



P.O. Box 288
Washington, D.C. 20001
(202) 874-4118
www.troutarchitecture.com

Office:
3115 Woodley Park, NW
Washington, D.C. 20018
(202) 971-1029
Fax: (202) 682-1091

COVER SHEET
SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence
4602DC

1 March 2011
27 June 2011

PROJECT DESCRIPTION

New sitting room addition w/ screened porch below @ east elevation.
New storage shed addition w/ slab on grade @ south (rear) elevation.
New retaining wall and steps @ east elevation.

Maloney Residence

SIDE & REAR ADDITIONS & ALTERATIONS

4602 Fessenden Street NW
Washington, DC 20016

DRAWING INDEX

	COVER SHEET
G-1	CODE & ZONING INFORMATION, SITE PLAN
G-2	SEDIMENT & EROSION CONTROL NOTES
G-3	SEDIMENT & EROSION CONTROL NOTES
G-4	GENERAL NOTES & SPECIFICATIONS
G-5	GENERAL NOTES & SPECIFICATIONS
G-6	GENERAL NOTES & SPECIFICATIONS
G-7	GENERAL NOTES & SPECIFICATIONS
D-1.1	BASEMENT EXIST. / DEMO PLAN
D-1.2	FIRST FLOOR EXIST. / DEMO PLAN
A-1.1	BASEMENT FLOOR PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	SECOND FLOOR PLAN
A-2.1	NORTH ELEVATION
A-2.2	EAST ELEVATION
A-2.3	SOUTH ELEVATION
A-2.4	WEST ELEVATION
A-3.1	SECTION BB
A-3.2	SECTION AA
A-3.3	SECTION CC
A-3.4	SECTION DD
A-3.5	SECTION EE
A-4.1	ENLARGED SHED PLAN & SECTIONS
A-5.1	DETAILS
A-5.2	DETAILS
S-1	SCHEDULES & DIAGRAMS
S-2	STRUCTURAL FOUNDATION, 1ST FLR. & ROOF PLANS, NOTES
S-3	STRUCTURAL DETAILS
E-1.1	STRUCTURAL PLANS & DETAILS
E-1.2	BASEMENT ELECTRICAL PLAN
E-1.2	FIRST FLOOR ELECTRICAL PLAN



Board of Zoning Adjustment
District of Columbia
CASE NO.18301
EXHIBIT NO.7

BOARD OF ZONING ADJUSTMENT

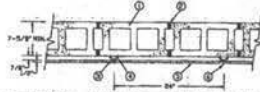
CASE NO. 18301

EXHIBIT NO. 7

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FIRE RATING OF FIRE SEPARATION ASSEMBLIES

Design No. U914
 Bearing Wall Rating - 3 HR
 Nonbearing Wall Rating - 3 HR
 Lead Restricted for Canadian Applications - See Guide BXUV7



