-profit organization focused on the fields of fine arts, cultural understanding, global resilience, and medical or pharmaceutical research.
4. A maximum number of nine non-profit employees may work on-site.
5. The hours of operation shall be as follows:
 - a. Non-profit offices: Monday through Friday, 7 AM to 8 PM, with occasional weekend hours, not to exceed 7 AM to 5 PM
 - b. Fellows Meetings: Monday through Friday, 7 AM to 9 PM
 - c. Music concerts may be held only for invited guests during the following hours:
Monday through Thursday, 2 PM to 4 PM, 7 PM to 10 PM
Friday and Saturday 1 PM to 10 PM
Sunday 1 PM to 9 PM
 - d. Exhibitions may be attended only by invited guests during the following hours:
Monday through Thursday, 10 AM to 4 PM
Friday and Saturday 1 PM to 10 PM
Sunday 1 PM to 9 PM
 - e. Civic/Fundraising Events may be held only for invited guests during the following hours:
Monday through Thursday, 7 PM to 10 PM
Friday and Saturday 1 PM to 10 PM
Sunday, 1 PM to 9 PM
 - f. Valets and other staff, including, for instance, cooks, caterers, and janitors, associated with music concerts, exhibits and civic/fundraising events shall leave the Property within one hour after the event concludes.
 - g. Noisy vendor breakdown and loading shall occur before 10 PM or shall take place on the following business day between the hours of 8 AM and 5 PM. Trucks associated with noisy vendor breakdown and loading shall depart the Property before 10 PM.

6. The maximum number of events per **YEAR** shall be as follows:

Event Type	Guest Count	MAX. # OF EVENTS
Fellows Meetings (small)	1-20	24 (1-5 day meetings (M-F))
Fellows Meetings (large)	21-50	12 (two-day meetings)
Concerts/Exhibitions	1-50	24
	51-80	18
	81-150	12
Civic/Fundraising Events (for the occupying non-profit organization only)	50-100	2
	101-200	1

7. The Applicant shall minimize traffic and noise impacts by employing the following measures:
- All guests and vendors shall be informed in advance to park on-site and to pick-up or drop-off passengers on-site.
 - The Applicant shall direct on-site parking for any event with 50 or fewer guests. For any events with more than 50 guests, the Applicant shall provide on-site valet parking.
 - Valet parking providers shall be instructed in advance to unload, load, and park all vehicles on-site.
 - Passenger vans used for Fellows meetings shall arrive before 7:30 AM or after 9 AM, and shall depart before 5:15 PM or after 6:15 PM.
 - Non-profit employees shall park on-site.
8. Passenger vans used in connection with an event shall be no larger than approximately 20-feet in length. Vehicles used in connection with an event shall load, unload, park and wait on-site, not on the street.
9. Attendees at Fellows meetings may reside on-site for the duration of the meeting. Fellows housed off-site shall arrive on-site by passenger van.
10. No amplified music shall be permitted on the outside grounds of the subject property.
11. The Applicant shall establish a neighborhood liaison to address concerns and provide information about events and activities to property owners within 200 feet of Evermay. The Applicant shall maintain a website that shall include a neighbors' section to provide notice of upcoming scheduled events.

F

Transportation Impact Study

Evermay Georgetown, LLC

Washington, DC

January 12, 2012

Prepared for:

Holland & Knight LLP
2099 Pennsylvania Avenue, NW
Suite 100
Washington, DC 20006-6801



Transportation Planners and Engineers

Prepared by:



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www.goroveslade.com

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EXECUTIVE SUMMARY

The following report presents the findings of a traffic impact study conducted for Evermay Georgetown, LLC in support of its application for a special exception to establish a non-profit use on behalf of the S&R Foundation (Foundation), to the D.C. Board of Zoning Adjustment (BZA). Upon approval of the special exception, the Foundation proposes to locate its offices in Washington, DC at the Evermay Estate (Evermay), 1623 28th Street, NW in Ward 2. In addition to its business operations, the Foundation will hold associated activities, including concerts and exhibits, scholarly studies, and a limited number of civic events. This study supplements the Special Exception application (SE Application) and updates any prior reports.

Foundation activities are fund-raising concerts and exhibits (arts events) and scholarly studies (fellows meetings). The arts events are anticipated to be generally attended by 50 or fewer guests, who will walk to Evermay or arrive by taxi and private automobile. Fellows meetings will generally be attended by out-of-town participants. Some fellows will stay at Evermay during the course of the meetings and will walk or will arrive by taxi and/or some type of shuttle service. The third category of activities will be the civic events, which will have the highest attendance but will be limited to only three (3) events per year, and for which the Foundation will provide on-site valet parking. A maximum of nine Foundation employees will work permanently on-site and adequate employee parking is provided within the on-site parking facilities that accommodate 109 vehicles.

In addition to making traffic and parking observations around the vicinity of the site, Gorove/Slade Associates, Inc. (G/S) conducted capacity analyses to evaluate existing traffic conditions and to determine the impact of Evermay traffic. Capacity analyses contained in this report covered eight intersections in the area near Evermay along R Street, Q Street and P Street between 27th Street and 29th Street.

Peak traffic hours at the Evermay location were found to be between 8:00 – 9:00 AM and 5:15 – 6:15 PM. Capacity analyses indicate that most intersections operate at acceptable levels of service during the AM and PM peak hours with the intended Foundation events at Evermay. The one exception is the intersection of 28th Street and Q Street during the morning (AM) peak hour, which currently operates at a level of service (LOS) F. This study shows that Evermay creates very little adverse impact to traffic conditions because the traffic volumes generated by activities at Evermay are low enough and occur during off-peak hours. However, to ensure that its activities do not create any adverse traffic impacts, the Foundation has agreed to implement the following transportation demand management (TDM) measures as part of its special exception application:

- Schedule civic and arts events outside of peak hours (Monday-Friday, 8:00-9:00 AM and 5:15 to 6:15 PM)
- Schedule Fellows Meetings requiring off-site transportation so that attendees arrive in off-peak hours;
- Vary employee hours Monday thru Friday within the time-frames of 7 AM to 8:00 PM;
- Provide staff to direct on-site parking for all events attended by 50 or fewer persons; and,
- Provide valet service for events attended by more than 50 persons.

Given these TDM measures, it is the recommendation of this study that no additional mitigation measures be required as part of the BZA application for the Evermay Georgetown.

INTRODUCTION

This report presents the findings of a traffic impact study conducted for Evermay Georgetown, LLC in support of its application to the Washington, D.C. Board of Zoning Adjustment (BZA) to establish a non-profit use for the S&R Foundation (Foundation). The Foundation proposes to hold various functions and events at the Evermay Estate as a part of its non-profit organization operations. Evermay is located in Northwest (NW) Washington, DC at 1623 28th Street, NW, in Ward 2.

At the present, there are no active operations at Evermay. Upon approval of the special exception, the Foundation proposes to conduct four types of activities at Evermay: 1) employee offices; 2) scholarly studies; 3) arts events; and, 4) civic activities. The Foundation proposes a maximum of 9 full-time employees. Scholarly studies will be segregated into two types of meetings - the first type is fewer than 20 fellows and the second is larger meetings with 20-50 fellows. Attendees at the smaller meetings will reside on-site; attendees at the larger meetings may stay on-site or reside off-site and arrive by taxi or vans. Arts events generally will vary between concerts and exhibits, and will generally be attended by fewer than 50 people. The civic activities will be limited to only three per year and are anticipated to be attended by between 100 to 200 persons. A chart detailing these uses is shown on Table 1.

Attendees for each of the activities will arrive by various modes of transportation - walking, taxi, shuttle van, and private automobile. Parking is available for 109 vehicles on-site with stacking, which accommodates employees and guests arriving by automobile. Foundation staff will manage vehicular traffic during the peak periods for events that have more than 20 attendees to minimize any impact of Evermay event traffic entering and exiting the facility's driveway on 28th Street.

While abundant parking is available on-site, and the Foundation will direct attendees to park on-site, some attendees may utilize on-street parking. To study the potential impact upon off-site parking, G/S conducted a parking analysis and determined there are 264 on-street parking spaces in the study area. Zone 2 permit holders are permitted unlimited parking; those without Zone 2 permits may park for only two hours from Monday through Saturday between 7:00 am and 9:00 pm.

As part of this study, capacity analyses were conducted by G/S to determine the impact of Foundation-related traffic. Capacity analyses contained in this report covered an area of eight intersections in the area near Evermay along R Street, Q Street and P Street between 27th Street and 29th Street.

The primary objectives of this study are to evaluate the local traffic and parking impacts of hosting events at Evermay, focusing on a study area encompassing eight intersections near the site, and to identify recommendations to mitigate any potential adverse impacts. G/S undertook the following steps while preparing this study:

- Performed field reconnaissance of existing roadway and intersection geometrics, traffic controls, speed limits and operations;
- Conducted on-street parking counts during the week and on the weekend;
- Conducted peak hour turning movement counts at study intersections;
- Determined existing levels of service at the study intersections;
- Estimated the AM and PM peak hour and daily trips that would be generated during a typical weekday;
- Forecasted total event traffic volumes based on existing traffic forecasts and site traffic assignments; and

- Calculated total event levels of service at the study intersections based on total event traffic forecasts, existing traffic controls, and existing geometrics.

Sources of data for this study include traffic counts and observations conducted by G/S, program information provided by the Foundation, and the files/library of G/S.

Of the sources utilized for this analysis, the previously completed report *Traffic Impact Study – Evermay Society* prepared for the prior site owner (Evermay Society, Inc.) and dated April 23, 2008 was referenced for purposes of comparison to this study. This previous study was submitted as part of a Board of Zoning Adjustment application to formalize the ongoing social gatherings for the property. The study included observations and analysis of an identical study area included within the report. While the event types and daily operations for the previous Evermay Society and the proposed Evermay Georgetown will differ, it is anticipated that many transportation related elements of the programs will be similar including modal split, trip distribution, trip generation, person/vehicle ratio and others.

Scope of Traffic Study

This traffic impact study was conducted in accordance with national and DDOT standards. The following study intersections were identified for study:

- R Street, NW and 28th Street, NW
- R Street, NW and 29th Street, NW
- Q Street, NW and 27th Street, NW
- Q Street, NW and 28th Street, NW
- Q Street, NW and 29th Street, NW
- P Street, NW and 27th Street, NW
- P Street, NW and 28th Street, NW
- P Street, NW and 29th Street, NW

Levels of Service (LOS) were calculated for intersections of the study area using the Highway Capacity Manual methodology using the Synchro/SimTraffic software (version 7.0). G/S developed the number of trips generated by Foundation events and guest modal split based on future event information provided by the applicant. Modal split information was derived from the previous traffic analysis prepared for Evermay by G/S in 2008.

The modal split values from this previous study were determined from field data collected at Evermay during events hosted by the previous operator of the Evermay Estate. In the past, Evermay was used as a rental venue for catered events. Since the site's accessibility through vehicular and non-automotive modes has not changed since this study was conducted, it is reasonable to assume that attendees of future Foundation events will behave in a similar manner to those during the 2008 study. Similarly, the amount of on-site parking, person/vehicle ratio and the restrictions applying to on-street parking adjacent to the site is the same as was observed in 2008, including the availability of valet parking for larger events. Therefore, the mode split from the previous Evermay traffic analysis prepared by G/S in 2008 will be used in this report.

