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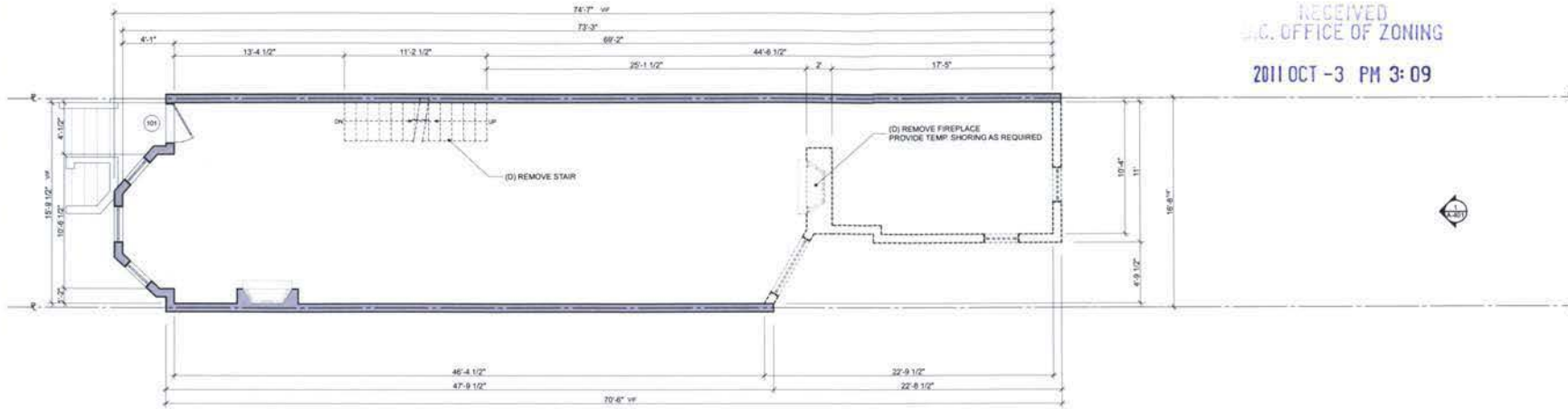
2011 OCT -3 PM 3: 09



