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THE IRWIN - 1328 14TH STREET, NW

THE DUBIN EDLAVITCH, LLC.
TORTI GALLAS AND PARTNERS, INC.

BZA SUBMISSION.....OCTOBER 4, 2011

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 18313
EXHIBIT NO. 9

Board of Zoning Adjustment
District of Columbia
CASE NO.18313
EXHIBIT NO.9



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Site Aerial

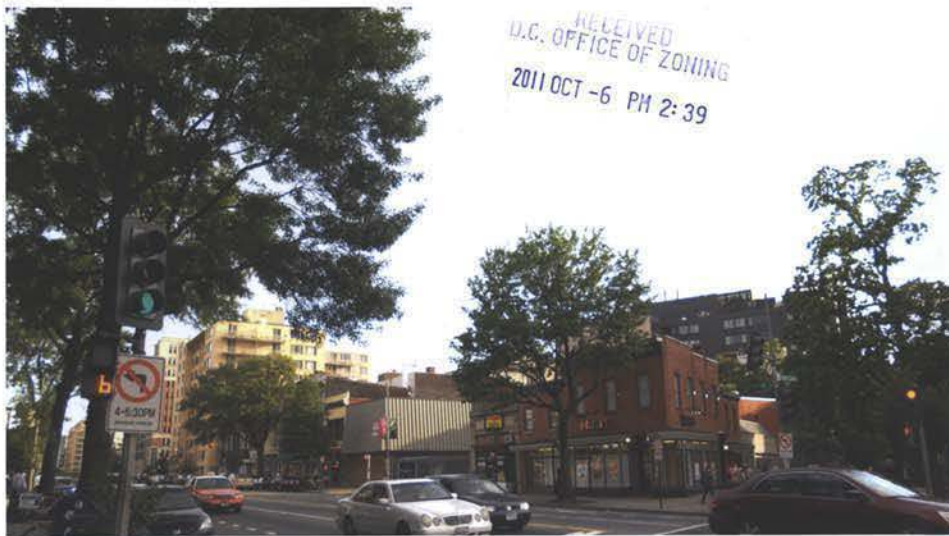
THE DUBIN EDLAVITCH, LLC.
TORTI GALLAS AND PARTNERS, INC.



G01

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View South on 14th Street



View of existing building on site



View North on 14th Street



View East on Rhode Island Avenue

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Site Photos

THE DUBIN EDLAVITCH, LLC.
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G02

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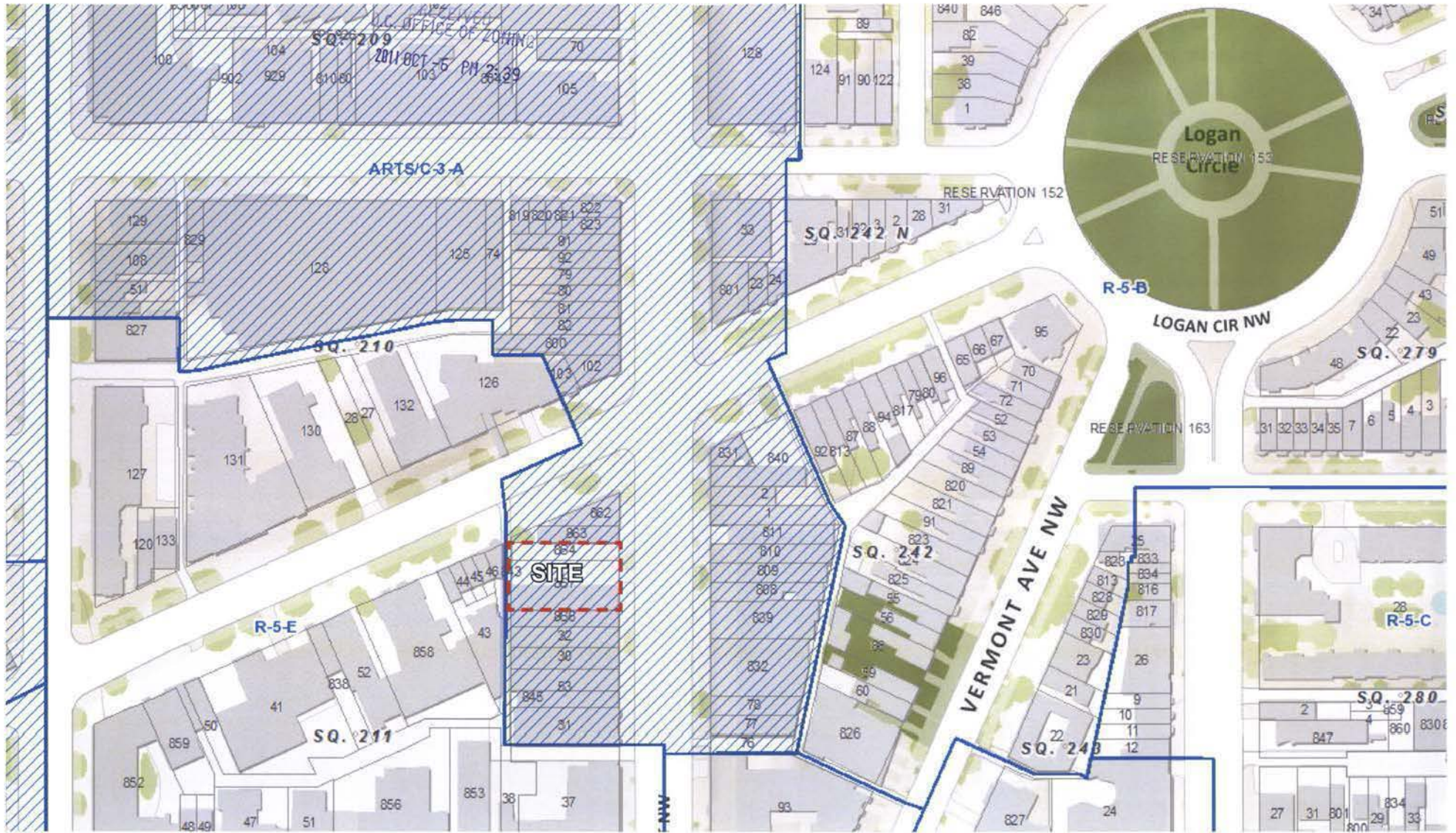
14th Street Historic District

THE DUBIN EDLAVITCH, LLC.
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G03