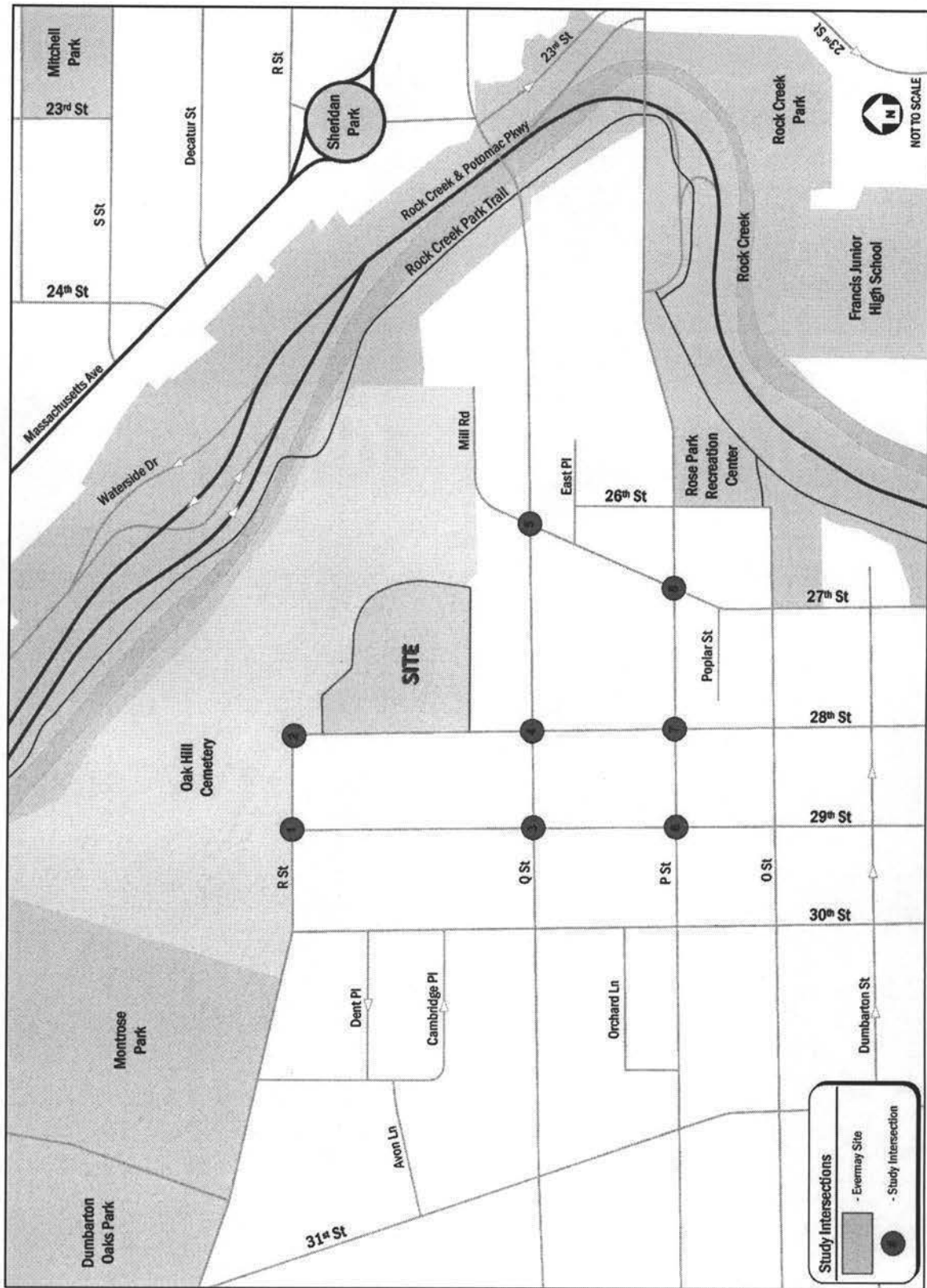


Figure 1: Location Map

EXISTING CONDITIONS

The existing conditions of the study area have been analyzed to determine if any areas of concern exist within the transportation network, and to establish a point of reference for the analyses of event traffic impacts. Evermay is located along the east side of 28th Street between Q Street and R Street. Evermay's entrance and driveway are located approximately 150 feet south of the intersection of R Street and 28th Street. The property abuts Oak Hill Cemetery to the north and east and several residential lots to the south.

Roadway Network

G/S conducted field reconnaissance to obtain the existing lane usage and traffic controls at the intersections within the study area. Figure 2 presents the local roadway network of the study area including lane uses and traffic controls.

The following is a description of the roadways included as part of the study area:

- **P Street, NW**

P Street is a minor arterial street with a paved width of 30 feet that carries an average annual weekday volume of approximately 8,100 vehicles in the vicinity of Evermay. P Street provides one eastbound and one westbound travel lane with curbside parking on the north side of P Street between 27th Street and 28th Street and on the south side between 27th Street and 29th Street.

- **Q Street, NW**

Q Street is a minor arterial street with a paved width of 30 feet that carries an average annual weekday volume of between 6,200 and 8,700 vehicles in the vicinity of Evermay. Q Street provides one eastbound and one westbound travel lane with curbside parking on the south side of Q Street between 27th Street and 29th Street.

- **R Street**

R Street is a collector street with a paved width of 30 feet that carries an average annual weekday volume of approximately 8,600 vehicles in the vicinity of Evermay. R Street provides one eastbound and one westbound travel lane with curbside parking on the south side of R Street between 28th Street and 29th Street.

- **27th Street**

27th Street is a local street with a paved width of 30 feet. There is no data available on the average annual weekday volumes along 27th Street. 27th Street provides one northbound and one southbound travel lane with curbside parking along the west side of the street between P Street and Q Street.

- **28th Street**

28th Street is a collector street with a paved width of 30 feet. There is no data available on the average annual weekday volumes along 28th Street. 28th Street provides one northbound and one southbound travel lane with curbside parking on both sides of the street.

- **29th Street**

29th Street is a local street with a paved width of 30 feet. There is no data available on the average annual weekday volumes along 29th Street. 29th Street provides one northbound and one southbound travel lane with curbside parking along both sides of the street between P Street and R Street.

Transit Network

Evermay is accessible via existing public transportation that is provided by WMATA along Q Street and P Street. Metrobus service is the primary transit option in the area with the D1, D2, D3, D6, and G2 routes serving the area.

All routes link residential neighborhoods in Georgetown, Glover Park and Palisades with downtown Washington, DC via Q Street and P Street. These bus routes also link the study area with Metrorail routes and stops. Bus stops for these routes are located within walking distance of Evermay. D routes have stops for buses traveling in both directions at the intersection of 28th Street and Q Street. The G2 route has stops for buses traveling in both directions at the intersection of 28th Street and P Street. Figure 4 identifies the location of bus routes and stops in the study area.

Pedestrian & Bicycle Facilities

The existing pedestrian network provides good walking access between Evermay and the surrounding neighborhood. Pedestrian amenities include the following:

- Sidewalks wide enough to provide clear passage for at least two people, although there is no sidewalk on the western side of 28th Street between R Street and Q Street,
- White in-lay crosswalk tape at most nearby intersections,
- Pedestrian-scaled streetlights, and
- Curb-ramps oriented towards the crosswalk.

Some area hotels are within walking distance of the site. M Street NW in Georgetown is approximately 2,400 feet away, or a 10-minute walk and Dupont Circle is approximately 4,600 feet away, or a 20-minute walk.

Evermay is also located near designated bicycle routes but there are no on-street bicycle lanes in the study area. P Street and 31st Street are designated bicycle routes by DDOT.