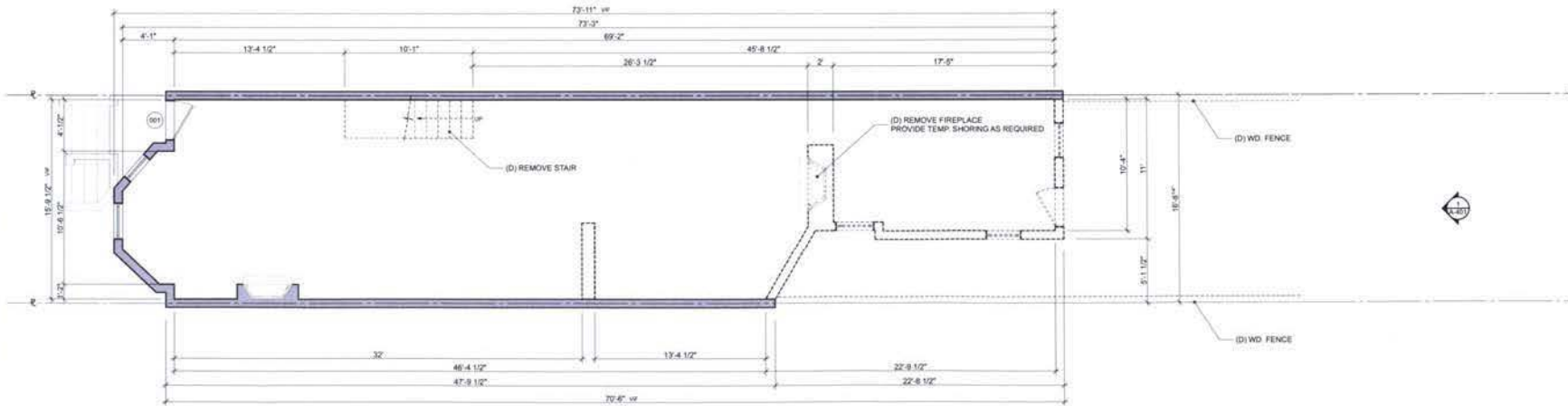
KUBEarchitecture

1777 Church St. NW
Washington DC 20009
202.986.0573
202.986.0574

Drawn By: BB
Checked By: JB



1 Demolition Plan: First Floor
SCALE 1/4" = 1'-0"



2 Demolition Plan: Basement
SCALE 1/4" = 1'-0"

General Demolition Notes

1. The Contractor shall survey the existing premises prior to submission of bid and report to Owner/Architect any latent field conditions that may affect the Contractor's means and methods to perform the work per these Contract Documents.
2. The Contractor shall contact the Building Owner and obtain the Landlord's Building Rules and Regulations. The Contractor's bid and subsequent performance shall be in full compliance with these rules and regulations without exception.
3. All electrical mechanical and life safety devices are to be protected during the construction of this project. Refer to the MEP drawings for the extent of demolition or relocation of existing building systems.

4. Building perimeter window elements within scope of work area (curtain wall, glass railings, etc.) shall be protected during the construction of the work.
5. No mechanical fasteners are permitted through any of the curtain wall elements including railings and sills.
6. UNO, all existing wood flooring, floor tile and wall base to be removed. Sub floor to be patched and prepared to receive scheduled flooring.

7. All GWT partitions within Scope of Work area UNO to be taped, spackled, cleaned and prepared for proposed construction and to receive scheduled finishes.
8. Protect and storage all diffusers and special HVAC devices to be reused as indicated on MEP Plan.
9. All window treatments (blinds) are by Landlord. Protect during construction. GC to survey premises prior to modification and identify and report to Architect/Owner any damaged window treatments.

Demolition Plan Legend

- Fill indicates existing wall to remain
- Dashed line indicates existing wall to be demolished

BOARD OF ZONING ADJUSTMENT

CASE NO. 18312

EXHIBIT NO. CASE NO.18312

Board of Zoning Adjustment
District of Columbia
CASE NO.18312
EXHIBIT NO.9

Irving Street
1341 Irving Street NW
Washington, DC 20010



A-301

Demolition Plan:
Basement, First
Floor

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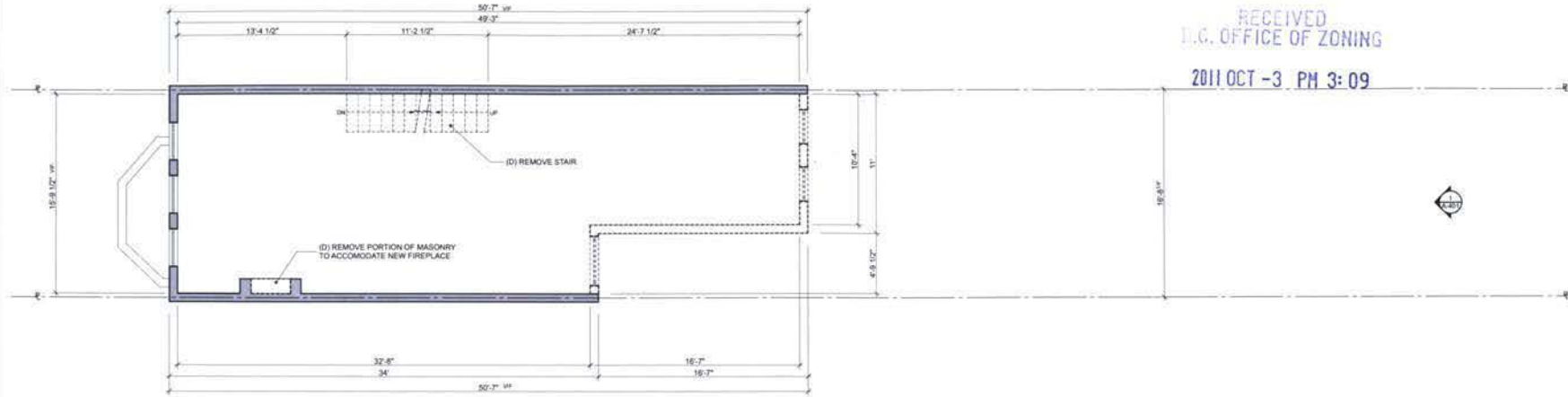
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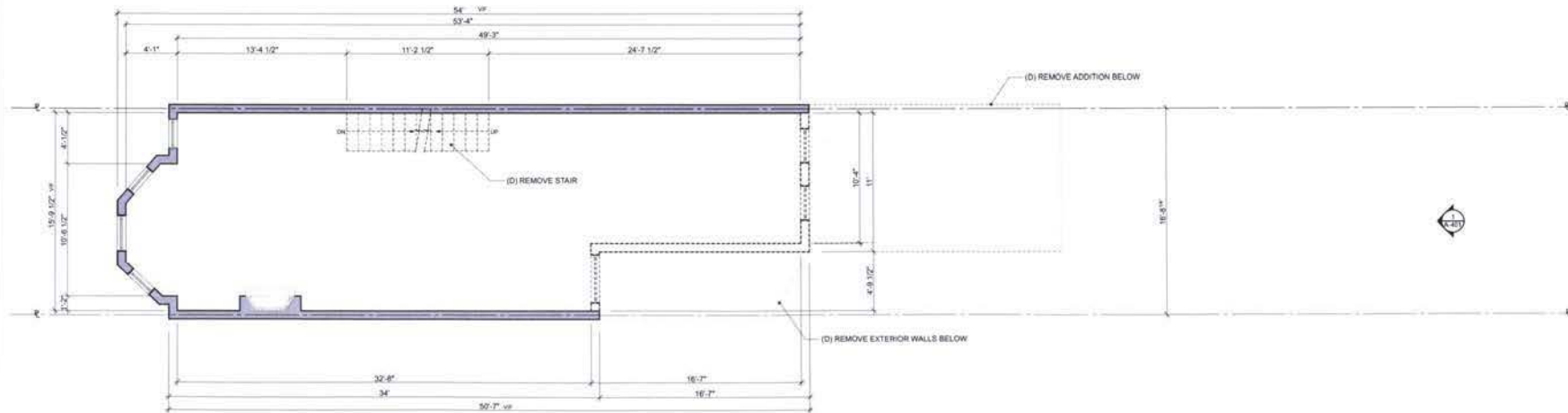