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DC Zoning Map

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G04

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1328 14th Street NW

Square: 211 Lot: 864, 867		Lot Area: 10,423 sf	
	Allowable by Zoning (C-3-A)	Proposed	
FAR	2.5 Commercial 4.0 Residential 4.0 + 20% IZ Bonus Density = 4.8 + .5 FAR Residential Bonus Density (Arts Overlay) = 5.3	0.40 Commercial 4.30 Residential 4.70 Total FAR	
		Level Building Area	
		Level 1 8,250	
		Level 2 8,275	
		Level 3 8,275	
		Level 4 8,275	
		Level 5 8,275	
		Level 6 7,650	
		Total 49,000	
		Commercial Area 4,135	
		Res Area 44,865	
RooF Structures	37 x 10,423= 3,857	Will Comply	
Penthouse	One continuous structure at one height 1:1 Setback	Relief Requested Will Comply	
Lot Occupancy	80% (allowed per IZ) for residential use (at lowest residential level) 100% for commercial uses	79.4% at 2nd Floor	
Building Height	65' stories-no limit 75' Allowed per C-3-A Arts overlay 1:1 setback above 50' at alley PL	65'-0" to top of roof Measured from t.o. curb @ center of 14th Street NW building frontage 6 stories, Req'd setback provided	
Dwelling Units	N/A	55 Units (+/-)	
IZ	8% Base Bldg (Res only) or 50% of bonus density, whichever > (Base bldg = 4.5 x site area) = 46,904 (Bonus Density = Total Bldg Area - Base Building) = 2,097	8% Base Bldg (Res) = 3,421 50% Bonus density= 1,048 Project to provide 3,421 gsf for IZ	
Rear Yard	2.5' per foot of height at mean finished grade at rear of bldg (12 ft minimum)	0-20' 18'-10" Provided per 11 DCMR 774.7a >20' 13'-10" Provided per 11 DCMR 774.7b (66'-6"x2.5'=13'-10" Req'd)	
Side Yard	None required; If provided 2 inches per foot of height not < 6 feet	None provided	
Courtyards	Open Min. Width: 3" per ft of height (non-res) Min. Width: 4" per ft of height not < 15' (res)	Provided as required	
	Closed Area: Twice square of req'd width not < 250 sf (non-res) Area: Twice square of req'd width not < 350 sf (res)	Provided as required (Court 50' tall) Req'd width = 16'-8", Total Ct area = 1050 sf	
Parking Requirement			
Residential	0.5 space per D.U.	55/2=28 spaces required 16 spaces provided (38% compact) Relief Requested for # and size (compact)	
Retail	1 space for each add'l 300 sf over 3000 sf of Retail	4135-3000=1135/300 = 4 spaces required None Provided Relief Requested	
Bicycles	5% of required retail spaces per 11 DCMR (2119.2)	2 Retail Bike spaces provided on site 40 Res. Bike spaces provided on P1	
Loading			
Residential	1 loading berth @ 12' x 55' 1 platform @ 200 sf 1 service/delivery @ 10' x 20'	1 loading berth @ 12' x 30' 1 platform @ 100 sf No service/delivery Relief Requested	
Retail	<5000 None Required	None Provided	

14th St. NW Uptown Arts-Mixed Use (ARTS) Overlay District

	Allowable by Zoning (C-3-A)	Proposed
Use Provisions	No less than 50% of ground level shall be occupied by retail and service uses and arts and arts-related uses as listed in 11 DCMR 1907-1908 per 11 DCMR 1901.1	8,250/2=4,125 1,135-gsf Retail=4,125 Project Complies
Shared Parking	Required parking spaces may be shared by time of day with other uses specified per 11 DCMR 1901.4	No shared Parking
Additional Building Height	Building height may exceed height limit of 65', up to a maximum height of 75', provided no roof structure exceeds 83'-1/2' above measuring point for the building, and if the lot abuts a Residence District or an alley serving as zone district boundary line of an adjacent Residence District, no part of the building shall project above a plane drawn at a 45° angle from a line located 50' directly above the property line that abuts the RD or alley per 11 DCMR 1902.1	Building Height=65' Penthouse Height=83.5' Building complies w/ setback requirements
Street Frontage Design Requirements	No driveway that provides access from a pedestrian street to required parking or loading shall be permitted per 11 DCMR 1903.2	Parking and Loading access off of alley
Display Window Requirement	75% of Streetwall build-to R.O.W. Property Line, to a Height of 15'-0" per 11 DCMR 1903.3	Project Complies
Entry Location	50% of Ground Level Wall Surface devoted to display windows and entrances per 11 DCMR 1324.8 (as amended in CNRM 4-27)	Project Complies
Entry Spacing	Maximum separation of building entrances on 14th St. NW not to exceed 40'-0" on average per 11 DCMR 1903.4	Min of 2 entrances provided (2 Required)
Bonus Density	3.0 or greater residential FAR entitled to bonus of 0.5 FAR. per 11 DCMR 1904	Project Res FAR > 3.0