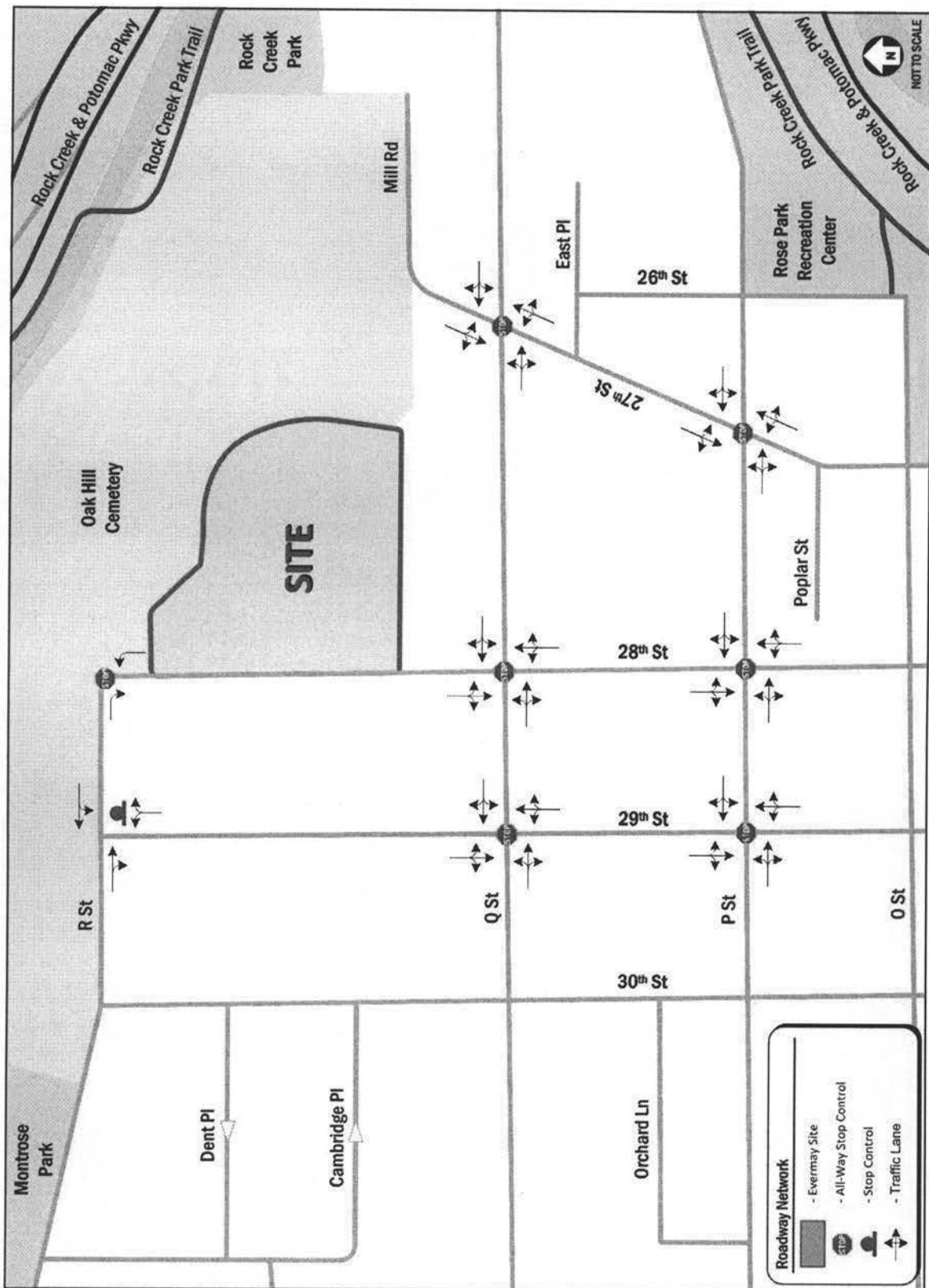


Figure 2: Existing Lane Configurations and Traffic Controls

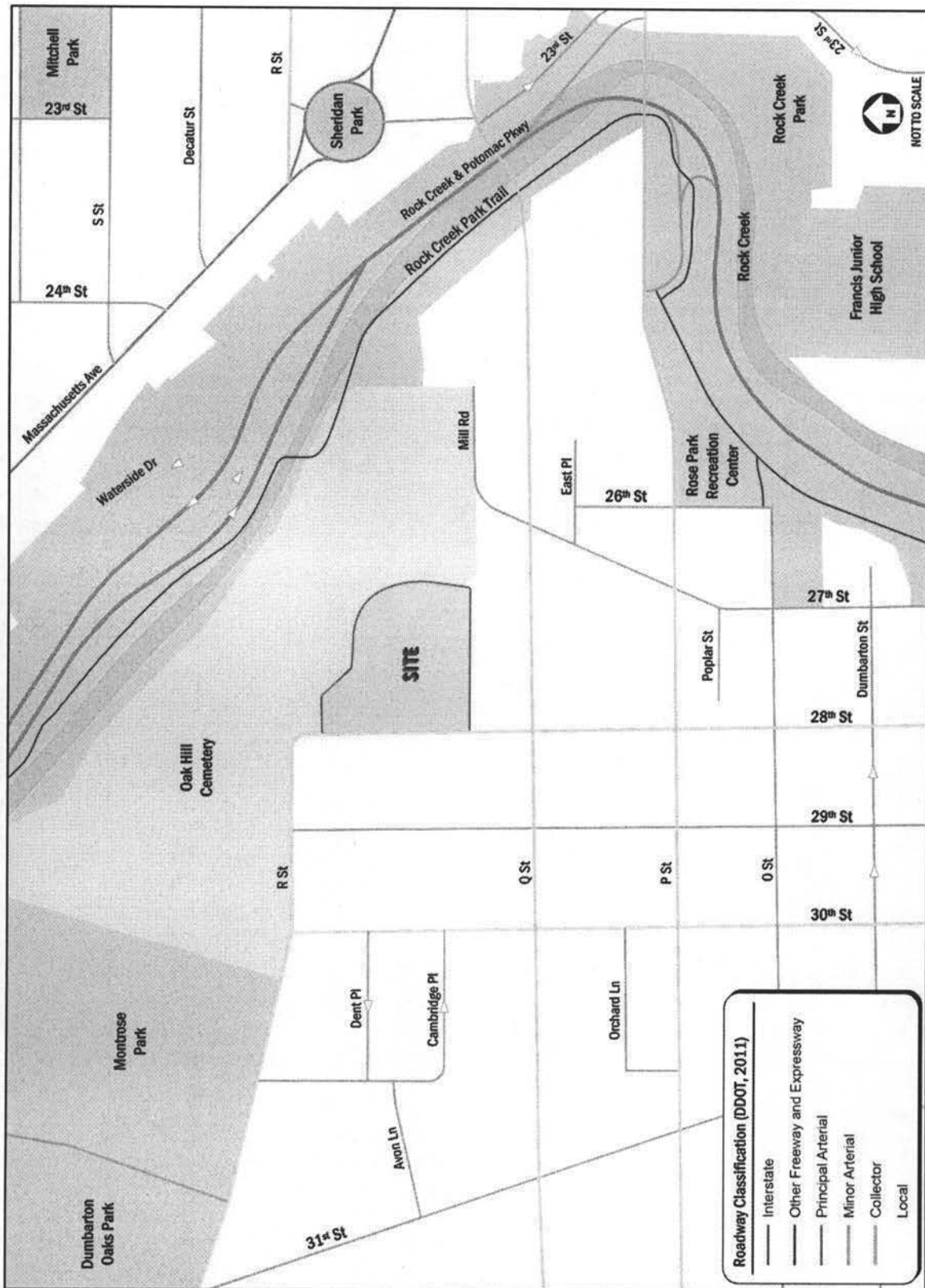


Figure 3: Roadway Functional Classification

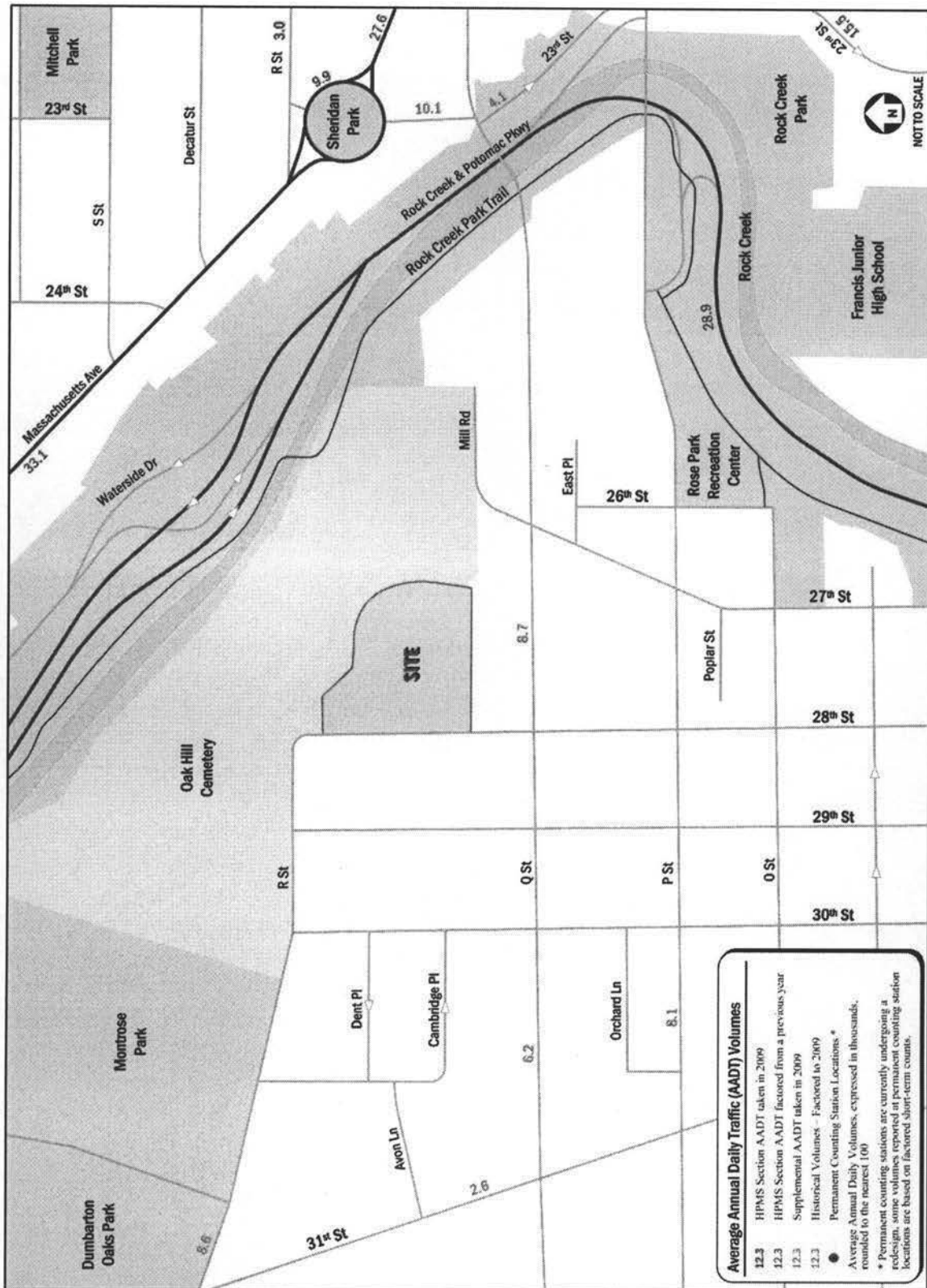


Figure 4: Average Annual Daily Traffic Volumes

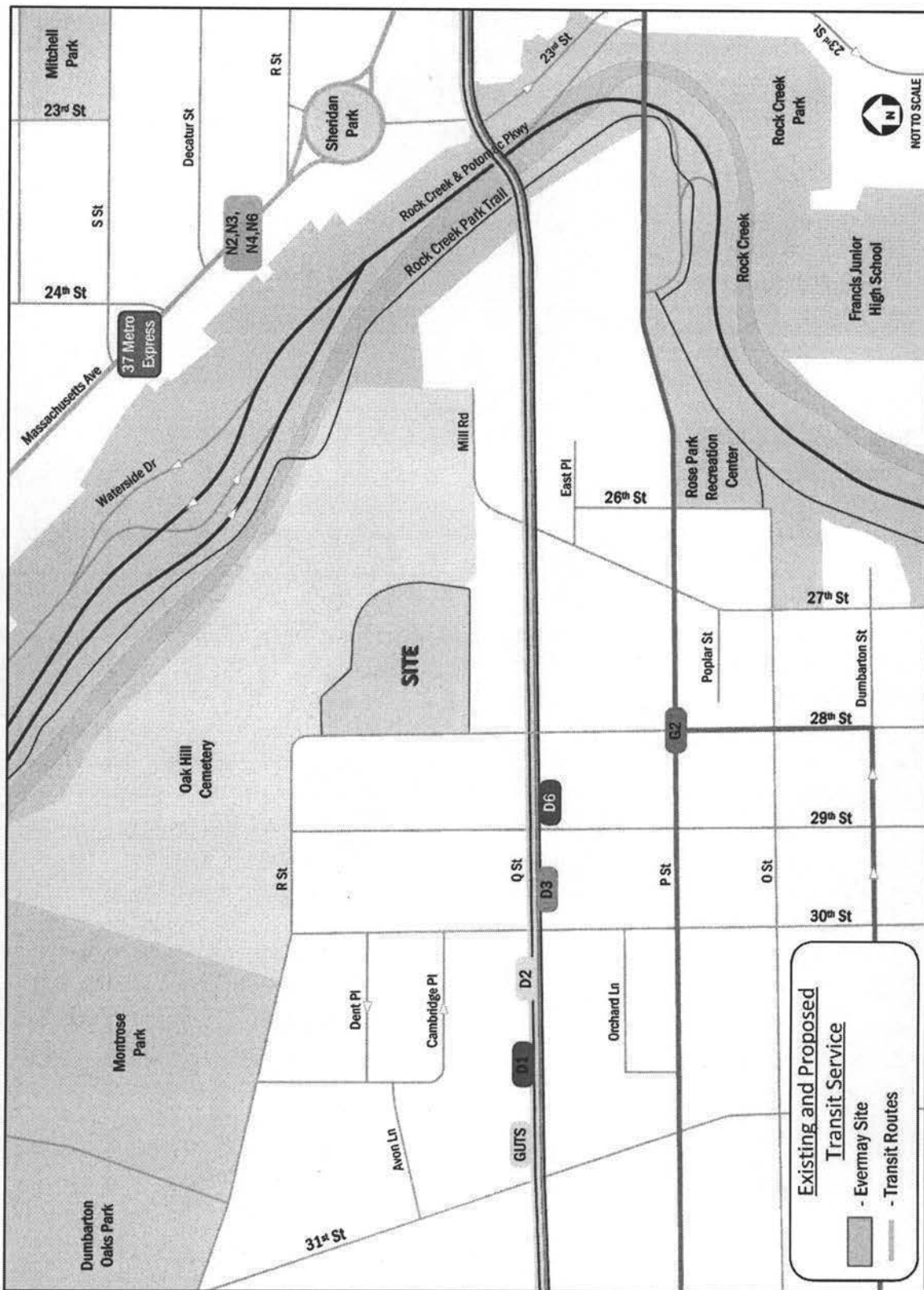


Figure 5: Existing and Proposed Transit Service

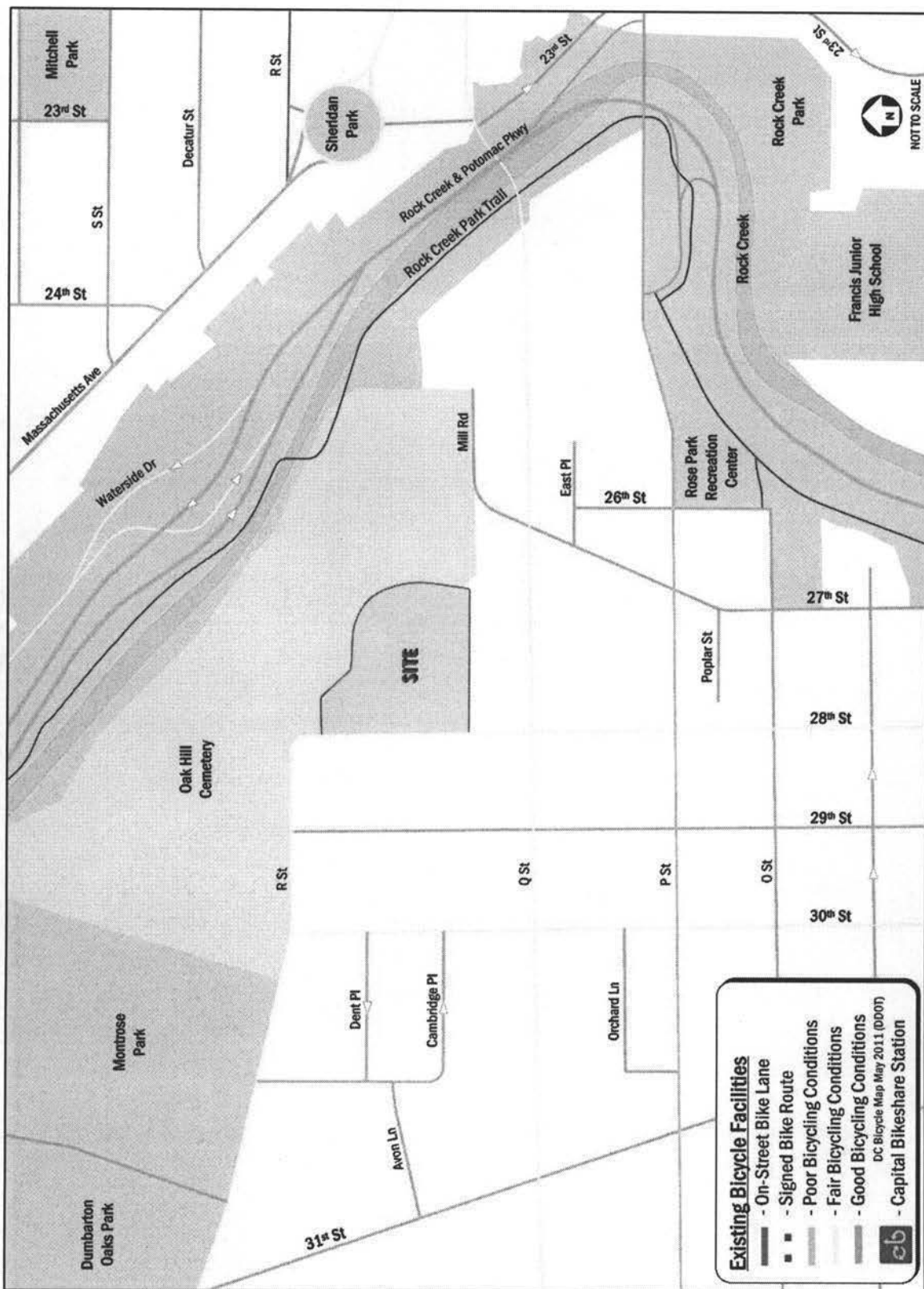


Figure 6: Existing Bicycle Facilities

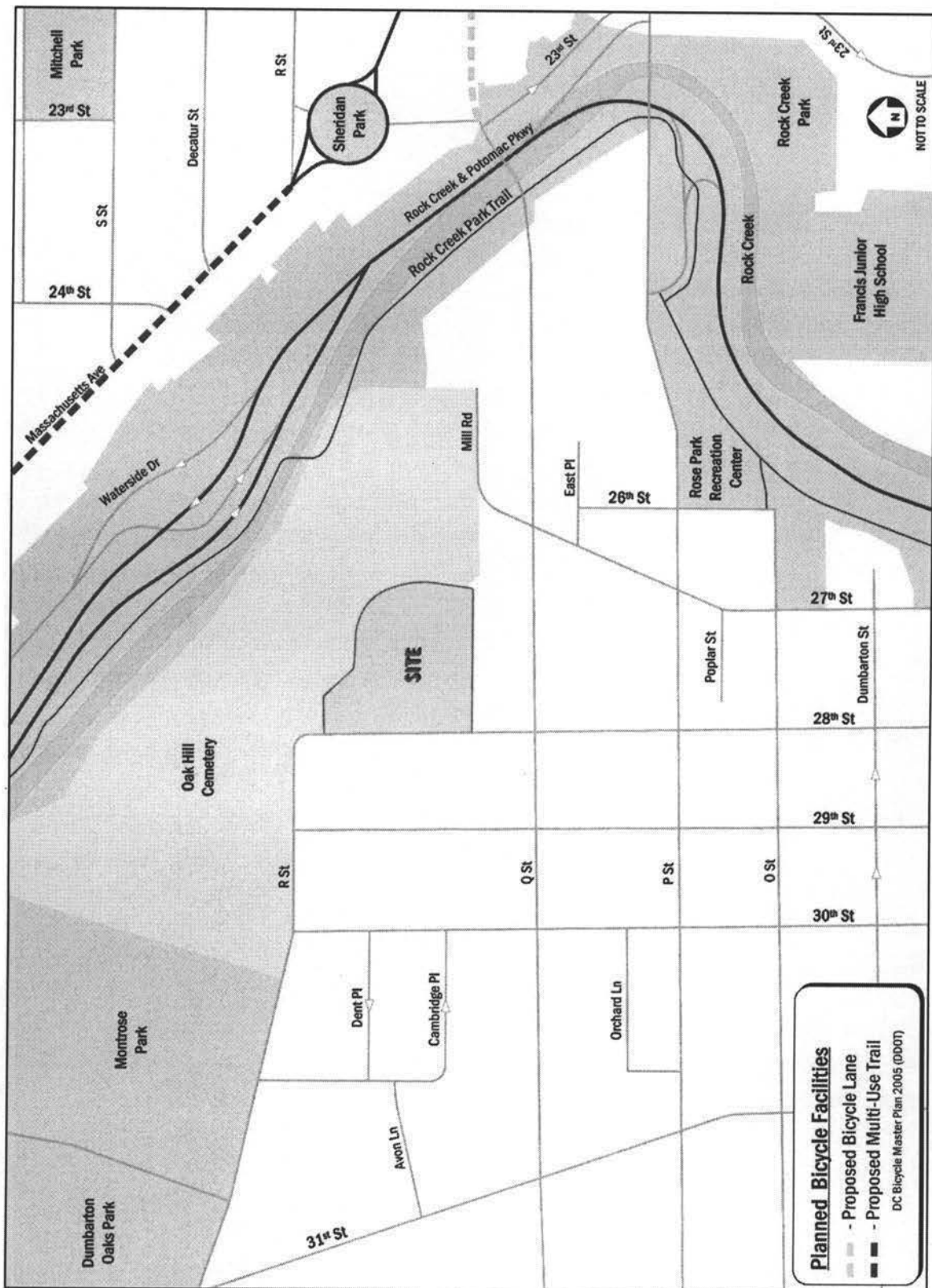


Figure 7: Proposed Bicycle Facilities

EVENT CONDITIONS

G/S conducted traffic and parking observations during typical weekday and weekend conditions consistent with periods anticipated for Foundation events. This section details G/S observations and findings on Saturday, September 24, 2011 and Tuesday, September 27, 2011.

Foundation Events

The Foundation will host events that vary in type and size. Table 1 lists a summary of the characteristics of anticipated events. Event start and end times are usually dictated by the event type. Business luncheons, meetings and seminars will typically occur during the weekday work hours while other events occur during the evenings. Some events will also occur during the evenings and weekends. In addition to these events, regular daily traffic will also be generated by Foundation employees and occasionally by the fellows visiting the premises. These functions are also included within Table 1.

Table 1: Foundation Event Schedule

Trip Type	Mode of Transportation	Notes	Frequency	Total Persons
Employee	Private Vehicle	Office Hours: 7:00 AM - 8:00 PM	Daily	9
Scholarly Study	Taxi/Rental Vehicle	On-site Lodging (off-peak trips)	24 /year	20
Scholarly Study	Taxi/Rental Vehicle/Shuttle Van	First 20 Utilize On-site Lodging (off-peak trips)	12 /year	20
		Remaining arrive by shuttle van	12 /year	30
Civic Event	Private Vehicle/Taxi	Weekend Event Only	1 /year	200
Civic Event	Private Vehicle/Taxi	Outside of peak travel period	2 /year	100
Arts Events	Private Vehicle/Taxi	Exhibitions - M-F 10:00 AM - 4:00 PM;	12 /year	150
Arts Events	Private Vehicle/Taxi	Concerts - M-F 2:00 - 4:00 PM and 7:00 - 10:00 PM	18 /year	80
Arts Events	Private Vehicle/Taxi		24 /year	50

Trip Generation

In order to approximate the number of trips forecasted by the proposed events at Evermay, detailed information was provided for each of the anticipated events scheduled to occur throughout a calendar year. This information included frequency, number of persons expected to attend, event type, etc. and were summarized in Table 1. This information was utilized to determine the approximate number of trips anticipated for an average weekday. For each of the various event types, certain criteria provided guidance on the total number of daily and peak hour trips. These assumptions are summarized below:

- Employee Trips – these trips are expected to occur daily during off peak periods as the typical office hours for the Foundation are scheduled to occur from 7:00 AM to 8:00 PM. However, to remain conservative for this analysis, it was assumed that a small percentage of these trips did occur during the peak period due to off-site needs and traffic congestion outside of the study area.
- Scholarly Study – scholarly study events on average occur once or twice a month and are commonly referred to as fellow meetings. These events incorporate meetings between subject matter experts of approximately 20-50 individuals. The smaller events (20 individuals) are anticipated to experience zero vehicle trips as these individuals will stay on the Evermay site. For the larger events (over 20 individuals), an initial 20 individuals will stay on the

Evermay site while the remaining would be off-site and commute via private vans. These vans would be expected to arrive outside of the typical peak periods assumed in the area.

- Civic Events – these events are expected to occur only on very rare occasions throughout the calendar year, generally during special events, such as the Cherry Blossom Festival. With a total number of attendees of between 100 and 200, typically during weekends and outside of the peak periods, these events are not expected to impact the study area.