- Concrete Blocks - Various designs. Classification D-2 (2 hr), See Concrete Blocks category for list of eligible manufacturers.
- Mortar - Blocks laid in full bed of mortar, none 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 10 percent hydrated lime (by cement volume). Vertical joints staggered.
- Furring Channels - Min 0.019 in. thick (25 gauge) galv steel, 1-3/8 in. wide on top and 2-3/4 in. wide at bottom by 7/8 in. deep. Spaced 24 in. OC perpendicular to floor with a channel parallel to and approximately 3 in. above floor and 3 in. below ceiling. Clearance between vertical and horizontal channels 1/2 in.
- Channel Fasteners - 1-1/4 in. long masonry screws with 3/16 in. body and 5/16 in. diameter head. Fasteners spaced 24 in. O.C. with the fasteners staggered on each long leg of the furring channel.
- Steel Framing Members* - (Not Shown) - Alternate method used to attach furring channels (Item 3) to concrete blocks (Item 1). Clips spaced 48 in. OC, and secured to blocks with 1/4 in. dia. by 3 in. long concrete expansion anchor (Item 4B) through the center grommet. Ends of adjoining channels are overlapped 4 in. and fast together with double strand of No. 28 SWG galv steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 4 in. and secured together with two self-tapping #6 framing screws, min. 7/16 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Furring channels are friction fitted into clips.
- FAC INTERNATIONAL INC. - Type RSC-1.
- Concrete Expansion Anchor - (Not Shown) - 1/4 in. dia. by 3 in. long carbon steel, pre-assembled, nut drive expansion anchor with mushroom head driven into the web of the concrete block. Min. embedment in concrete block of 1-3/8 in. and evaluated in accordance with ASTM E 488 to have ultimate load capacity of 900 lb (tension) and 1400 lbs (shear) when used in 2000 psi concrete.
- Gypsum Board* - 1/2 in. thick, 4 ft wide, secured to furring channels with wallboard fasteners (Item 6). Gypsum plaster not more than 1/16 in. thick may be applied to wallboard in addition to joint treatment.
- AMERICAN GYPSUM CO. - Type AG-C.
- CERTAINTED GYPSUM INC. - Proflex Type C.
- CERTAINTED GYPSUM CANADA INC. - Proflex Type C.
- CANADIAN GYPSUM COMPANY - Types C, B-32, IPC-A.
- GEORGIA-PACIFIC GYPSUM L.L.C. - Types S, DAPC.
- LAFARGE NORTH AMERICA INC. - Type LGPC-C, LGPC-C/A.
- NATIONAL GYPSUM CO. - Type RSC-C, RSC-C, RSC-C.
- PABCO BUILDING PRODUCTS L.L.C. DPA.
- PABCO GYPSUM - Type PG-C.
- PANTEL KEY 8 A - Type PSC.
- TEMPLE-ISLAND - Type TC-C.
- UNITED STATES GYPSUM CO. - Types C, B-32, IPC-A.
- USG MEXICO S.A. DE C.V. - Types C, B-32, IPC-A.
- Gypsum Board* - (As an alternate to Item 5) - 5/8 in. thick, installed as described in Item 5.
- NATIONAL GYPSUM CO. - Type RSC-C.
- Wallboard Fasteners - 1 in. long, self-drilling, self-tapping steel screws with bugle heads. Fasteners attached to each furring channel and spaced 8 in. OC at butt joints and 12 in. OC in the field of the board parallel with furring channels. Clearance between fasteners and edges of wallboard 3/4 in.
- Joint System - (Not shown) - Paper tape embedded in continuous compound over joints. Paper tape and exposed screw heads covered with two layers of compound. Edges of compound finished out.

*Bearing the UL Classification Mark

BUILDING CODE ANALYSIS

NUMBER OF STORIES BELOW GRADE: 1
 NUMBER OF STORIES ABOVE GRADE: 2
 GROSS AREA OF FLOOR IN SQUARE FEET: 1,052 SF
 USE GROUP: R-3 (Single family dwelling) (IBC/Section 303)
 CONSTRUCTION TYPE: II-B
 SPRINKLER SYSTEM EACH FLOOR: NO
 FIRE ALARM SYSTEM EACH FLOOR: YES

BUILDING STRUCTURAL SYSTEM ELEMENTS:

STRUCTURAL FRAME: WOOD FRAME CONSTRUCTION
 EXTERIOR AND INTERIOR BEARING AND NON-BEARING WALLS: WOOD FRAME CONSTRUCTION/CONCRETE BLOCK
 FOUNDATION: WOOD FRAME CONSTRUCTION
 FLOOR & ROOF CONSTRUCTION/FRAMING: WOOD FRAME CONSTRUCTION

FIRE RATING OF BUILDING STRUCTURAL ELEMENTS (IBC 2006 / TABLE 601 AND 602):