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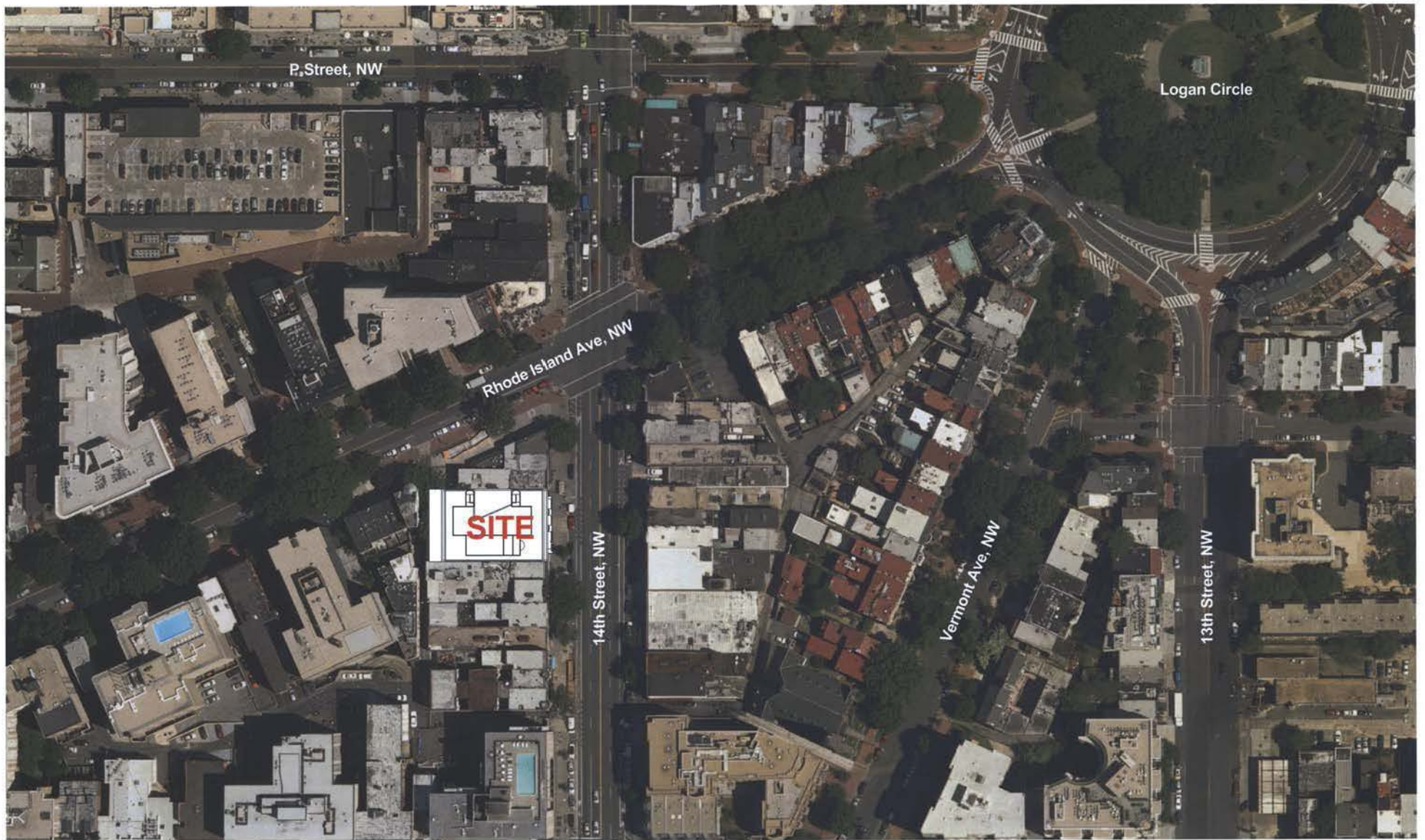
View from Northeast

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A01

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SITE PLAN

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A02

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THE IRWIN - 1328 14TH STREET, NW



GROUND FLOOR PLAN

Note:
The interior layouts shown on the building plans are schematic.
Changes to the layouts not affecting the exterior envelope or square footage distribution, may occur.

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2ND-5TH FLOOR PLAN

Notes:
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Changes to the layouts not affecting the exterior envelope or square footage distribution, may occur.

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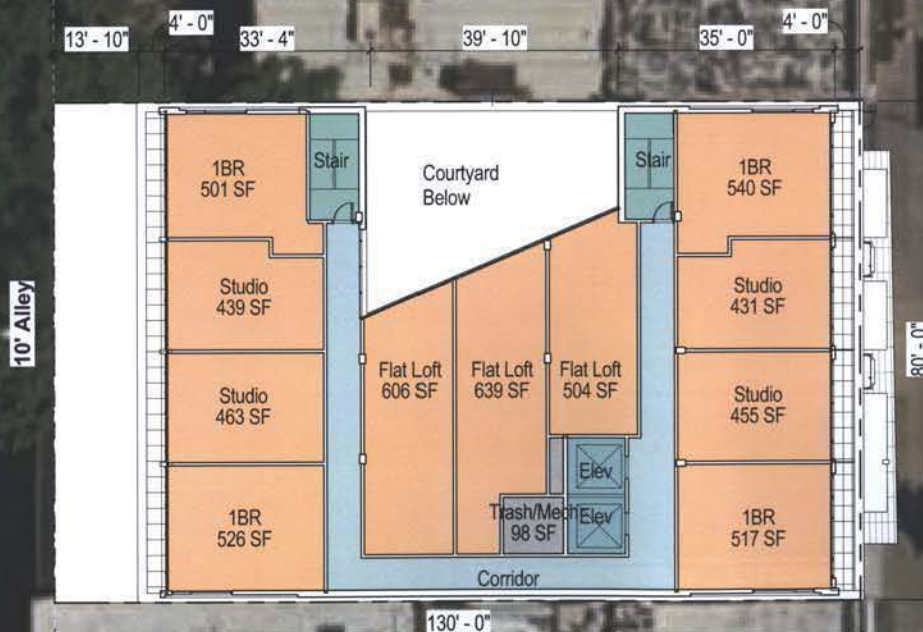
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Rhode Island Ave, NW

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Unit Count
Typical Floor - 11 (x5)
Total 55 Units

SIXTH FLOOR PLAN

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ROOF PLAN

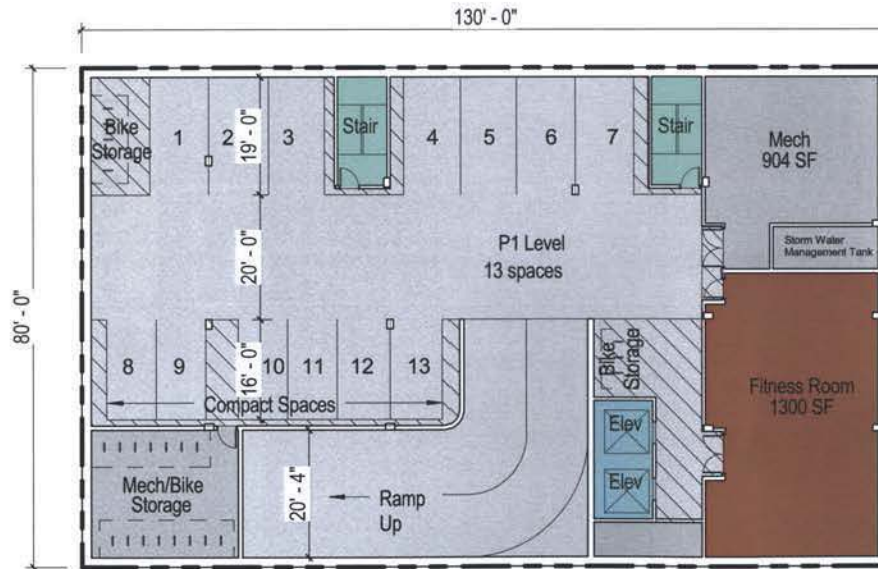
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Note:
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Parking Count

Alley	3 (All full size)
P1 Level	13 (7 full size, 6 compact)
Total	16 (10 full size, 6 compact)