- Arts Events – trips expected due to arts events are expected on similar basis to the scholarly study events. They are expected between once and twice a month, but with a larger number of attendees. Between 50 and 150 visitors are expected for these fundraisers depending on the particular event. Divided into exhibitions and concerts which can occur from 10:00 AM – 4:00 PM and from 2:00 – 4:00 PM or 7:00 – 10:00 PM, respectively these events would generally occur outside of the typical peak periods. To remain conservative, a portion of these trips have been assigned to the peak hour.

Given each of the various operational characteristics for the events expected at Evermay, it was determined that on average, the Foundation would expect a total of 6 morning and evening (AM and PM) peak trips on an average day as shown on Table 2. This value is expected to be higher during certain times of the day and over the weekends. However, during these periods the overall traffic through the area is expected to be significantly less than during the peak period, resulting in excess capacity through the study area.

Table 2: Foundation Event Trips

Trip Type	Mode of Transportation	Notes	Frequency	Total Persons	Yearly Trips	Average Weekday Trips		
						Daily	AM Peak	PM Peak
Employee	Private Vehicle	Office Hours: 7:00 AM - 8:00 PM	Daily	9	4,693	18.00	2.00	2.00
Scholarly Study	Taxi/Rental Vehicle	On-site Lodging (off-peak trips)	24 /year	20	960	4.00	-	-
Scholarly Study	Taxi/Rental Vehicle/Shuttle Van	First 20 Utilize On-site Lodging (off-peak trips)	12 /year	20	480	2.00	-	-
		Remaining arrive by shuttle van	12 /year	30	90	-	-	-
Civic Event	Private Vehicle/Taxi	Weekend Event Only	1 /year	200	400	-	-	-
Civic Event	Private Vehicle/Taxi	Outside of peak travel period	2 /year	100	400	2.00	-	-
Arts Events	Private Vehicle/Taxi	Exhibitions - M-F 10:00 AM - 4:00 PM;	12 /year	150	3,600	14.00	2.00	2.00
Arts Events	Private Vehicle/Taxi	Concerts - M-F 2:00 - 4:00 PM and 7:00 - 10:00 PM	18 /year	80	2,880	11.00	1.00	1.00
Arts Events	Private Vehicle/Taxi		24 /year	50	2,400	9.00	1.00	1.00
Total Number of Trips (In & Out)					15,903	60.00	6.00	6.00

By estimating the directional distribution of each of these events, the overall trip generation for the Foundation was calculated to experience 6 morning (AM) peak hour trips (5 inbound and 1 outbound) and 6 evening (PM) peak hour trips (1 inbound and 5 outbound) as shown on Table 3.

Table 3: Foundation Trip Generation

	AM Peak			PM Peak		
	In	Out	Total	In	Out	Total
Average Day Vehicle Trips ¹	5	1	6	1	5	6

1. Assumes standard Institute of Transportation Engineers (ITE) directional distribution for general office (Land Use Code: 710).

For purposes of this analysis, the peak period of the adjacent street traffic was utilized for calculating the capacity analysis results for the site. If the period associated with the highest number of site trips was analyzed for capacity purposes, the remaining 48 vehicle trips from the average daily trips would be assigned to the network. While these trips are higher than

expected during the AM and PM peak periods, the total amount of traffic throughout the study area would be significantly less than during the peak periods, resulting in improved levels of service.

On-Site Parking Supply

Evermay provides parking on-site that can accommodate 109 vehicles with attendant-assisted operations. Table 4 lists the capacity of Evermay parking facilities and Figure 8 identifies the location of Evermay parking facilities. The Foundation will direct all event staff to park on-site. The Foundation will also provide free valet parking for events with more than 50 guests and event invitations will indicate that valet parking is available on-site.

Table 4: Evermay Parking Breakdown

Location	Upper Level	Middle Level	Lower Level	New Garage	Total
Capacity	14	36	59	3	109

Data compiled by Gorove/Slade Associates, Inc.