A-302

Demolition Plan:
Second Floor/
Third Floor



1 Demolition Plan: Third Floor
SCALE 1/4" = 1'-0"



2 Demolition Plan: Second Floor
SCALE 1/4" = 1'-0"

General Demolition Notes

1. The Contractor shall survey the existing premises prior to submission of bid and report to Owner/Architect any patent field conditions that may affect the Contractor's means and methods to perform the work per these Contract Documents.
2. The Contractor shall contact the Building Owner and obtain the Landlord's Building Rules and Regulations. The Contractor's bid and subsequent performance shall be in full compliance with these rules and regulations without exception.
3. All electrical mechanical and life safety devices are to be protected during the construction of this project. Refer to the MEP drawings for the extent of demolition or relocation of existing building systems.

4. Building perimeter window elements within scope of work area (curtain wall, exit railings, etc.) shall be protected during the construction of the work.
5. No mechanical fasteners are permitted through any of the curtain wall elements including railings and sills.

6. (UNO) all existing wood flooring, floor tile and wall base to be removed. Sub floor to be patched and prepared to receive scheduled flooring.

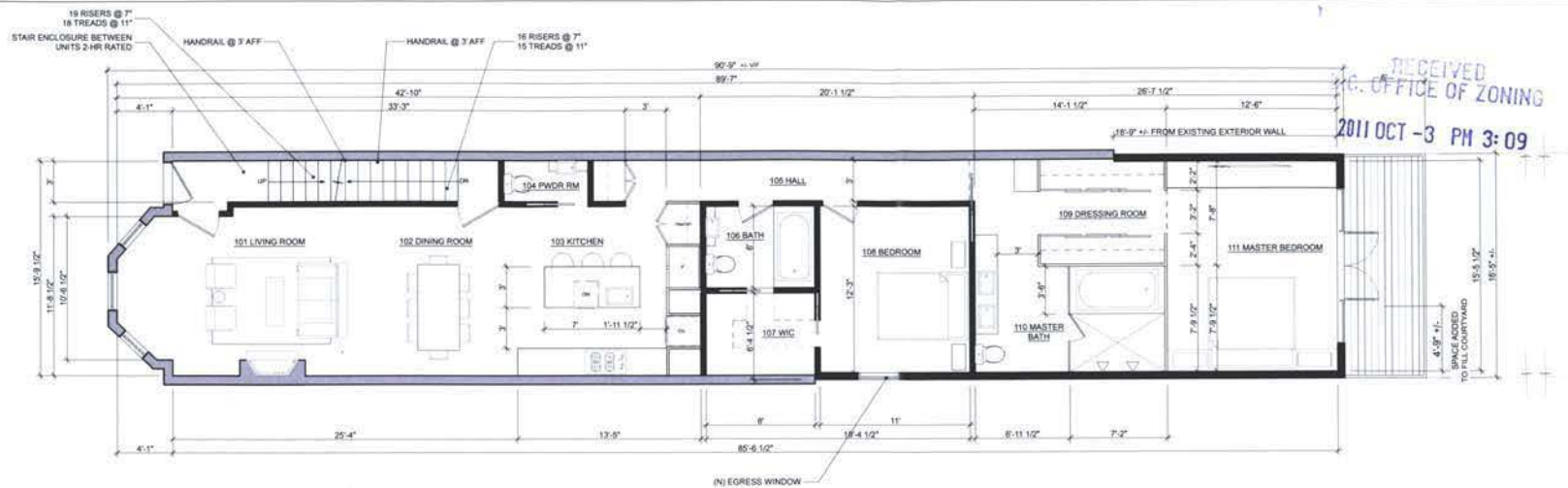
7. All GWB partitions within Scope of Work area should be taped, spackled, cleaned and prepared for proposed construction and to receive scheduled frames.