GARAGE FLOOR PLAN

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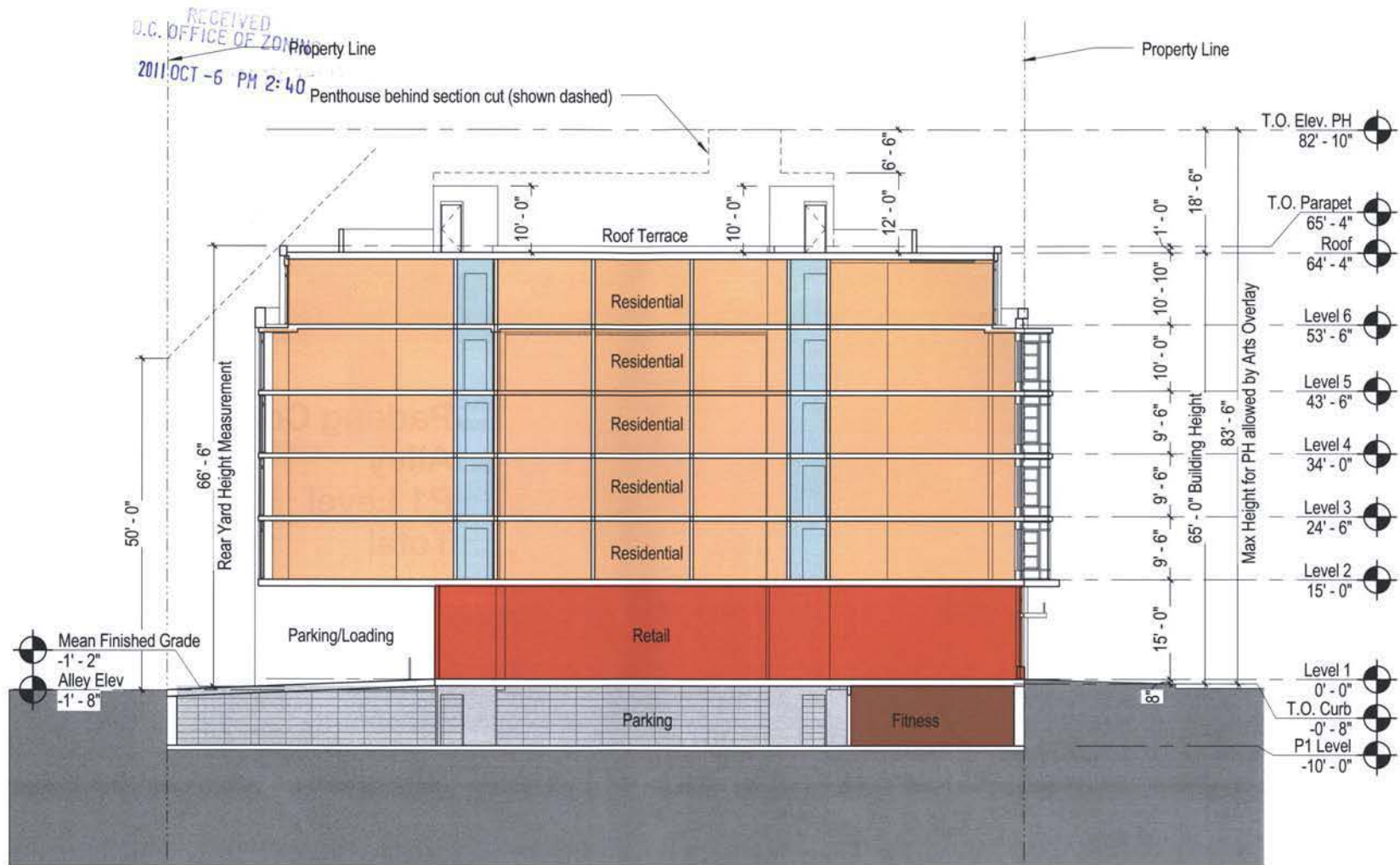
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THE IRWIN - 1328 14TH STREET, NW



BUILDING SECTION

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East Elevation

Note:
The retail storefront layout shown on the building elevation is schematic.
Changes to the layout may occur once tenant for retail space(s) is established.

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T.O. Elev. PH
82' - 10"

Material Legend

1	Terracotta Rainscreen
2	Metal Panel
3	GFRP Rainscreen
4	Stucco
5	Masonry
6	Aluminum Window
7	Aluminum Storefront
8	Aluminum Canopy
9	Aluminum Railing
10	Aluminum Sunshade
11	Aluminum Overhead Door

18' - 6"

Roof

64' - 4"

Level 6

53' - 6"

Level 5

43' - 6"

Level 4

34' - 0"

Level 3

24' - 6"

Level 2

15' - 0"

Level 1

0' - 0"

NORTH ELEVATION

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WEST ELEVATION

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T.O. Elev. PH
82' - 10"

18' - 6"

Roof
64' - 4"

10' - 10"

Level 6
53' - 6"

10' - 0"

Level 5
43' - 6"

9' - 6"

Level 4
34' - 0"

9' - 6"

Level 3
24' - 6"

9' - 6"

Level 2
15' - 0"

15' - 0"

Level 1
0' - 0"

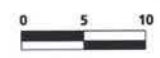
T.O. Curb
-0' - 8"

Material Legend	
1	Terracotta Rainscreen
2	Metal Panel
3	GFRG Rainscreen
4	Stucco
5	Masonry
6	Aluminum Window
7	Aluminum Storefront
8	Aluminum Canopy
9	Aluminum Railing
10	Aluminum Sunshade
11	Aluminum Overhead Door