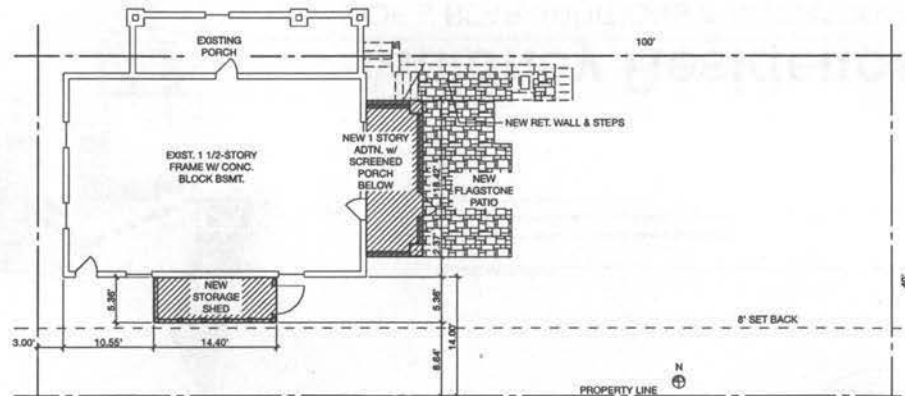
BUILDING ELEMENTS:	CONSTRUCTION TYPE II-B
STRUCTURAL FRAME:	0 HRS
BEARING WALLS:	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
NON BEARING WALLS & PARTITIONS (EXTERIOR)	0 HRS
NON BEARING WALLS & PARTITIONS (INTERIOR)	0 HRS
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	0 HRS
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	0 HRS

ICC 2006 SERIES OF CODES

BUILDING: 2006 ICC INTERNATIONAL RESIDENTIAL CODE (IRC)
 DCMR12B-2006 BUILDING CODE SUPPLEMENT

ZONING INFORMATION

Square	1544
Lot	70
Lot Size	4,000 SF
Zone	R-1-B
Existing Use	One-family detached dwelling
Proposed Use	One-family detached dwelling
FAR allowed	none prescribed
Lot Occupancy Allowed	40% (1,600 sq ft)
Existing Lot Occupancy	26.5% (1,052 sq ft)
Proposed Lot Occupancy	31.28% (1,251 sq ft)
Existing Building Height	21'-0"
Proposed Building Height	21'-0"
Rear Yard Set Back	25 ft
Side Yard Set Back	8 ft



SITE PLAN

1" = 10'