8. Protect and storage all diffusers and special HVAC devices to be reused as indicated on MEP Plan.

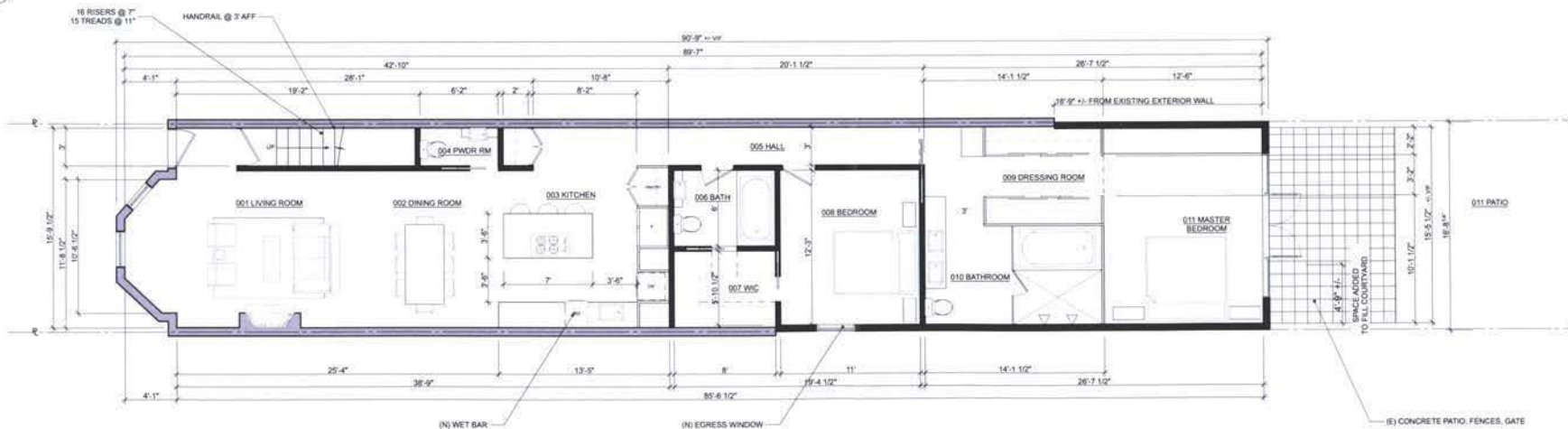
9. All window treatments (blinds) are by Landlord. Protect during construction. GC to survey premises prior to mobilization and identify and report to Architect/Owner any damaged window treatments.

Demolition Plan Legend

- Fill indicates existing wall to remain.
- Dashed line indicates existing wall to be demolished.