SOUTH ELEVATION

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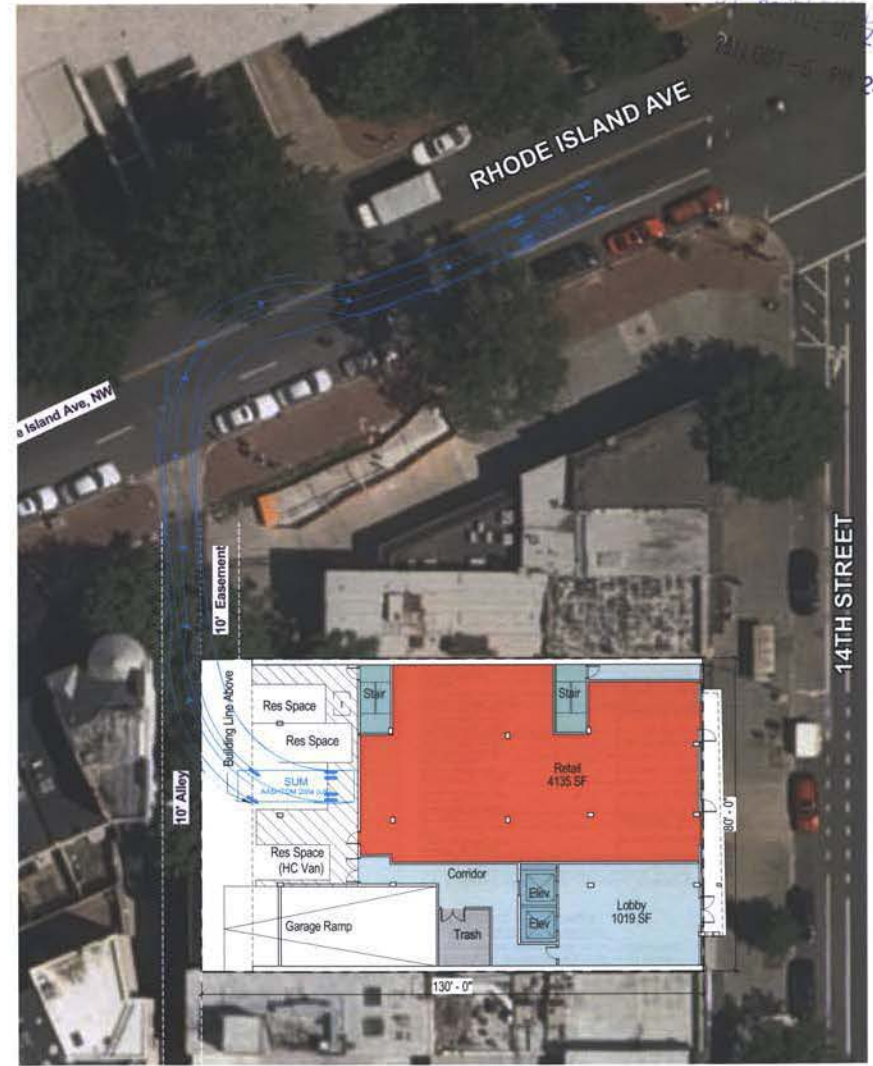


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30' Truck Entry to Site



30' Truck Exit from Site

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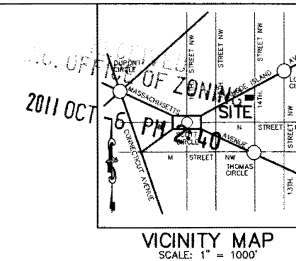
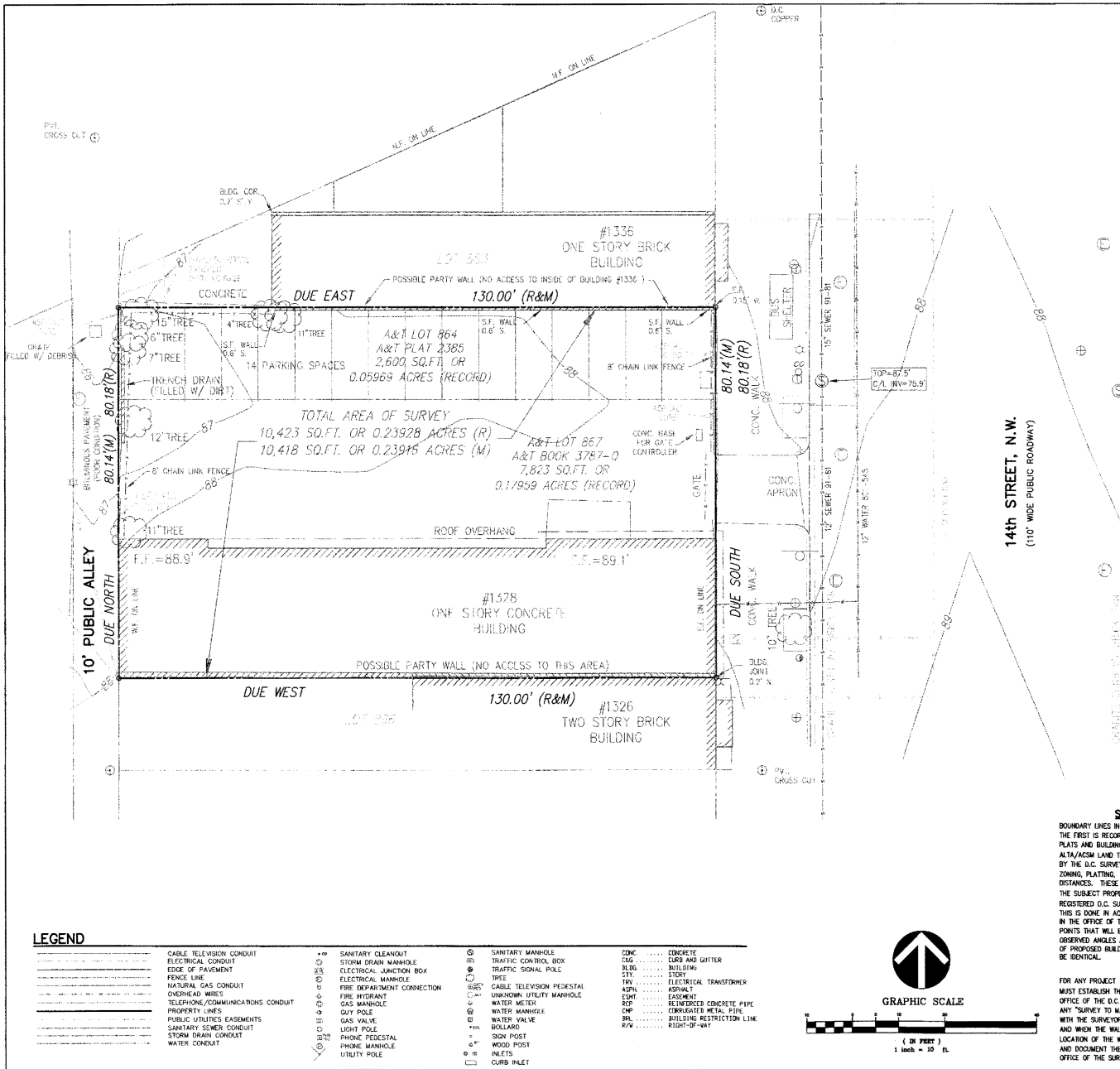
Truck Loading Access

THE DUBIN EDLAVITCH, LLC.
TORTI GALLAS AND PARTNERS, INC.