1110 3RD ST SW
 WASHINGTON, DC 20004
 PHONE: 202.462.1118
 FAX: 202.462.1091
 WWW.TROUTARCHITECTS.COM

Office's

8112 HADLEY COURT, NW
 WASHINGTON, DC 20012
 PHONE: 202.462.1118
 FAX: 202.462.1091
 WWW.TROUTARCHITECTS.COM

CODE & ZONING INFORMATION, SITE PLAN

Maloney Residence

1 March 2011

G-1

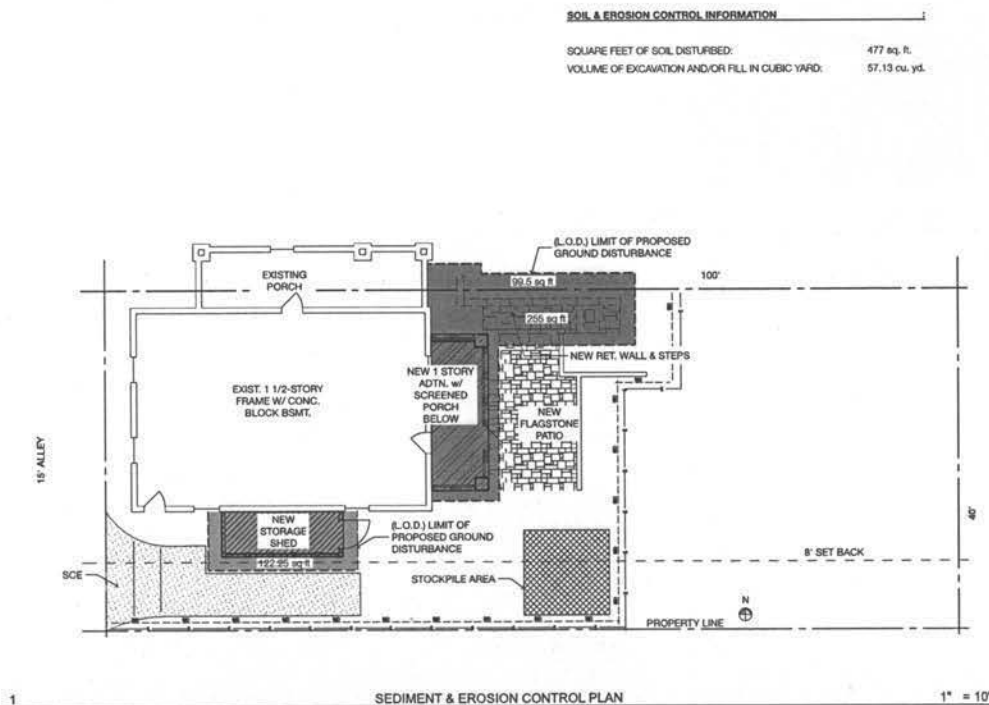
SIDE & REAR ADDITIONS & ALTERATIONS

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LIST OF STANDARD SYMBOLS

EARTH DIKE	A-2 / B-3
STRAW BALE DIKE	SBD
SILT FENCE	S
TEMPORARY SWALE	A-2 / B-3
STABILIZED CONSTRUCTION ENTRANCE	SCE
GRADE STABILIZATION STRUCTURE	GSS-2 PSD-12
PIPE SLOPE DRAIN	GSS-3 PSD-12
PERIMETER DIKE/SWALE	
INLET PROTECTION	
DIVERSION	
GRASSED WATERWAY	
LINED WATERWAY	
BACK OUTLET PROTECTION	
SUBTERRANEAN DRAIN	

EROSION CONTROL NOTES

- A sediment and erosion control method shall be installed before the start of any excavation and/or construction as per Standards and Specifications for Soil Erosion and Sediment Control for the District of Columbia. If an on-site inspection reveals further erosion control measures are necessary, the same shall be provided.
- All debris is to be removed from site.
- Alley and/or streets / sidewalks shall be swept clean at all times during excavation and construction.
- All catch basins and drain areas shall be protected during excavation and construction.
- If any catch basins or drains become clogged as a result of excavation or construction the contractor shall be responsible for its cleaning.
- When sediment trap/sediment tank has reached 67% capacity, clean out of same is required.
- Any stockpiling, regardless of location shall be stabilized and covered with plastic or canvas, after its establishment and for duration of the project.
- After Raze or Demolition, there is the need for groundcover to prevent erosion and sediment runoff from occurring. Such as seed, sod, pave, brickbat or mulch, etc.



Trout Design, Inc.
3112 Maple Court, NW
Washington, DC 20007
(202) 455-6600
FAX: (202) 455-1091
www.troutdesign.com