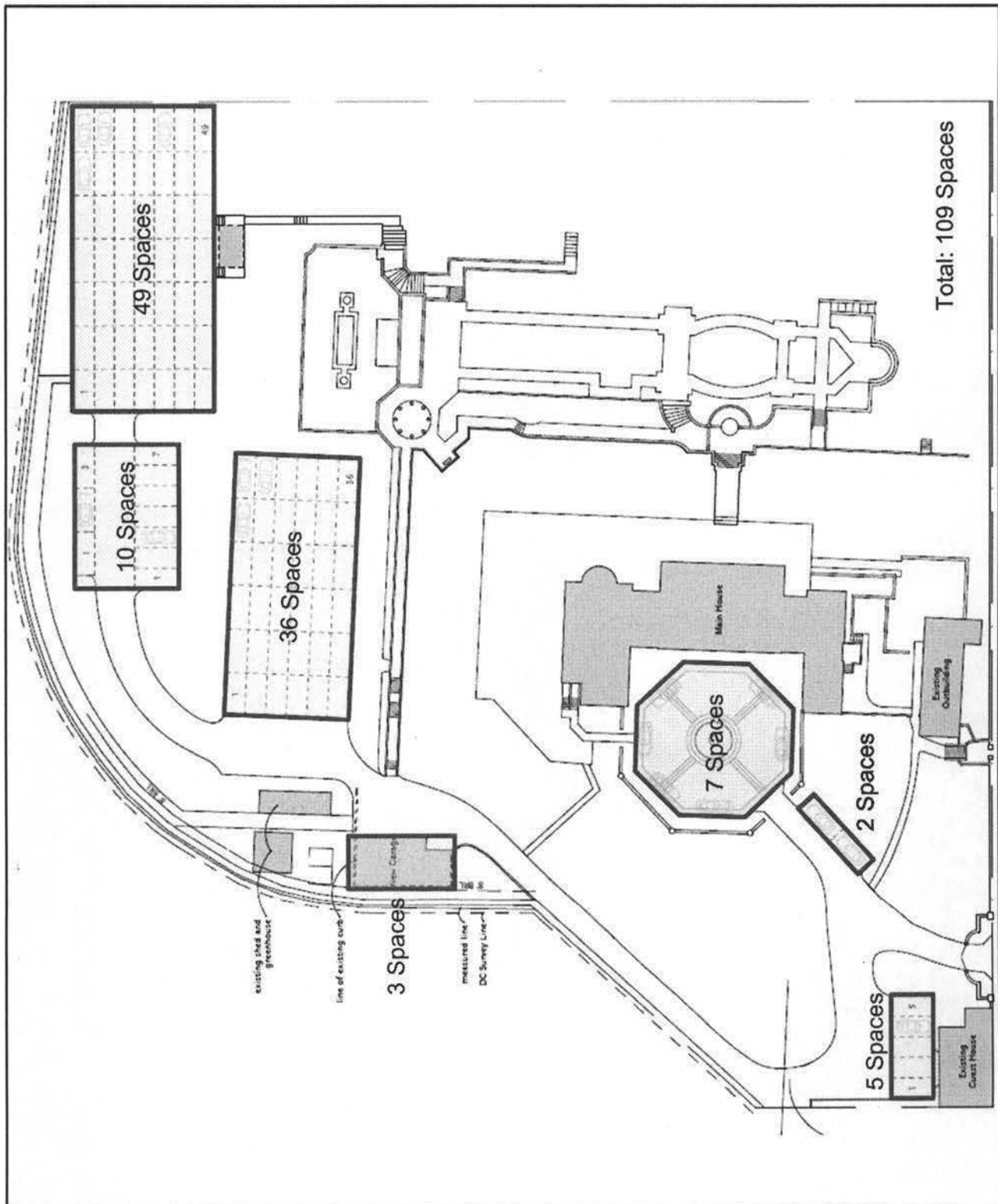


Figure 8: On-Site Parking Supply

Foundation Parking Demand

Parking for future Foundation events was calculated based on the anticipated maximum capacity event which is expected to occur only once a year and have approximately 200 guests. Utilizing this total number of guests as a baseline for the anticipated vehicle trips for the future Evermay site, the trips were reduced to account for vehicle occupancy percentages and various other transportation modes that would not contribute to the parking demand. As part of the analysis prepared in 2008 for the previous owner of the Evermay site, it was determined that each vehicle arriving for a social event would be occupied by approximately 2.0 persons. This ratio is particularly applicable to the arts and civic events the Foundation intends to hold at Evermay. Therefore, this average ratio of 2.0 persons per vehicle was applied to the maximum number of guests for arts and civic events to determine an approximate number of vehicles arriving to the site. Additionally, while the 2008 traffic study indicated that several visitors to the site arrived by foot, a reduction for walkers was not taken into account for parking demand as these walkers were assumed to have parked in the neighborhood. Therefore, the only reduction for parking demand was from taxi and personal vehicle drop-offs and was assumed at 25 percent of the overall demand. Shown on Table 7, the combination of a reduction for vehicle occupancy and vehicles not expected to remain on site would result in an overall parking demand of approximately 75 spaces during the peak event, or 34 spaces below the available supply of 109 spaces.

Table 5: Foundation Parking Demand

	AM Peak			PM Peak		
	In	Out	Total	In	Out	Total
Evermay Maximum Event ¹	176	24	200	34	166	200
Reduction for Vehicle Occupancy ²	(88)	(12)	(100)	(17)	(83)	(100)
Subtotal	88	12	100	17	83	100
Reduction for Taxi/Drop-offs ²	(22)	(3)	(25)	(4)	(21)	(25)
Total Parking Demand	66	9	75	13	62	75

1. Assumes standard Institute of Transportation Engineers (ITE) directional distribution for Amusement Park (Land Use Code: 480).

2. Based on "Traffic Impact Study - Evermay Society" prepared by Gorove/Slade, dated April 23, 2008.

While the parking supply is expected to adequately support the demands of this type of event, the Foundation has arranged for valet parking during specific events. For each of the events where a total of 50 or more guests are anticipated, The Foundation will provide valet service. Those events of less than 50 guests will be directed towards the proper parking areas by Foundation staff.

On-Street Parking Supply and Occupancy

G/S counted on-street parking in the study area during both a weekday and weekend period coinciding with the hours events are expected to occur in order to establish parking supply surrounding the site. While the total parking on-site is anticipated to provide adequate parking during events, some attendees to Foundation events may park off-site.

Given that there will typically be few vehicles that would park on-street, parking supply and occupancy values were collected within a maximum walking distance of approximately two (2) blocks from the main entrance. With this distance, the following parallel parking areas listed below and shown on Figure 9 were evaluated for purposes of on-street parking:

- 29th Street NW between R Street and P Street NW
- 28th Street NW between R Street and P Street NW

- 27th Street NW between Q Street and P Street NW
- R Street NW between 28th and 29th Street NW
- Q Street NW between 27th and 29th Street NW
- P Street NW between 27th and 29th Street NW

While it is unlikely these areas would be used for persons attending Foundation events, it was determined that there are approximately 264 parallel parking spaces available for use by the neighborhood residents and these events.

To understand the number of on-street spaces that are available should the parking demand exceed the on-site parking supply, a detailed parking occupancy count was conducted at each of the above locations during a typical weekday and weekend for every 30-minutes between 7:00 AM and 9:00 PM.

The weekday and weekend parking occupancy results are included in Table 6 and Table 7 as well as on Figure 10 and Figure 11, respectively.

During the weekday parking occupancy count conducted on Tuesday, September 27, 2011, it was determined that the maximum parking demand occurred during the evening time hours at approximately 7:30 PM. A demand of 227 spaces was realized or approximately 86% of the available parking. This is consistent with previously collected parking information for the site and reflects heavy parking demand for residents returning home during the dinner time hours. Throughout the weekday, the average demand for parking was approximately 167 spaces or 63% of the overall supply.

During the weekend parking occupancy count conducted on Saturday, September 24, 2011, it was determined that the maximum parking demand occurred during the morning hours at both 7:00 AM and again at 8:30 AM. A demand of 194 spaces was realized or approximately 73% of the available parking. Again, this is consistent with previously collected parking information for the site. As the morning hours progressed, this value decreased by up to 15% throughout the day with an average parking demand of 176 spaces or 67% of the overall supply.