1 Plan: First Floor - Unit B
SCALE 1/4" = 1'-0"



2 Plan: Basement - Unit A
SCALE 1/4" = 1'-0"

General Construction Notes

1. All partitions should be clean and prepared for proposed tenant construction per review of Architect and General Contractor. All areas are scheduled originally or currently with gypsum board should be paint ready.
2. Alignment of door heads and other critical horizontal elements shall be maintained at a consistent level relative to the ceiling plane, and shall not follow variations in floor plane.
3. GC to notify Architect of date for partition layout. Layout to be approved by Architect before beginning construction. Two working day notice required. All GWB ceiling must be installed in basements (on floor) using different color than partition divisions.
4. All partitions joints shall be scribed, taped and sanded smooth with no visible joints.
5. All exterior corners of gypsum board shall have metal corner beads (screwed type) UNO.
6. All dimensions are shown from finish face of construction, UNO.
7. Dimensions indicated to be "clear" or "net" shall be maintained. Any discrepancies or variations in these dimensions shall be reviewed with the Architect before beginning construction.
8. Any dimensions noted "verify" of "V" shall be reviewed with the Architect before beginning construction.
9. Provide tracing to the floor above at all door joints.
10. Provide additional studs as required to achieve outlet groupings. Coordinate with engineering drawings.
11. At all network locations, GC to install fire-retardant or non-combustible in wall blocking as required. See interior elevations for extent of network.
12. Do not scale from this plan. Contact Architect should you require dimensional information.
13. At locations of GWB ceilings and bulkheads (see RCP) GC to refer to light fixtures cut sheets and specifications to ensure proper size rough cuts is created for proper installation of light fixture housing, flame-in kits, trim, etc.

Plan Legend

- For indicates existing wall to remain.
- For indicates new wall construction.



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Drawn By: BJS
Checked By: JH

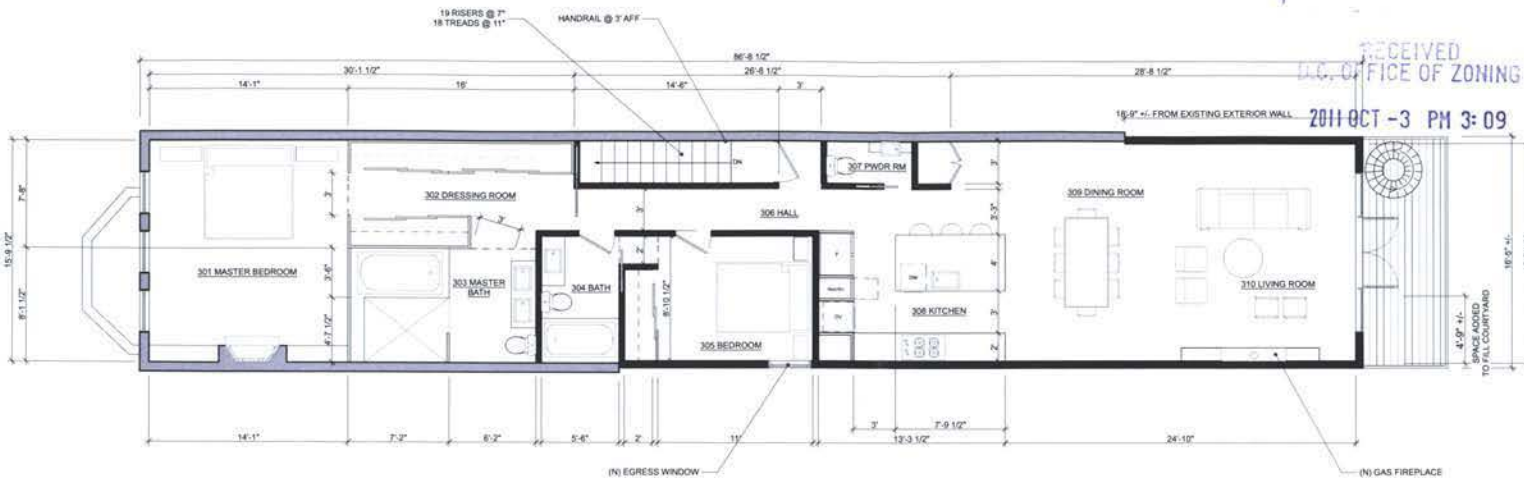
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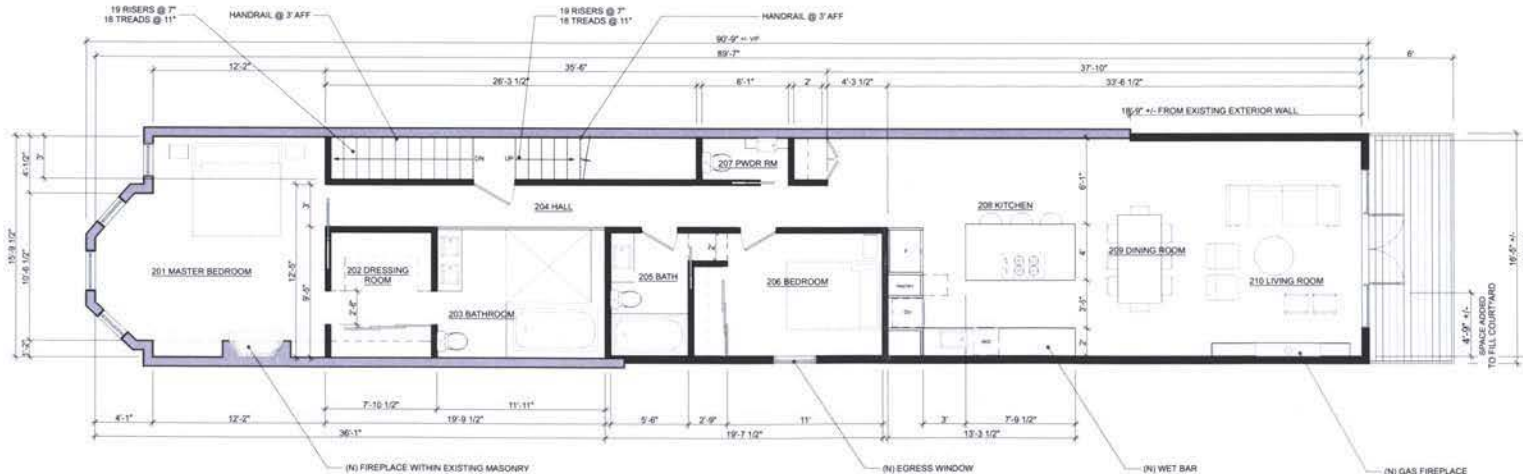