SEDIMENT & EROSION CONTROL NOTES

Maloney Residence

SIDE & REAR ADDITIONS & ALTERATIONS

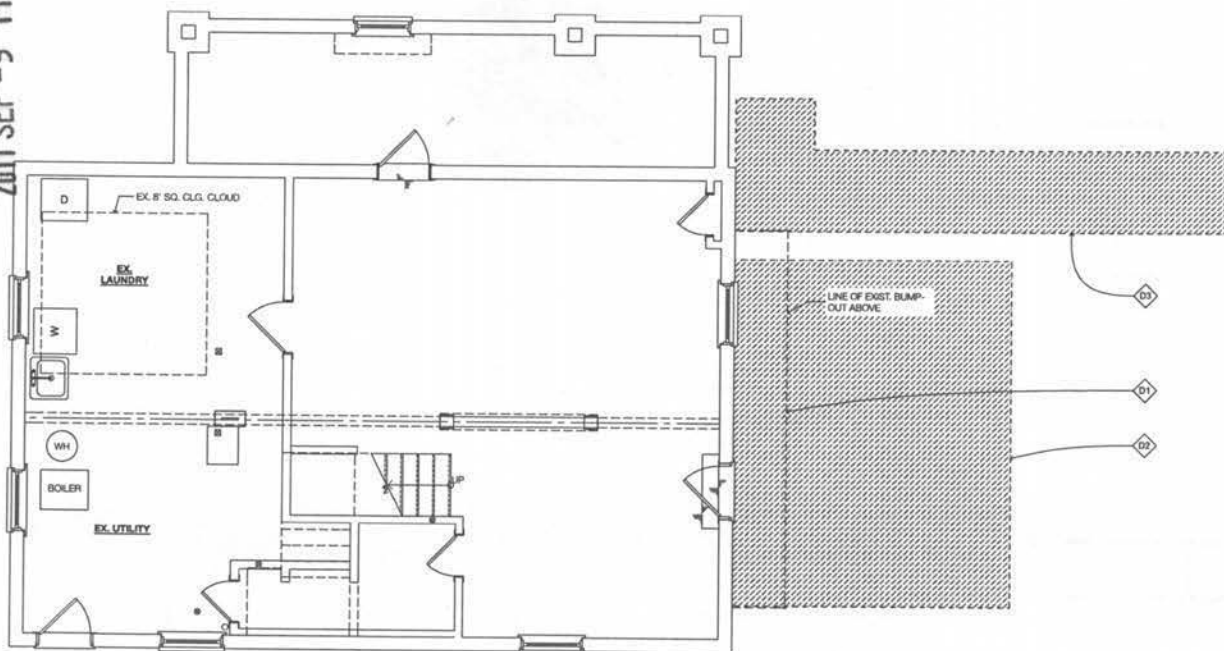
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G-3		

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Plan Specific Notes:

- D1 Existing "bump-out" and all related parts to be removed. Provide temporary & permanent support as required.
- D2 Existing conc. slab / patio to be removed. Prepare area for new conc. slab. Any existing conc. slab and/or related parts to be removed.
- D3 Area of site excavation for new retaining walls and related stairs. Coordinate with Architectural plans.



Office:
811 E. WOOD STREET, ONE
FLOOR UP
BETHESDA, MD 20814
PHONE: (301) 291-1234
FAX: (301) 291-1234
www.troutdesign.com

BASEMENT EXIST. / DEMO PLAN

SIDE & REAR ADDITIONS & ALTERATIONS

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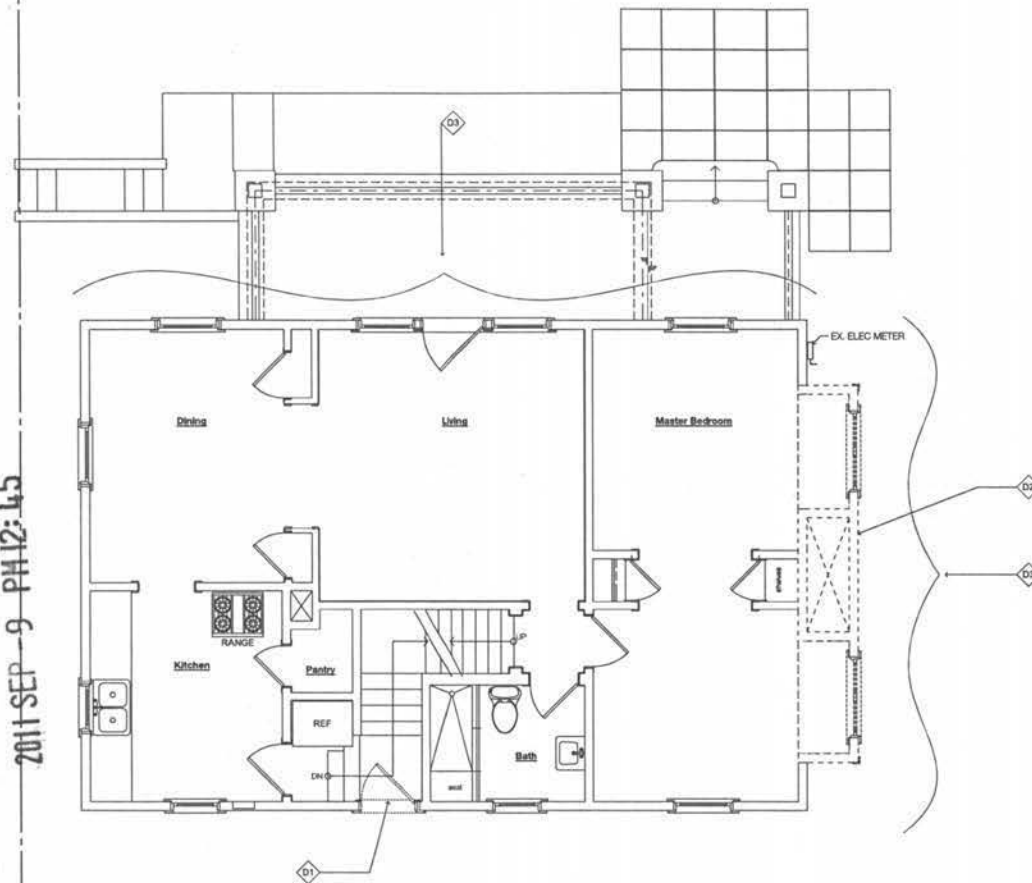
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Plan Specific Notes:

- D1 Existing exterior door to be modified and converted into a "Dutch" door.
- D2 Existing "bump-out" and all related parts to be removed. Provide temporary & permanent support as required.
- D3 Remove existing siding to expose original existing wood siding and trim on the north and east elevation.



8118 Woodbury Ave.
Washington, DC 20014
Tel: (202) 897-1118
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FIRST FLOOR EXIST. / DEMO PLAN

SIDE & REAR ADDITIONS & ALTERATIONS

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D-1.2

FIRST FLOOR EXIST. / DEMO PLAN

1/4" = 1'-0"

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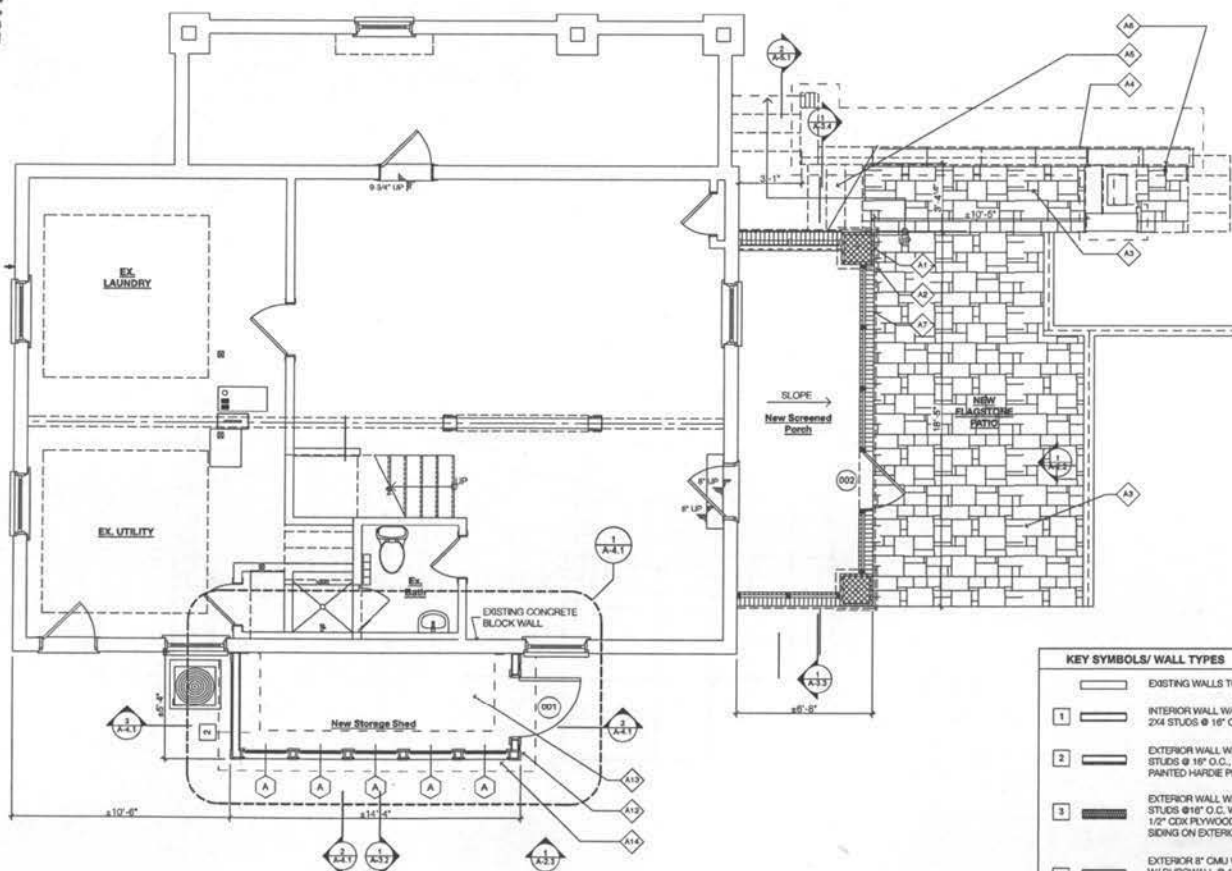
Trout
ARCHITECT
P.O. Box 248
Washington, DC 20007-0248
Tel: 202.248.1118
Fax: 202.248.1118
www.troutarchitect.com