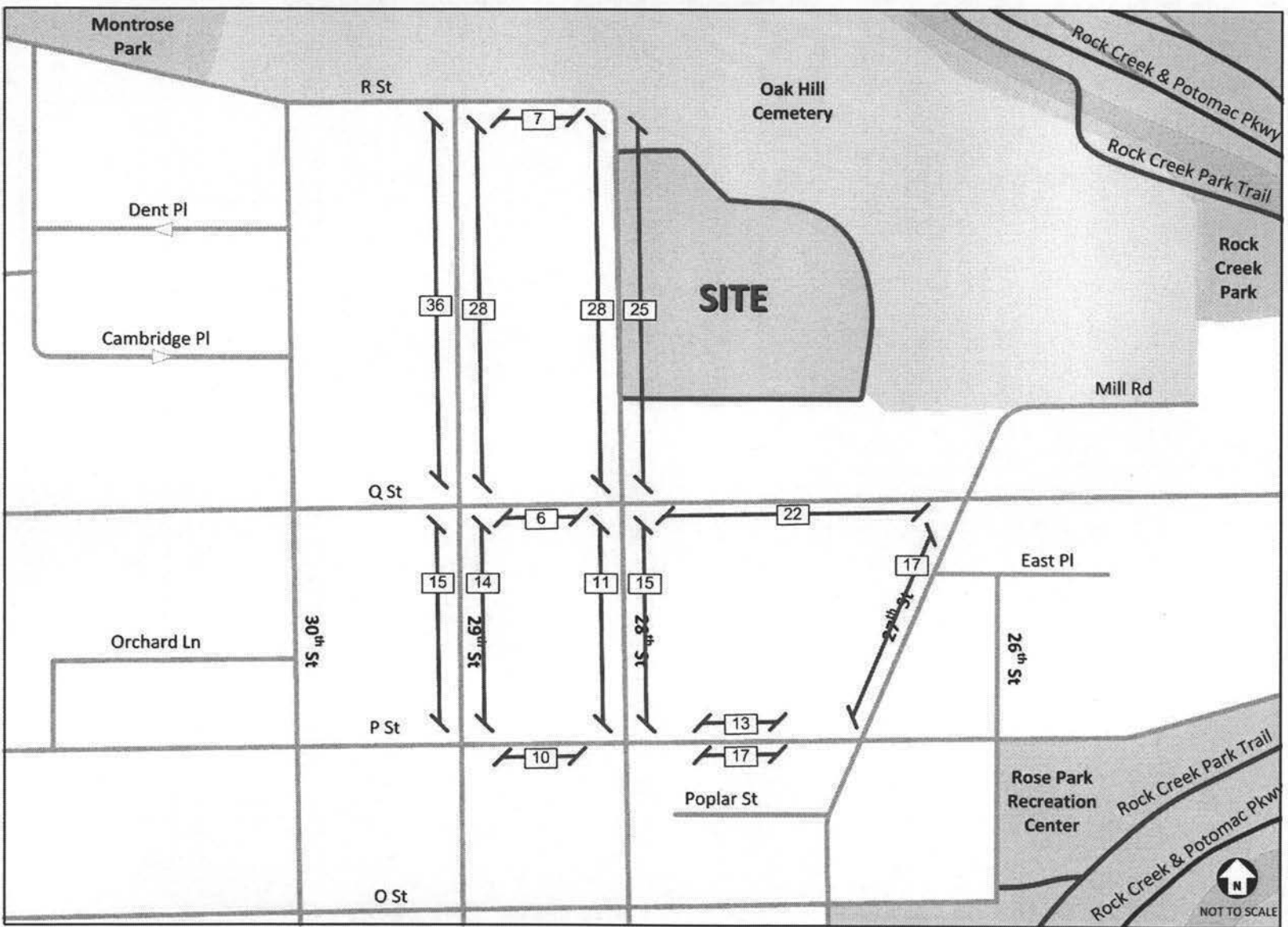


Figure 9: On-Street Parking Supply Locations

Table 6: Weekend On-Street Parking Demand - Saturday, September 24, 2011

Time	Block Face																				Total
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
7:00 AM	19	8	4		19	16	13	13	11		14	16		15	19		14	10	3		194
7:30 AM	19	7	4		19	16	13	12	11		14	16		16	19		14	10	3		193
8:00 AM	20	7	4		19	14	13	12	10		14	16		14	22		14	10	4		193
8:30 AM	19	7	4		20	14	14	15	11		13	16		15	19		14	9	4		194
9:00 AM	19	7	4		20	12	15	15	11		13	15		15	20		14	8	5		193
9:30 AM	17	6	5		20	12	14	13	11		13	15		15	20		13	9	6		189
10:00 AM	20	7	4		18	11	13	13	11		13	15		17	20		12	9	5		188
10:30 AM	18	7	5		18	13	13	11	11		14	15		18	20		12	11	5		191
11:00 AM	16	8	3		18	13	13	11	9		13	16		11	17		13	9	5		175
11:30 AM	16	7	1		18	13	13	13	9		14	16		15	15		13	9	4		176
12:00 PM	16	8	1		17	11	13	11	9		12	15		14	15		10	10	3		165
12:30 PM	16	8	1		13	11	10	12	10		12	14		15	17		10	10	3		162
1:00 PM	15	9	1	No Parking	13	10	10	12	10	No Parking	9	13	No Parking	13	16	No Parking	11	9	5	No Parking	156
1:30 PM	14	7	1		12	13	13	13	11		13	13		15	17		10	10	5		167
2:00 PM	12	7	1	No Parking	14	15	13	13	11	No Parking	14	13	No Parking	15	19	No Parking	10	10	3	No Parking	170
2:30 PM	11	7	2		11	11	13	13	10		13	14		17	18		11	10	6		167
3:00 PM	11	6	3		13	12	13	13	10		14	13		15	17		12	8	3		163
3:30 PM	10	6	1		15	12	12	13	11		15	13		16	17		12	10	4		167
4:00 PM	11	6	0		15	13	12	13	11		14	13		15	17		11	9	6		166
4:30 PM	9	7	0		14	15	12	10	10		15	14		16	16		12	12	6		168
5:00 PM	10	6	0		18	14	12	12	10		15	14		15	15		12	12	5		170
5:30 PM	13	7	0		18	15	12	13	10		14	15		16	17		12	11	4		177
6:00 PM	13	7	2		18	18	12	14	10		14	14		16	19		13	11	4		185
6:30 PM	13	6	1		18	17	12	12	10		13	12		16	17		10	10	4		171
7:00 PM	11	6	1		14	17	12	11	10		16	13		16	19		10	11	5		172
7:30 PM	12	6	1		16	18	11	13	10		16	13		15	19		9	11	4		174
8:00 PM	15	6	1		16	19	12	12	10		15	13		16	19		11	10	4		179
8:30 PM	15	6	1		17	19	12	12	10		14	13		16	19		13	9	4		180

Table 7: Weekday On-Street Parking Demand - Tuesday, September 27, 2011

Time	Block Face																				Total
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
7:00 AM	18	9	3		10	23	9	13	10		13	15		17	19		12	12	6		189
7:30 AM	17	10	2		9	24	7	12	10		12	14		17	20		12	13	5		184
8:00 AM	17	10	0		10	21	8	10	10		12	12		15	18		12	13	4		172
8:30 AM	16	10	0		9	19	7	10	11		10	10		16	16		12	12	5		163
9:00 AM	15	9	1		10	14	7	12	11		10	10		15	16		12	9	4		155
9:30 AM	12	8	2		8	12	7	11	10		11	12		15	15		13	8	5		149
10:00 AM	13	8	3		6	11	9	9	9		10	12		15	15		11	9	4		144
10:30 AM	12	8	4		7	10	9	13	11		10	12		14	16		11	10	4		151
11:00 AM	12	7	3		6	9	9	13	11		11	12		15	14		10	10	3		145
11:30 AM	12	7	3		7	10	9	12	10		11	11		15	14		10	9	3		143
12:00 PM	12	9	4		12	9	11	9	10		12	10		16	16		12	9	5		156
12:30 PM	12	11	5		13	10	9	6	10		12	11		13	17		13	10	5		157
1:00 PM	11	8	6	No Parking	11	14	11	6	9	No Parking	11	8	No Parking	13	17	No Parking	13	8	4	No Parking	150
1:30 PM	13	6	4		10	10	8	6	7		13	10		13	16		12	8	4		140
2:00 PM	14	7	3		14	12	9	7	8		11	14		10	16		12	7	4		148
2:30 PM	13	6	3		11	10	9	7	7		12	12		9	14		11	8	4		136
3:00 PM	13	7	4		13	7	9	9	10		12	14		9	16		12	11	4		150
3:30 PM	12	11	4		15	7	10	10	9		12	10		10	16		13	12	4		155
4:00 PM	11	10	5		15	7	9	10	9		12	13		9	16		13	10	5		154
4:30 PM	11	14	5		14	7	7	9	9		10	14		9	17		14	11	6		157
5:00 PM	12	14	5		18	7	8	10	10		11	12		14	17		14	12	5		169
5:30 PM	14	14	5		18	9	7	9	11		12	11		12	16		14	14	5		171
6:00 PM	16	16	6		18	9	7	7	11		11	12		12	18		15	13	5		176
6:30 PM	23	23	4		18	9	6	8	11		14	15		13	19		15	13	5		196
7:00 PM	24	24	7		14	14	10	11	10		16	14		13	19		15	13	6		210
7:30 PM	25	28	9		16	16	11	14	11		17	15		14	16		16	13	6		227
8:00 PM	24	24	8		16	14	10	11	11		17	13		15	18		14	13	6		214
8:30 PM	22	22	8		17	11	9	10	10		17	13		15	18		15	13	6		206

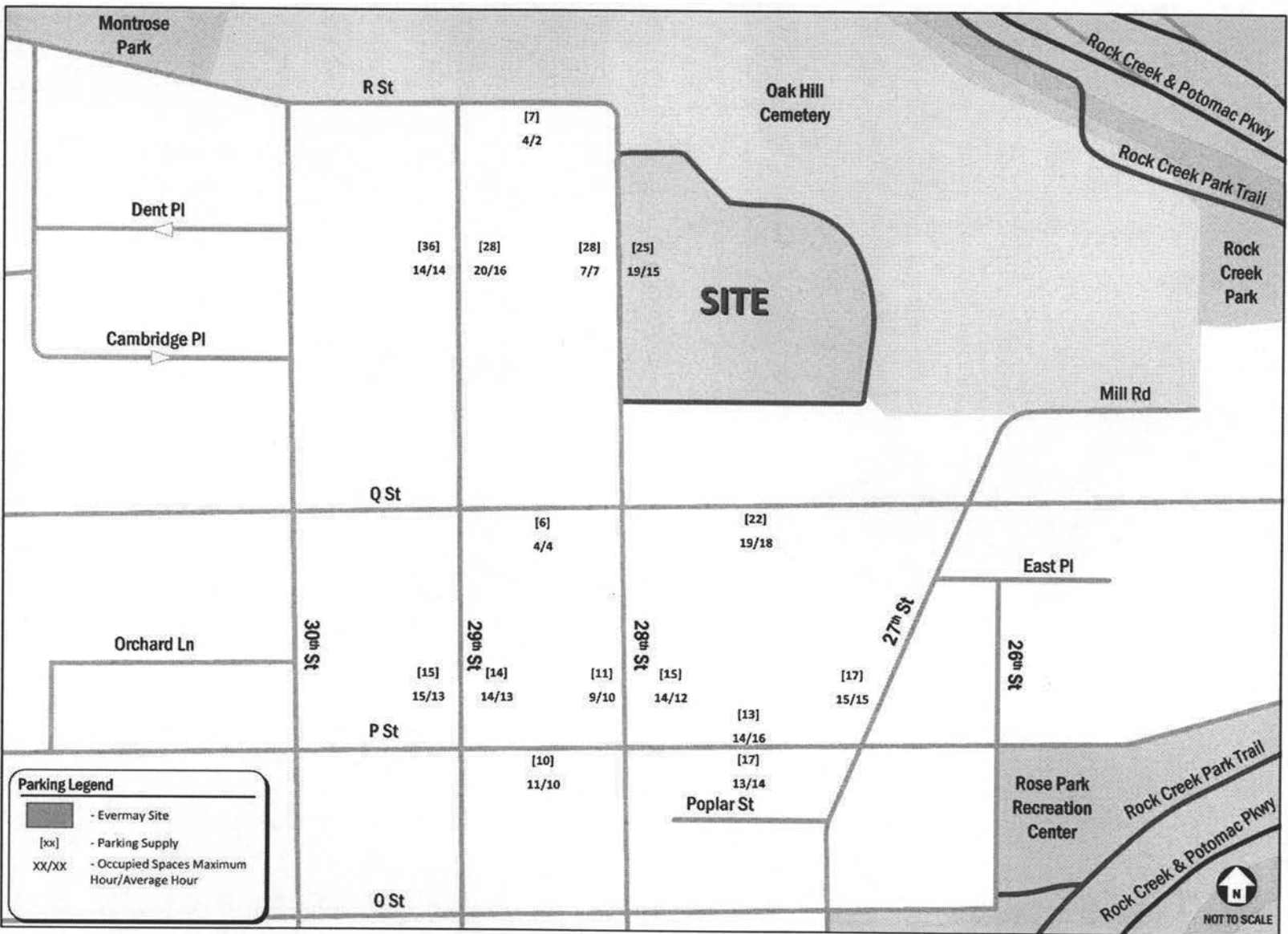


Figure 10: On-Street Parking on Saturday, September 24, 2011 (Weekend Maximum Hour and Average Hour)

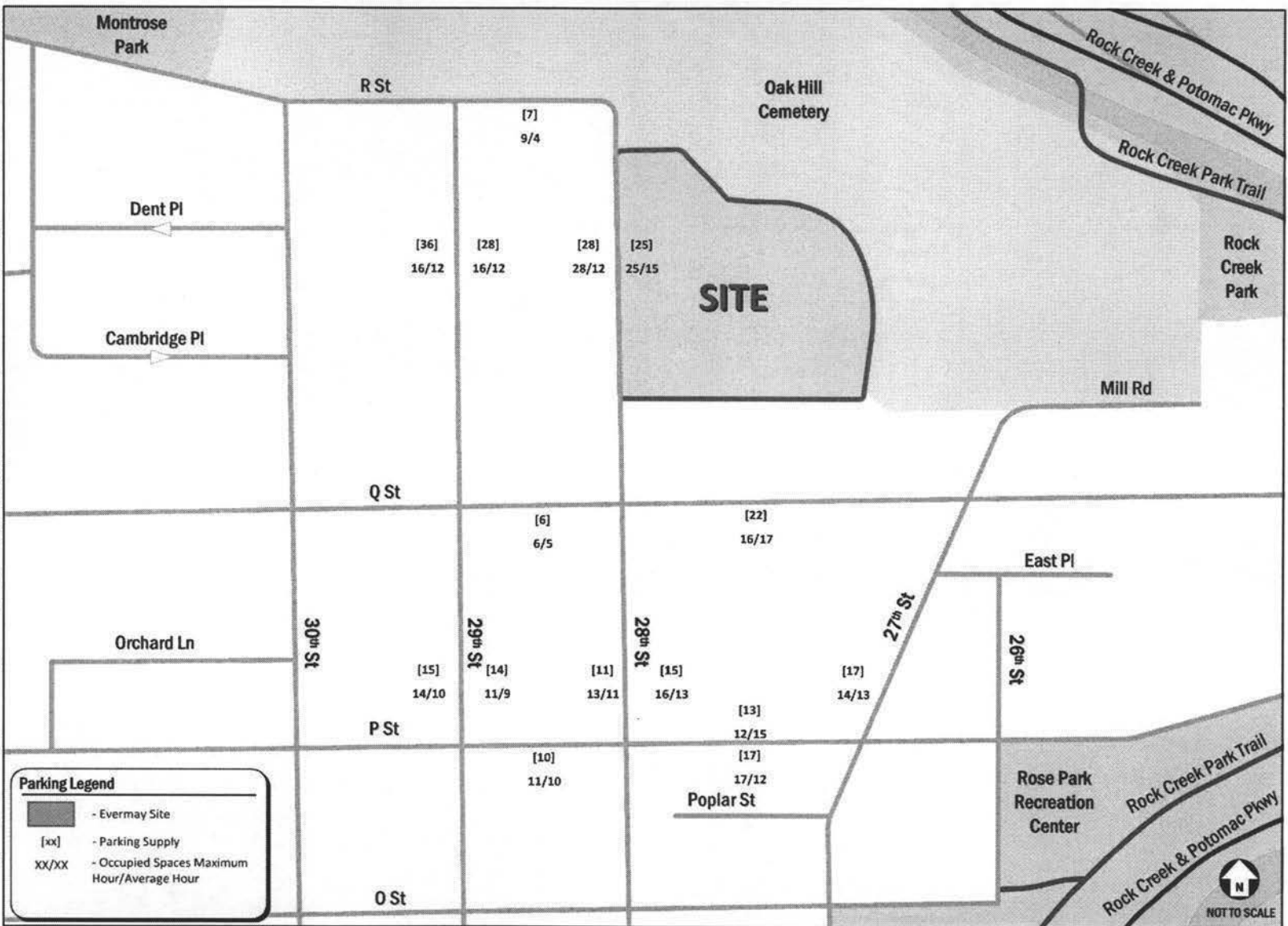


Figure 11: On-Street Parking on Tuesday, September 27, 2011 (Weekday Maximum Hour and Average Hour)

CAPACITY ANALYSIS

Capacity analyses were performed to determine the Level of Service (LOS) for the weekday AM and PM peak hours for the study intersections without and with Foundation events. A LOS grade is a letter grade based on the average delay experienced by motorists traveling through an intersection. LOS results range from A being the best to F being the worst. LOS E is typically used as the acceptable LOS threshold throughout the District. *Highway Capacity Manual* (HCM) methodology was used for all analyses.