T01

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D.C. BOUNDARY NOTE
 BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM OFFICIAL CITY RECORDS AND VERIFIED IN THE FIELD INsofar AS POSSIBLE. PROPERTY LINE DIMENSIONS FROM OFFICIAL RECORDS MAY NOT NECESSARILY AGREE WITH FIELD MEASUREMENTS. THE SURVEYOR HAS REVIEWED THE OFFICIAL RECORDS OF THE DISTRICT OF COLUMBIA AND HAS DETERMINED THAT THE BOUNDARY INFORMATION SHOWN HEREON IS CORRECT. THE SURVEYOR HAS REVIEWED THE OFFICIAL RECORDS OF THE DISTRICT OF COLUMBIA AND HAS DETERMINED THAT THE BOUNDARY INFORMATION SHOWN HEREON IS CORRECT. THE SURVEYOR HAS REVIEWED THE OFFICIAL RECORDS OF THE DISTRICT OF COLUMBIA AND HAS DETERMINED THAT THE BOUNDARY INFORMATION SHOWN HEREON IS CORRECT.

ZONING NOTE:
 THE FOLLOWING INFORMATION WAS TAKEN FROM THE ZONING MAP OF THE DISTRICT OF COLUMBIA FOR SUBJECT PROPERTY:
 LOTS 864 & 867 IN SQUARE 211 ARE ZONED ARTS/C-3-A
 COMMERCIAL DISTRICT (C-3-A)
 UPTOWN ARTS-RELATED USE OVERLAY DISTRICT (ARTS)
 THIS INFORMATION DOES NOT CONSTITUTE A "ZONING OPINION" AND IS NOT SUBJECT TO THE SURVEYOR'S CERTIFICATION SHOWN HEREON.

UTILITY NOTE
 THE UNDERGROUND UTILITY LOCATIONS SPECIFICALLY NOTED IN THE TABLE BELOW AND GRAPHICALLY SHOWN HEREON HAVE BEEN LOCATED FROM A COMBINATION OF FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE INFORMATION SHOWN HEREON IS CORRECT. THE SURVEYOR HAS REVIEWED THE OFFICIAL RECORDS OF THE DISTRICT OF COLUMBIA AND HAS DETERMINED THAT THE BOUNDARY INFORMATION SHOWN HEREON IS CORRECT. THE SURVEYOR HAS REVIEWED THE OFFICIAL RECORDS OF THE DISTRICT OF COLUMBIA AND HAS DETERMINED THAT THE BOUNDARY INFORMATION SHOWN HEREON IS CORRECT.

UTILITY COMPANY	PLAN # / SHEET #
VERIZON 9000 Cornerstone Boulevard - 3rd Floor Baltimore, Maryland 21205	NO REPLY AT THIS TIME
COMCAST 10000 Cornerstone Boulevard Baltimore, Maryland 21205	NO REPLY AT THIS TIME
WASHINGTON GAS AND REPAIRMENT SECTION 6800 Industrial Road Springfield, VA 22151	MAP NO. 45368 PROVIDED
WGL WORLDWIDE 2200 Leowood Road Baltimore, MD 21202	NO REPLY AT THIS TIME
PG&E 1800 Pennsylvania Ave. Room 300 Washington, DC 20006	NO REPLY AT THIS TIME
DC WATER 11020 Fagundes Road Manassas, VA 20108	NO REPLY AT THIS TIME

THE OWNER/DEVELOPER OF THE SUBJECT PROPERTY IS RESPONSIBLE FOR OBTAINING INFORMATION AND COORDINATING WITH ALL OTHER UTILITIES NOT LISTED IN THE TABLE ABOVE. THE OWNER/DEVELOPER IS ALSO RESPONSIBLE FOR CONTACTING "MISS UTILITY" 48 HOURS PRIOR TO CONSTRUCTION.

STANDARD DISTRICT OF COLUMBIA SURVEY REQUIREMENTS EXPLANATION:

BOUNDARY LINES IN THE DISTRICT OF COLUMBIA ARE BROKEN UP INTO TWO BASIC MEASUREMENTS. THE FIRST IS RECORD BEARINGS AND DISTANCES. THIS INFORMATION IS SHOWN ON ALL RECORD PLATS AND BUILDING PLATS RECORDED IN D.C. AND TYPICALLY IS WHAT IS USED FOR ANY AT/A/ACM LAND TITLE SURVEYS THAT ARE DONE SINCE THEY DO NOT NEED TO BE APPROVED BY THE D.C. SURVEYOR. THIS IS KNOWN AS "RECORD INFORMATION" AND IS USED FOR ALL ZONING, PLATTING, AND SITE PLAN PURPOSES. THE OTHER IS OBSERVED ANGLES AND MEASURED DISTANCES. THESE ARE USED WHEN ESTABLISHING "ON THE GROUND" THE TRUE CONFIGURATION OF THE SUBJECT PROPERTY. THE OBSERVED ANGLES AND DISTANCES ARE CALCULATED BY A REGISTERED D.C. SURVEYOR AND APPROVED BY THE OFFICE OF THE D.C. SURVEYOR. TYPICALLY THIS IS DONE IN ACCORDANCE WITH A "SURVEY TO MARK" THAT IS APPROVED AND THEN RECORDED IN THE OFFICE OF THE D.C. SURVEYOR. A "SURVEY TO MARK" ESTABLISHES ACTUAL GROUND CONTROL POINTS THAT WILL BE USED BY THE D.C. SURVEYOR'S OFFICE FOR FUTURE WALL CHECKS. THE OBSERVED ANGLES AND MEASURED DISTANCES ARE TO BE HELD FOR THE PURPOSE OF CONSTRUCTION OF PROPOSED BUILDINGS AND SITE FEATURES. AFTER RECORD AND MEASURED INFORMATION MAY NOT BE IDENTICAL.

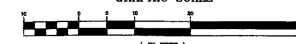
FOR ANY PROJECT THAT IS STARTING UNDER CONSTRUCTION, THE CONTRACTOR'S CONSTRUCTION SURVEYOR MUST ESTABLISH THE OBSERVED ANGLE AND MEASURED DISTANCES OF THE SUBJECT PROPERTY THROUGH THE OFFICE OF THE D.C. SURVEYOR BY RESEARCHING THE BOUNDARY PLATS (THIS WILL INCLUDE RESEARCHING ANY "SURVEY TO MARK" THAT MUST BE ON FILE) AND THEN COORDINATING THE FINAL BOUNDARY OUTLINE WITH THE SURVEYOR'S OFFICE. ONCE CONSTRUCTION OF THE FOUNDATION OF THE BUILDINGS IS COMPLETE, AND WHEN THE WALL LOCATIONS ARE ESTABLISHED, THE D.C. SURVEYOR OR HIS AGENT MUST CHECK THE LOCATION OF THE WALLS (A WALL CHECK) FOR ANY POSSIBLE ERRORS IN CONSTRUCTION OF ITS LOCATION, AND DOCUMENT THE LOCATION FOR ZONING PURPOSES. THIS WALL CHECK MUST BE APPROVED BY THE OFFICE OF THE SURVEYOR, DISTRICT OF COLUMBIA PRIOR TO PROCEEDING WITH CONSTRUCTION OF THE WALLS.

