



ADVISORY NEIGHBORHOOD COMMISSION 2F
Government of the District of Columbia
5 Thomas Circle, NW, Washington, D.C. 20005
Telephone: (202) 667-0052 Fax: (202) 667-0053 www.anc2f.org

Commissioners

2F01 Charles Reed
2F02 Nick Barron, *Secretary*
2F03 Samuel Goekjian, *Treasurer*
2F04 Matt Raymond, *Vice Chairman*
2F05 Matt Connolly
2F06 Michael Benardo, *Chairman*
Jennifer Dusek, *Executive Director*

Writer's direct contact:
Mike Benardo
anc2f06@gmail.com
(202) 425-7503

February 16, 2012

(Via email only to bzasubmissions@dc.gov)

Board of Zoning Adjustment
441 4th Street, NW
Room 210S
Washington, D.C. 20001

RECEIVED
U.C. OFFICE OF ZONING
2012 FEB 16 PM 2:02

Re: BZA Case No. 18313
1326 & 1334 14th Street, N.W.
Square 211, Lots 864 and 867

Dear Members of the Board:

On February 1, 2012, at its regularly scheduled and duly noticed public meeting, at which a quorum was present and acting throughout, Advisory Neighborhood Commission 2F ("ANC 2F") voted unanimously (6-0) to support Board of Zoning Adjustment ("BZA") application number 18313 of 14th Street Apartments, on behalf of Irwin Edlavitch ("the Applicant").

The application comprises area variances from the off-street parking, compact parking space, and loading requirements, and special-exception relief for multiple roof structures with walls of unequal height, not meeting the setback requirements, to allow the construction of a new residential building with ground-floor retail use in the ARTS/C-3-A District.

ANC 2F supports the requested relief and finds that the Applicant has demonstrated that the property is affected by an exceptional situation and condition due to the site's dimensions, its adjacency to historic buildings to the north and south, the site's location in the 14th Street Historic District, and the specific design requirements imposed because of such locations.

ANC 2F finds that the Applicant has demonstrated that because of the relative shallowness of the site, it would be practically difficult for the Applicant to increase the number of proposed parking spaces or to construct more than one level of below-grade parking. Because of the dimensions of the site, the ramp required to access multiple levels of below-grade parking would have a very steep slope, and it would be very difficult to provide code-compliant turn radii

Serving Logan Circle, Thomas Circle, Old City, Blagden Alley, Franklin Square, and parts of Shaw and Downtown

BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 18313
EXHIBIT NO. 23

Board of Zoning Adjustment
District of Columbia
CASE NO. 18313
EXHIBIT NO. 23

for maneuvering in any additional levels of parking. Moreover, ANC 2F believes that providing more compact spaces than the regulations authorize is a reasonable solution for increasing the number of useable parking spaces in the garage.

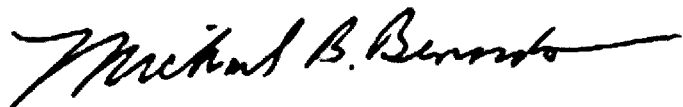
With respect to the requested loading relief, the Applicant demonstrated that because of the narrowness of the alley behind the proposed development, it would be infeasible for a 55-foot tractor trailer to navigate the existing public alley system to access the proposed loading facilities. ANC 2F believes the Applicant's proposal to provide a 30-foot berth is a realistic solution for trucks to access the site. The Applicant also demonstrated that increasing the size of the proposed loading facilities would adversely impact the layout of the proposed ground floor of the building and would decrease the amount of proposed retail, which is a desired use in the historic district.

ANC 2F believes that approval of the project as proposed, and the requested area variances, will not have any adverse impacts on the neighborhood, and that construction of the Applicant's proposed residential building will significantly contribute to the vibrancy of the neighborhood, while supporting the city's goals for this area, which include developing mixed uses along transit corridors and promoting travel options other than driving.

ANC 2F also finds that the Applicant presented a thorough analysis of how it meets the special-exception standards for roof structure relief, and that the proposed roof structures have been designed to help provide adequate light and air, and to reduce the bulk and visibility of the penthouses from the surrounding areas.

ANC 2F therefore urges the Board, pursuant to District of Columbia Code §1-309.10, to accord great weight to its advice and grant the above-referenced variance and special exception relief so that the proposed development may proceed forward.

Respectfully submitted,

A handwritten signature in black ink, reading "Michael B. Benardo". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Mike Benardo
Chairman, ANC 2F

cc: (Via Email Only)
ANC 2F Commissioners
Jennifer Dusek, executive director, ANC 2F
Kyrus Freeman