The results of the intersection capacity analyses are presented in Table 8, and are expressed in level of service (LOS) and delay (seconds per vehicle) per lane group. The detailed analysis worksheets are contained within the Appendix.

Existing Traffic Volumes

To best capture general traffic conditions in the area, traffic counts were conducted at the key study intersections between the hours of 6:00 a.m. to 9:00 a.m. and 4:00 p.m. to 7:00 p.m. on Tuesday, September 27, 2011. Reviewing these traffic counts, it was determined that the AM peak hour occurred from 8:00 to 9:00 AM and that the evening peak hour occurred from 5:15 to 6:15 PM. The results of the traffic counts are included in the Appendix and are summarized in Figure 12.

Existing Capacity Analysis

By analyzing the existing network using the lane use indicated on Figure 2 and the existing traffic volumes shown on Figure 12, capacity analyses of the existing data show that generally the study area intersections operates at acceptable levels during the weekday AM and PM peak hour. The only exception is during the AM peak hour only when the intersection of 28th Street at Q Street operates at LOS F. This all-way stop intersection experiences heavy traffic volumes in all directions and the east- and westbound approaches both operate at LOS F under the existing conditions.

Event Traffic Volumes

The site-generated traffic volumes, shown in Figure 14, were assigned to the roadway network based on existing travel patterns identified during data collection and general knowledge of the area. The trip distribution used to route the site generated trips onto the study network is illustrated in Figure 13. By applying these site trips to the network and combining them with the existing traffic volumes, the total future traffic volumes were forecasted as shown on Figure 15.

Event Capacity Analysis

Event peak hour LOS were calculated based on the following: existing lane use and traffic controls; total future traffic volumes; and the *Highway Capacity Manual* (HCM) 2000 methodologies using the Synchro, version 7.0, traffic software.

Capacity analyses of the future with development traffic data show that all of the study area intersections will operate similarly to existing conditions. Each of the study intersections will operate at acceptable levels during weekday AM and PM peak hour excluding the intersection of 28th Street at Q Street which will continue to operate at a LOS F during the morning peak hour only. It is noted that while the forecasted trip generation for the Foundation is anticipated to be low during the morning peak period, area traffic volumes have been shown to be significantly lower during the early morning peak period when the site is expected to see the largest number of morning site trips.