LEGEND

--- CABLE TELEVISION CONDUIT	--- SANITARY CLEANOUT	--- SANITARY MANHOLE	--- CONC. CONCRETE
--- ELECTRICAL CONDUIT	--- STORM DRAIN MANHOLE	--- TRAFFIC CONTROL BOX	--- CURB AND GUTTER
--- FENCE LINE	--- ELECTRICAL JUNCTION BOX	--- TRAFFIC SIGNAL POLE	--- BUILDING
--- NATURAL GAS CONDUIT	--- ELECTRICAL MANHOLE	--- TREE	--- STORY
--- OVERHEAD WIRES	--- FIRE DEPARTMENT CONNECTION	--- CABLE TELEVISION PEDESTAL	--- ELECTRICAL TRANSFORMER
--- TELEPHONE/COMMUNICATIONS CONDUIT	--- GUY POLE	--- UNKNOWN UTILITY MANHOLE	--- ASPHALT
--- PROPERTY LINES	--- GAS VALVE	--- WATER METER	--- EASTING
--- PUBLIC UTILITIES EASEMENTS	--- LIGHT POLE	--- WATER MANHOLE	--- REINFORCED CONCRETE PIPE
--- SANITARY SEWER CONDUIT	--- PHONE PEDESTAL	--- WATER VALVE	--- CORRUGATED METAL PIPE
--- STORM DRAIN CONDUIT	--- PHONE PEDESTAL	--- SIGN POST	--- BUILDING RESTRICTION LINE
--- WATER CONDUIT	--- PHONE PEDESTAL	--- WOOD POST	--- RIGHT-OF-WAY
	--- PHONE PEDESTAL	--- INLETS	
	--- PHONE PEDESTAL	--- CURB INLET	



GRAPHIC SCALE



PROJECT COORDINATOR: SORCE CHARLES
 C-MAIL: SORCECHARLES@GMAIL.COM
 SORCE CHARLES, LLC
 4010 MARGARETTA AVENUE, NW, SUITE 204
 WASHINGTON, DC 20007
 WWW.VIKACAPITAL.COM

THE IRWIN
 1328
 14TH STREET, N.W.
 LOTS 864 & 867
 SURVEY
 WASHINGTON, D.C.

BZA
 EXISTING CONDITIONS PLAN

VKA CAPITAL
 REVISIONS

BZA SUBMISSION
 09-30-2011
 DATE: SEPT. 27, 2011
 DES: SC DWN: CAD
 SCALE: 1"=10'
 PROJECT/FILE NO.
 0716A
 SHEET NO.
 C-1

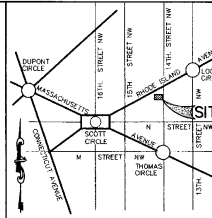
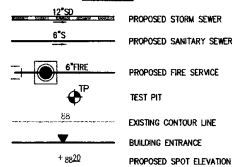
DISTRICT OF COLUMBIA
 SURVEYOR
 PERMIT
 PROFESSIONAL ENGINEER

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PVT
CROSS CUT

LEGEND:



VICINITY MAP
SCALE: 1" = 1000'

GENERAL NOTES:

- THE BUILDING INFORMATION (UTILITY CONNECTIONS, ETC.) SHOWN ON THIS PLAN WAS TAKEN FROM PLANS/SKETCHES PREPARED BY TORII GALLAS AND PARTNERS, INC. 09/27/2011
ARCHITECT DATE

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECT / MEP PLANS AND COORDINATE SAME WITH SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR IS TO VERIFY THAT THE RELOCATION OF ANY UTILITY IN CONFLICT WITH PROPOSED WORK HAS BEEN COMPLETED, INCLUDING UTILITY FILES AND CIVIL WORKS.
- IF THE CONTRACTOR HAS ANY QUESTIONS AS TO THE NATURE, METHOD, OR DETAIL OF THE PERFORMANCE OF HIS WORK OR THE CONTRACT DOCUMENTS, HE SHOULD CONTACT VIKI CAPITOL, AT 202-787-4400 PRIOR TO COMMENCING WORK. VIKI CAPITOL ACCEPTS NO LIABILITY OR ASSUMPTIONS OR INTERPRETATIONS MADE BY THE CONTRACTOR OR HIS SUBORDINATES.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" FOR MARKING LOCATIONS OF EXISTING UTILITIES AT 1-800-257-7777, 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF THE UTILITIES BY DISSEMINATED TESTS BY HAND. IF ANY UTILITY IS LOCATED AT A DEPTH OF LESS THAN 12 INCHES WHEN MEASURED, CONTACT A LICENSED ENGINEER AND LESS THAN 12 INCHES OF THE OTHER INVOLVED UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO STRUCTURES, WHEN NECESSARY, TO MEET EXISTING CONDITIONS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL EXISTING UTILITIES AND STRUCTURES NOT SHOWN TO BE REMOVED ARE TO REMAIN AND PRESERVED AS FUNCTIONAL.
- REPAIRS TO UTILITIES OR PROPERTY DAMAGED AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE OR METHOD OF OPERATION MUST BE MADE AT THE CONTRACTOR'S EXPENSE BEFORE PROCEEDING WITH CONSTRUCTION.