A-303

Plan: Basement,
First Floor



1 Plan: Third Floor - Unit D
SCALE: 1/4" = 1'-0"



2 Plan: Second Floor - Unit C
SCALE: 1/4" = 1'-0"

General Construction Notes

1. All partitions should be clean and prepared for proposed tenant construction per review of Architect and General Contractor. All areas tent are scheduled originally or currently with gypsum board should be sand ready.
2. Alignment of door heads and other critical horizontal elements shall be maintained at a constant level relative to the ceiling plane, and shall not follow variations in floor plane.
3. GC to notify Architect of date for partition layout. Layout to be approved by Architect before beginning construction. Two working day notice required. All GWB ceiling must be included in layout (on floor) using different color than partition chalkline.
4. All partitions joints shall be scribed, taped and sanded smooth with no visible joints.
5. All exterior corners of gypsum board shall have metal corner beads (screwed type) UNO.
6. All dimensions are shown from: Finish face of construction, UNO.
7. Dimensions indicated to be "less" or "less" shall be maintained. Any discrepancies or variations in these dimensions shall be reviewed with the Architect before beginning construction.
8. Any dimensions noted "verify" of "V/F" must be reviewed with the Architect before beginning construction.
9. Provide bracing to the deck above all at door jams.

10. Provide additional studs as required to achieve notch groupings. Coordinate with engineering drawings.
11. At all network locations, GC to install fire-retardant or non-combustible in wall blocking as required. See interior elevations for extent of network.
12. Do not locate from this plan. Contact Architect should you require dimensional information.
13. At locations of GWB ceilings and bulkheads (see RCP) GC to refer to light fixtures submittals and specifications to insure proper size rough cut is created for proper installation of light fixture housing. Refer to M.A. T.M., etc.

Plan Legend

- Fill indicates existing wall to remain
- Fill indicates new wall construction



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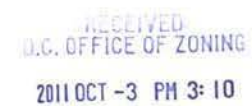
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Irving Street
1341 Irving Street NW
Washington, DC 20010