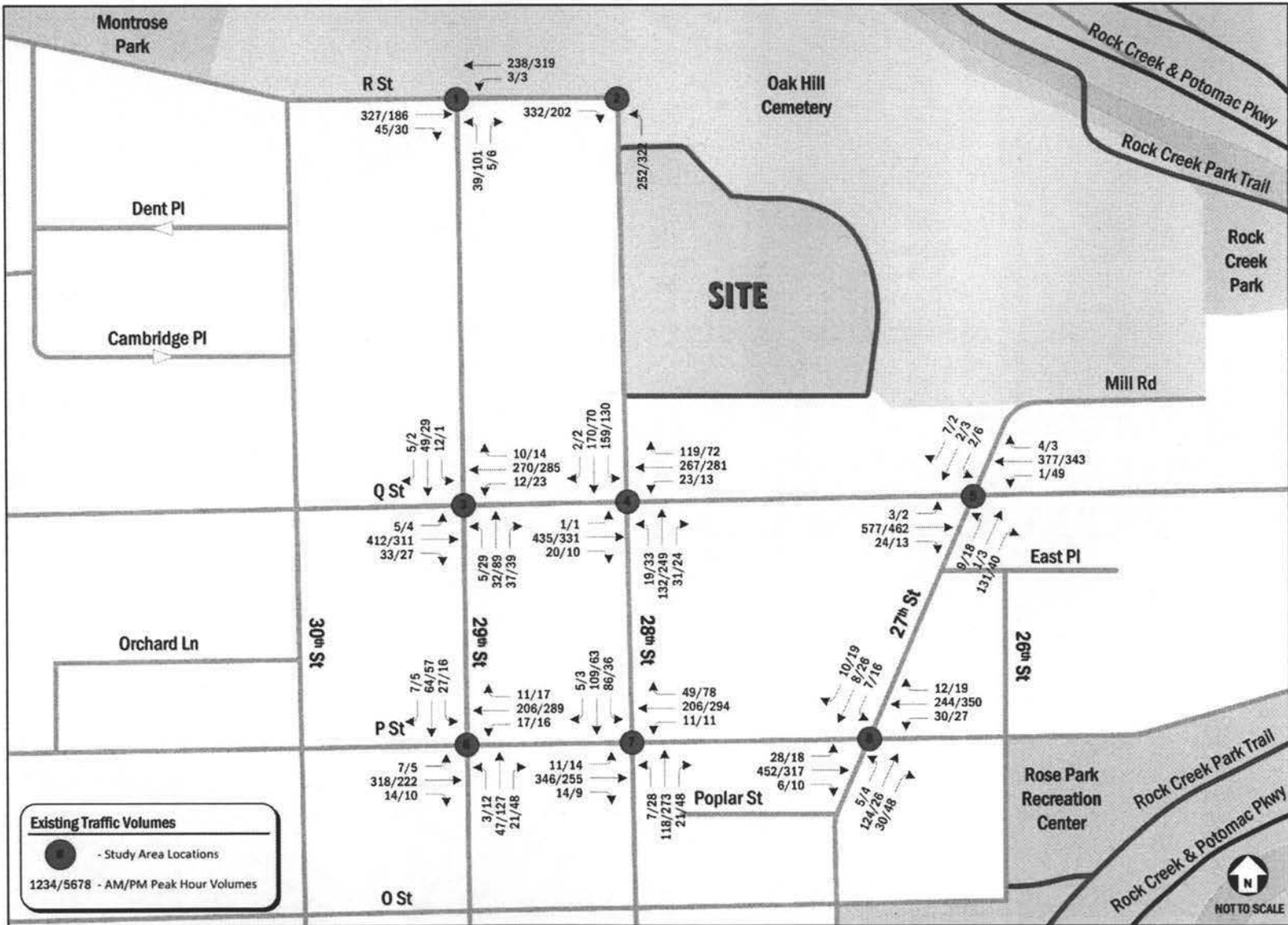


Figure 12: Existing Traffic Volumes

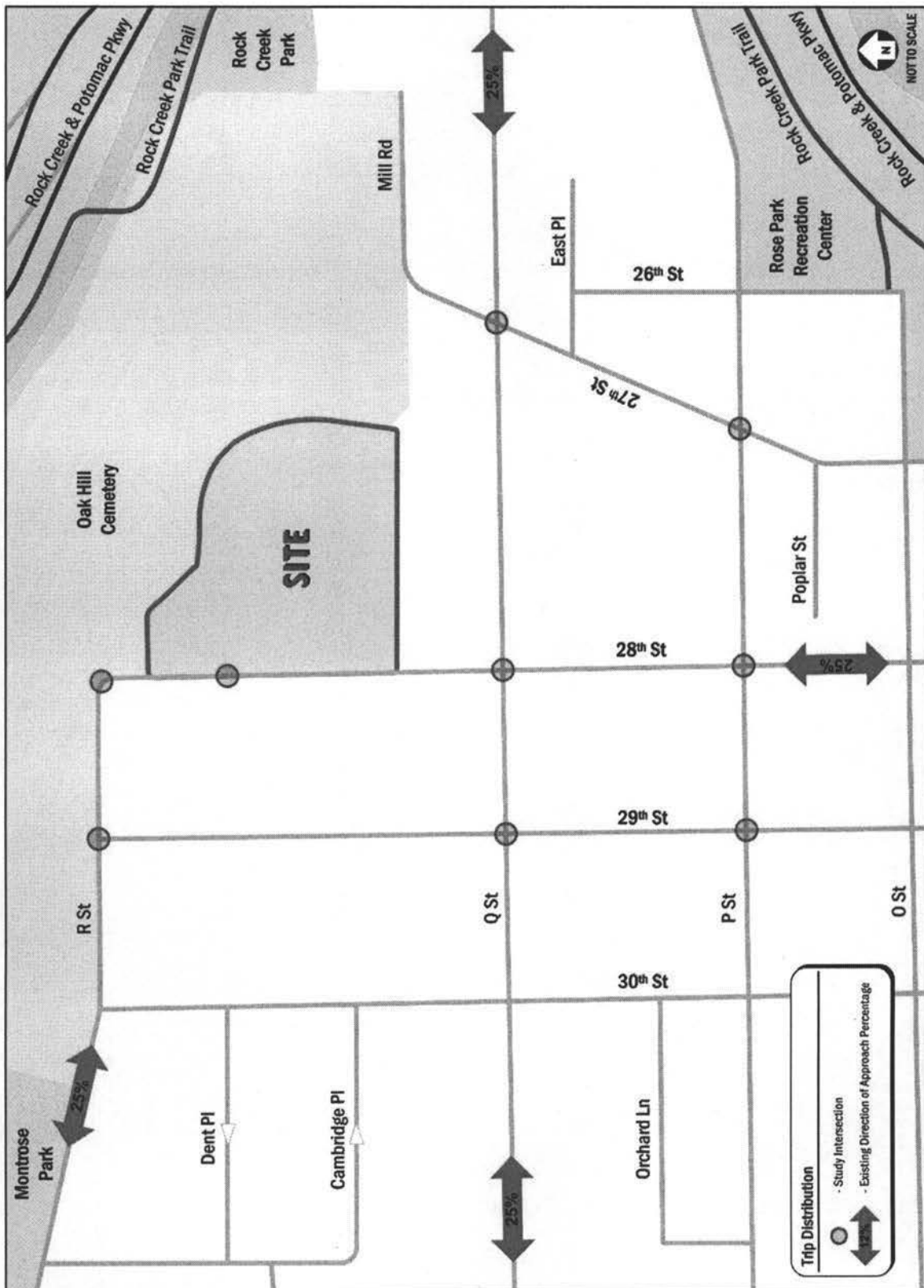


Figure 13: Site Traffic Distribution

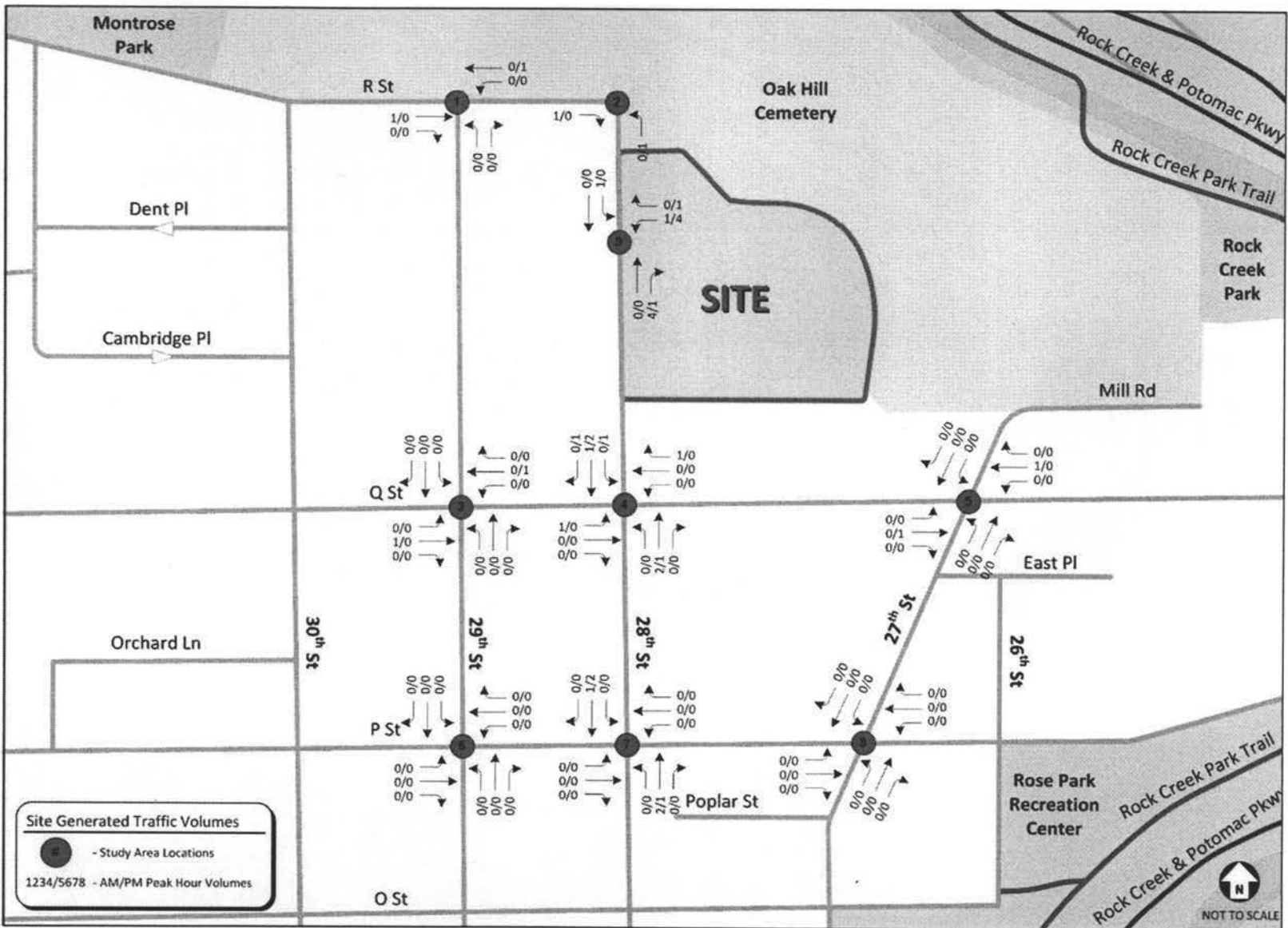


Figure 14: Site Generated Traffic Volumes

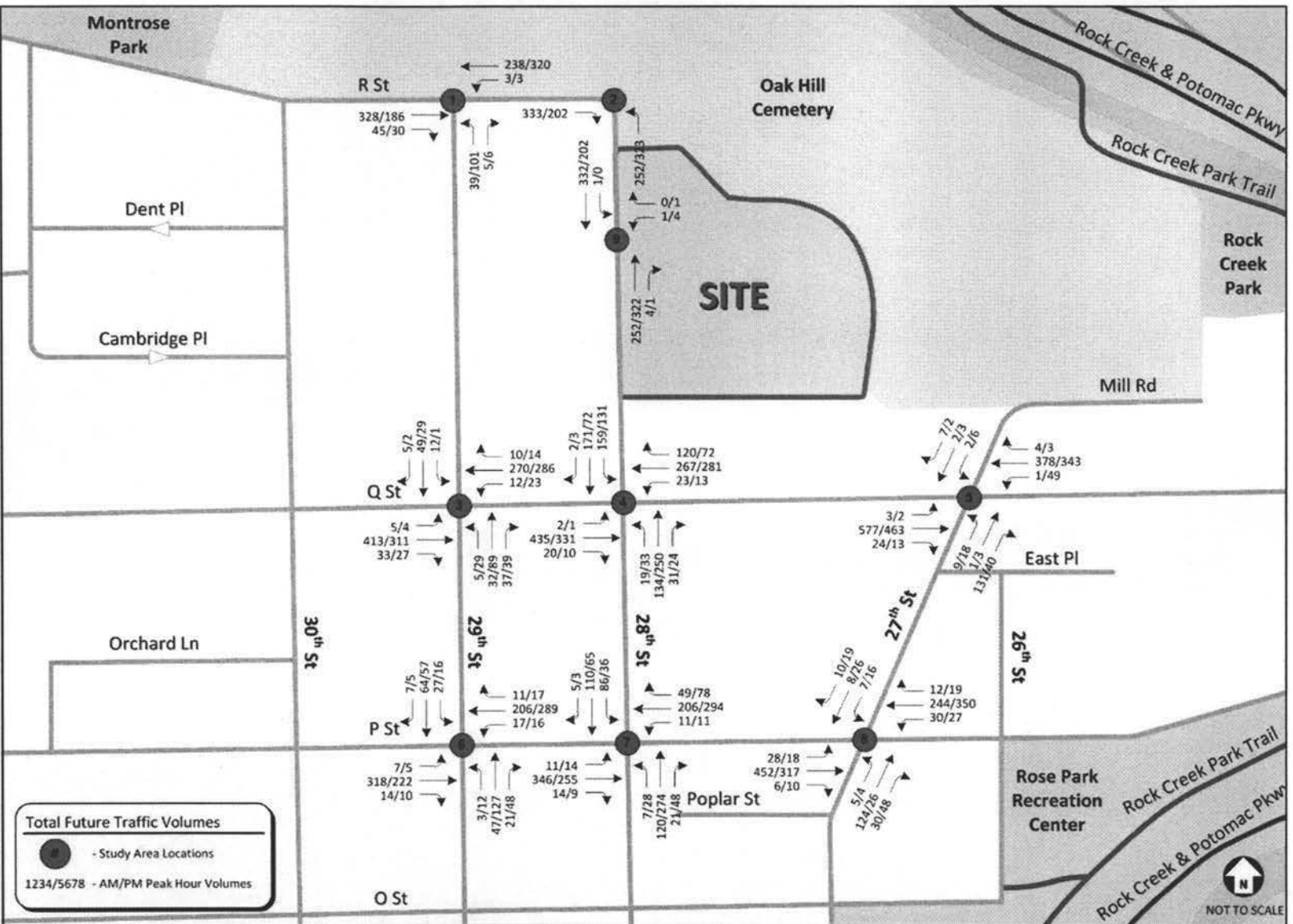


Figure 15: Total Future Traffic Volumes

Table 8: Intersection Capacity Analyses Results

	Approach	Existing Conditions				Total Future Conditions			
		AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour	
		Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
R St & 29 th St	Westbound Left	0.1	A	0.1	A	0.1	A	0.1	A
	Northbound	13.9	B	14.6	B	13.9	B	14.6	C
R St & 28 th St	Eastbound	9.8	A	8.6	A	9.8	A	8.6	A
	Northbound	10.8	B	11.4	B	10.9	B	11.4	B
Q St & 29 th St	Overall	13.7	B	12.5	B	13.8	B	12.5	B
	Eastbound	16.2	C	13.2	B	16.2	C	13.2	B
	Westbound	11.9	B	12.8	B	11.9	B	12.9	B
	Northbound	9.6	A	10.8	B	9.6	A	10.8	B
	Southbound	9.9	A	9.5	A	9.9	A	9.5	A
Q St & 28 th St	Overall	61.8	F	27.5	D	63.4	F	28.1	D
	Eastbound	96.5	F	29.4	D	99.5	F	30.0	D
	Westbound	58.7	F	32.0	D	60.3	F	32.7	D
	Northbound	20.4	C	25.9	D	20.7	C	26.4	D
	Southbound	40.4	E	18.7	C	41.2	F	19.1	C
Q St & 27 th St	Overall	27.4	D	15.0	C	27.4	D	15.0	C
	Eastbound	38.4	E	16.7	C	38.5	E	16.7	C
	Westbound	16.4	C	14.0	B	16.5	C	14.0	B
	Northbound	11.1	B	9.5	A	11.1	B	9.5	A
	Southbound	9.8	A	9.4	A	9.8	A	9.4	A
P St & 29 th St	Overall	11.1	B	11.9	B	11.1	B	11.9	B
	Eastbound	12.3	B	11.5	B	12.3	B	11.5	B
	Westbound	10.5	B	13.2	B	10.5	B	13.2	B
	Northbound	9.2	A	11.1	B	9.2	A	11.1	B
	Southbound	9.7	A	9.9	A	9.7	A	9.9	A
P St & 28 th St	Overall	15.1	C	20.4	C	15.2	C	20.5	C
	Eastbound	18.3	C	17.2	C	18.4	C	17.3	C
	Westbound	13.9	B	23.3	C	13.9	B	23.5	C
	Northbound	11.9	B	21.9	C	12.0	B	22.1	C
	Southbound	13.4	B	12.5	B	13.4	B	12.6	B
P St & 27 th St	Overall	16.5	C	13.1	B	16.5	C	13.1	B
	Eastbound	20.7	C	13.0	B	20.7	C	13.0	B
	Westbound	12.7	B	14.4	B	12.7	B	14.4	B
	Northbound	11.4	B	9.5	A	11.4	B	9.5	A
	Southbound	9.6	A	9.7	A	9.6	A	9.7	A
28 th St & Site Entrance	Westbound					13.2	B	12.1	B
	Southbound Left					0.0	A	0.0	A

CONCLUSION

The report findings of the traffic impact study conducted for Evermay indicate that the site would not have an adverse impact on study area traffic or parking due to the various events held by the S&R Foundation. The Foundation activities, which include arts events, scholarly studies and civic events, are generally anticipated to experience their traffic movements during off-peak periods and would have a negligible effect on traffic capacity in the study area.

For the most part, arts events are anticipated to be attended by 50 or fewer guests who will walk to Evermay or arrive by taxi and private automobile. Fellows meetings will generally be attended by out-of-town participants and some fellows will stay at Evermay during the course of the meetings. Those who will not reside on-site will walk or will arrive by taxi and/or van service for their fellow meetings. The third category of activities will be the civic events, which will have the highest attendance but will be limited to only three per year, and for which the Foundation will provide on-site valet parking. A maximum of nine Foundation employees will work permanently on-site. Adequate parking of 109 spaces will be provided for both employees and visitors to the Evermay site

In addition to making traffic and parking observations around the vicinity of the site, Gorove/Slade Associates, Inc. (G/S) conducted capacity analyses to evaluate existing traffic conditions and to determine the impact of Foundation traffic. Capacity analyses indicate that most intersections operate at acceptable levels of service during the AM and PM peak hours with the intended Foundation events at Evermay. The one exception is the intersection of 28th Street and Q Street during the AM peak hour, which currently operates at an LOS F. With the additional proposed Foundation traffic, the delay at this location would only increase by approximately two seconds. While installation of a traffic signal would improve operations at this intersection this report does not recommend installation of a signal as such a signal would go against the overall nature of this area of the District. While the additional delay on this intersection is minimal, the Foundation will implement the following transportation demand management (TDM) measures:

- Schedule civic and arts events outside of peak hours (Monday-Friday, 8:00-9:00 AM and 5:15 to 6:15 PM); schedule Fellows Meetings requiring off-site transportation so that attendees arrive outside of peak hours;
- Vary employee hours Monday thru Friday within the time-frames of 7 AM to 8:00 PM;
- Provide staff to direct on-site parking for all events attended by 50 or fewer persons; and,
- Provide valet service for civic and arts events for more than 50 attendees.

Given these TDM measures, it is the recommendation of this study that no additional mitigation measures be required as part of the BZA application for the Evermay Georgetown.