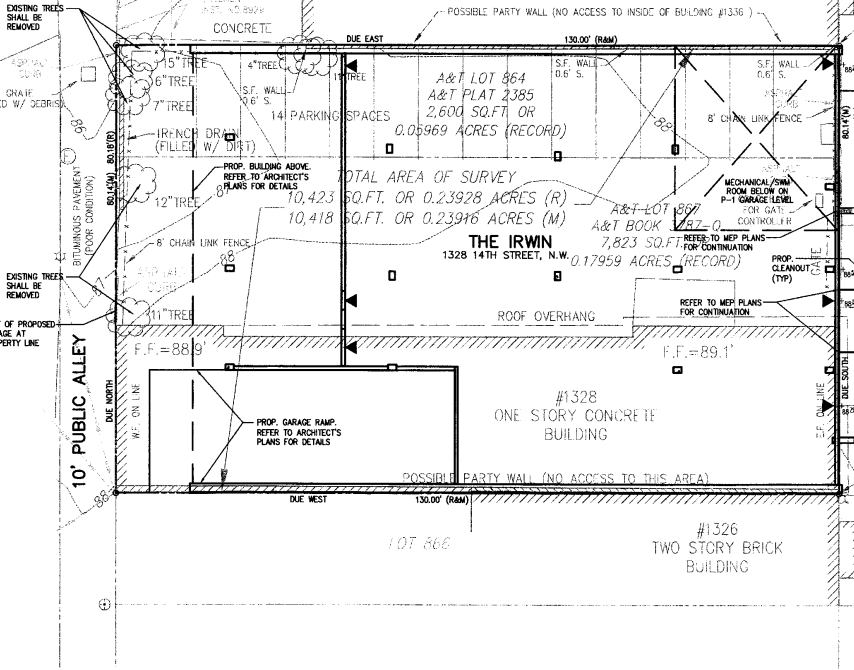
COORDINATION NOTES:

- IF VIKI CAPITOL IS NOT PROVIDING STAKEOUT SERVICE, THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THIS PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE MOST CURRENT APPROVED ARCHITECTURAL/MEP PLANS AND COORDINATE SAME WITH THE SITE PLAN, PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF CONSTRUCTION WITH THE FOLLOWING UTILITY COMPANIES SERVING THE SITE: PEPOD, VERIZON, WASHINGTON GAS, DISTRICT CABLE VISION.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY (DCWATER) FOR TAPPING FEES AND DETERMINING THE EXTENT OF WORK (FOR WATER CONNECTION) TO BE ACCOMPLISHED BY DCWATER.
- CONTRACTOR TO COORDINATE WITH THE OFFICE OF THE DC SURVEYOR TO ENGAGE A SURVEYOR LICENSED BY THAT OFFICE TO PREPARE A WALLCHECK SURVEY AS REQUIRED BY THE DC CODE IN ADVANCE OF PLACING CONCRETE ASSOCIATED WITH THE FOUNDATION.
- A. NOTIFY DCWATER ONE WEEK PRIOR TO START OF CONSTRUCTION, UTILITY INSPECTION SECTION AT 202-787-4400, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-3624 OR 3629.
B. DEVELOPERS, CONTRACTORS, AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWATER INSPECTORS FOR REVIEW AND APPROVAL. UPON COMPLETION OF NEW UTILITIES IN PUBLIC SPACE, AFFILIANT MUST SUBMIT THESE DRAWINGS. AS-BUILT DRAWINGS MUST SHOW DIMENSION, ELEVATION, RELOCATION OF ANY DONOR UTILITY, AND PERTINENT INFORMATION.
C. ONCE THE DCWATER INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVE., S.W., 5TH FLOOR.
- ALL NEW WORK MUST BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF PUBLIC WORKS (DCPW), AND THE DISTRICT OF COLUMBIA WATER AND SEWER AUTHORITY (DCWATER).

VIKA CAPITOL
REVISIONS



BZA SUBMISSION
09-30-2011
DATE: SEPT. 27, 2011
DES: SC DWN: CAD
SCALE: 1"=10'
PROJECT/FILE NO.: 0116A
SHEET NO.: C-2



PROJECT NARRATIVE

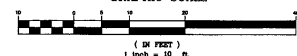
THE PROPOSED PROJECT WILL CONSIST OF THE DEMOLITION OF THE EXISTING BUILDING (1328 14TH STREET N.W.) AND THE EXISTING PARKING AREA. IN ITS PLACE, A NEW 4-STORY RETAIL/RESIDENTIAL BUILDING WITH UNDERGROUND PARKING WILL BE CONSTRUCTED. THE EXISTING DOMESTIC WATER SERVICE WILL REMAIN AND NEW FIRE, SEWER AND STORM DRAIN UTILITIES WILL BE CONSTRUCTED. ALL NEW UTILITIES WILL MEET THE DISTRICT'S CURRENT CONSTRUCTION REQUIREMENTS.

GENERAL ROADWAY PAVING CONSTRUCTION NOTES

- ALL ROADWAY WORK WILL BE PERFORMED IN ACCORDANCE WITH DODOT STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UTILITIES WILL BE ADJUSTED TO GRADE AS NECESSARY BY THE CONTRACTOR.
- STABLE SUBGRADE IS DEFINED AS THAT SOLID, UNDISTURBED EARTH CAPABLE OF SUPPORTING STREET LOADING WITHOUT DAMAGING SETTLEMENT AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- WHERE UNSTABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE MADE STABLE BY COMPACTION OR REPLACEMENT, AS REQUIRED.
- CONTRACTOR TO PROVIDE ROADWAY UNDERDRAINS PER GEOTECHNICAL DIRECTION IF REQUIRED.



GRAPHIC SCALE



LEGEND

CABLE TELEVISION CONDUIT	SANITARY CLEANOUT	CONC. CONCRETE
ELECTRICAL CONDUIT	STORM DRAIN MANHOLE	C&G CURB AND GUTTER
EDGE OF PAVEMENT	ELECTRICAL JUNCTION BOX	BUILDING
FENCE LINE	ELECTRICAL MANHOLE	STY. STORY
NATURAL GAS CONDUIT	FIRE DEPARTMENT CONNECTION	ASPH. ASPHALT
OVERHEAD WIRES	FIRE HYDRANT	EASIMENT
TELEPHONE/COMMUNICATIONS CONDUIT	GAS MANHOLE	REINFORCED CONCRETE PIPE
PROPERTY LINES	GUY POLE	CMR CORRUGATED METAL PIPE
PUBLIC UTILITIES EASEMENTS	GAS VALVE	BUILDING RESTRICTION LINE
SANITARY SEWER CONDUIT	LIGHT POLE	R/W RIGHT-OF-WAY
STORM DRAIN CONDUIT	PHONE PEDestal	
WATER CONDUIT	PHONE MANHOLE	
	UTILITY POLE	
	WOOD POST	
	INLETS	
	CURB INLET	

ENGINEERS ★ **PLANNERS** ★ **CAPITOL** ★ **LANDSCAPE ARCHITECTS** ★ **ENVIRONMENTAL** ★ **CONSTRUCTION SERVICES**

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VIKA CAPITOL
REVISIONS

SHEET NO. C-3