A-304

Plan: Second,
Third Floor



Drawn By: BB
Checked By: JB

1 Demolition Elevation: Rear
SCALE 1/4" = 1'-0"



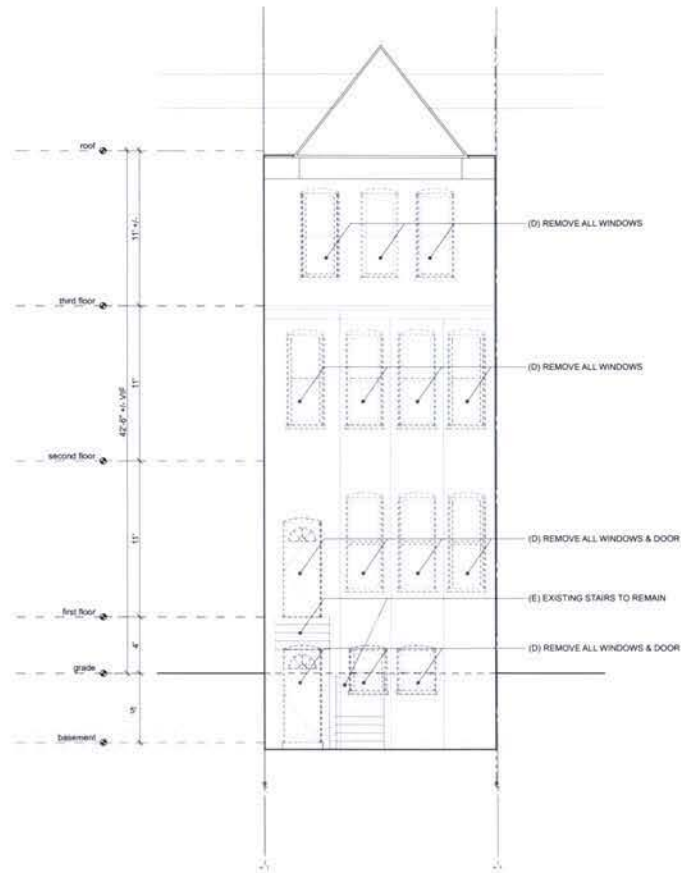
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A-401

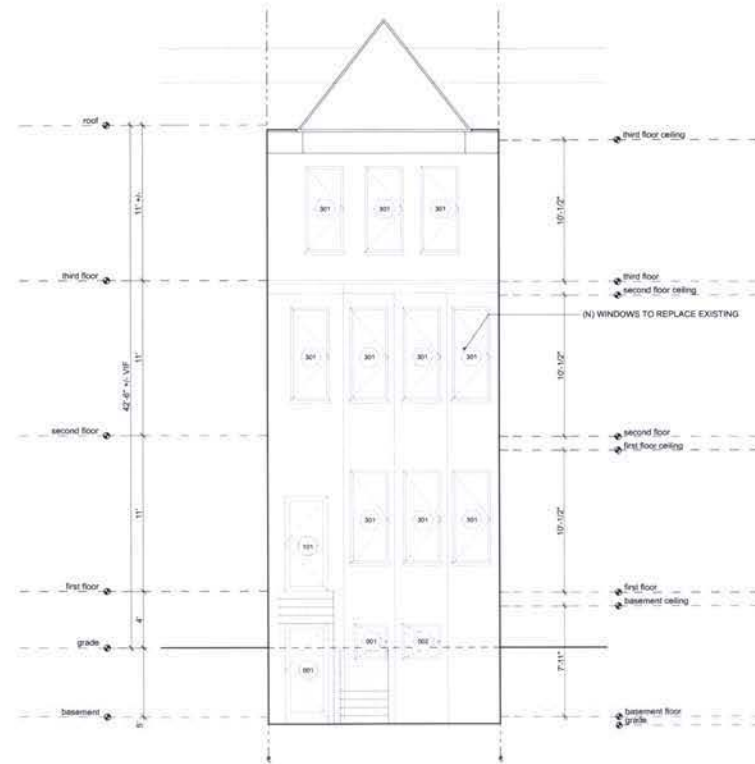
Elevation: North

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1 Demolition Elevation: Front
SCALE 1/4" = 1'-0"



2 New Elevation: Front
SCALE 1/4" = 1'-0"



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Drawn By: RB
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Irving Street
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Washington, DC 20010

A-402

Elevation: South



Drawn By: BBS
Checked By: JBS

[illegible]

Irving Street
1341 Irving Street NW
Washington, DC 20010

Longitudinal
Section



1 Long Section
SCALE 1/4" = 1'-0"



View of properties to the North



Adjacent property to the south across Irving Street



View from the front of the subject property toward 14th Street



Other properties across Irving Street



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Irving Street
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PHOTOS
1



Adjacent properties to the northwest



Adjacent properties to the north



Adjacent properties to the northeast



View west from the back alley directly behind the subject property



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PHOTOS

2



Property to the west, from the rear of the subject property



Existing sub-flooring



Rear of Building



Property to the east, from the rear of the subject property



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PHOTOS
3