Plan General Notes

1. All interior finishes shall have a Class C rating as per (IBC/Table 803.5)

Plan Specific Notes

- A1 16" x 16" CMU pier with stucco finish, (typ.) See structural drawings for details.
- A2 36" x 36" x 12" concrete footing, (typ.) See structural drawings for details.
- A3 Flagstone pavers on stone dust which must tie along edges for landscaping as indicated.
- A4 12" CMU retaining wall w/ brick veneer, see structural drawings for details.
- A5 Concrete stair with blue stone slabs and brick treads. See structural drawings for details.
- A6 Hose bib for garden.
- A7 Brick sill on conc. slab @ new screened porch.
- A8 Not Used.
- A9 Trim to match openings at bottom of stair, match thickness of existing joints.
- A10 Standing seam metal roof, slope 4:12.
- A11 Painted metal gutters and down spout to match existing.
- A12 8" CMU foundation walls on 24" x 12" concrete footing, typ. Coordinate with structural drawings for details.
- A13 4" concrete slab. Align concrete slab height with rear door step.
- A14 Exterior wall w/ 2 x 4 studs @ 16" O.C. w/ 1/2" APA Rated CDX plywood and Hardieplank siding to match existing.



KEY SYMBOLS/ WALL TYPES

- EXISTING WALLS TO REMAIN
- 1 INTERIOR WALL W/ 1/2" GWB BOTH SIDES, & 2X4 STUDS @ 16" O.C.
- 2 EXTERIOR WALL W/ 1/2" GWB ON INTERIOR SIDE, 2X4 STUDS @ 16" O.C. AND 1/2" CDX PLYWOOD W/ PAINTED HARDIE PLANK SIDING ON EXTERIOR SIDE.
- 3 EXTERIOR WALL W/ 1/2" GWB ON INTERIOR SIDE, 2X4 STUDS @ 16" O.C. W/ R-19 FOIL FACED BATT INSUL. & 1/2" CDX PLYWOOD W/ PAINTED HARDIE PLANK SIDING ON EXTERIOR SIDE.
- 4 EXTERIOR 8" CMU WALL 2-HR FIRE SEPARATION WALL W/ DURALUM @ 16" O.C. VERTICAL, 2x3 PURLING STRIPS W/ 1/2" GWB ON INTERIOR SIDE, 3/4" PORTLAND CEMENT STUCCO ON EXTERIOR SIDE

BASEMENT FLOOR PLAN

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

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BASEMENT FLOOR PLAN

1/4" = 1'-0"

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Trout's
P.O. Box 315
Washington, DC 20001
(202) 696-0600
FAX (202) 696-1081
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FIRST FLOOR PLAN

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

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1 March 2011

27 June 2011

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Plan General Notes

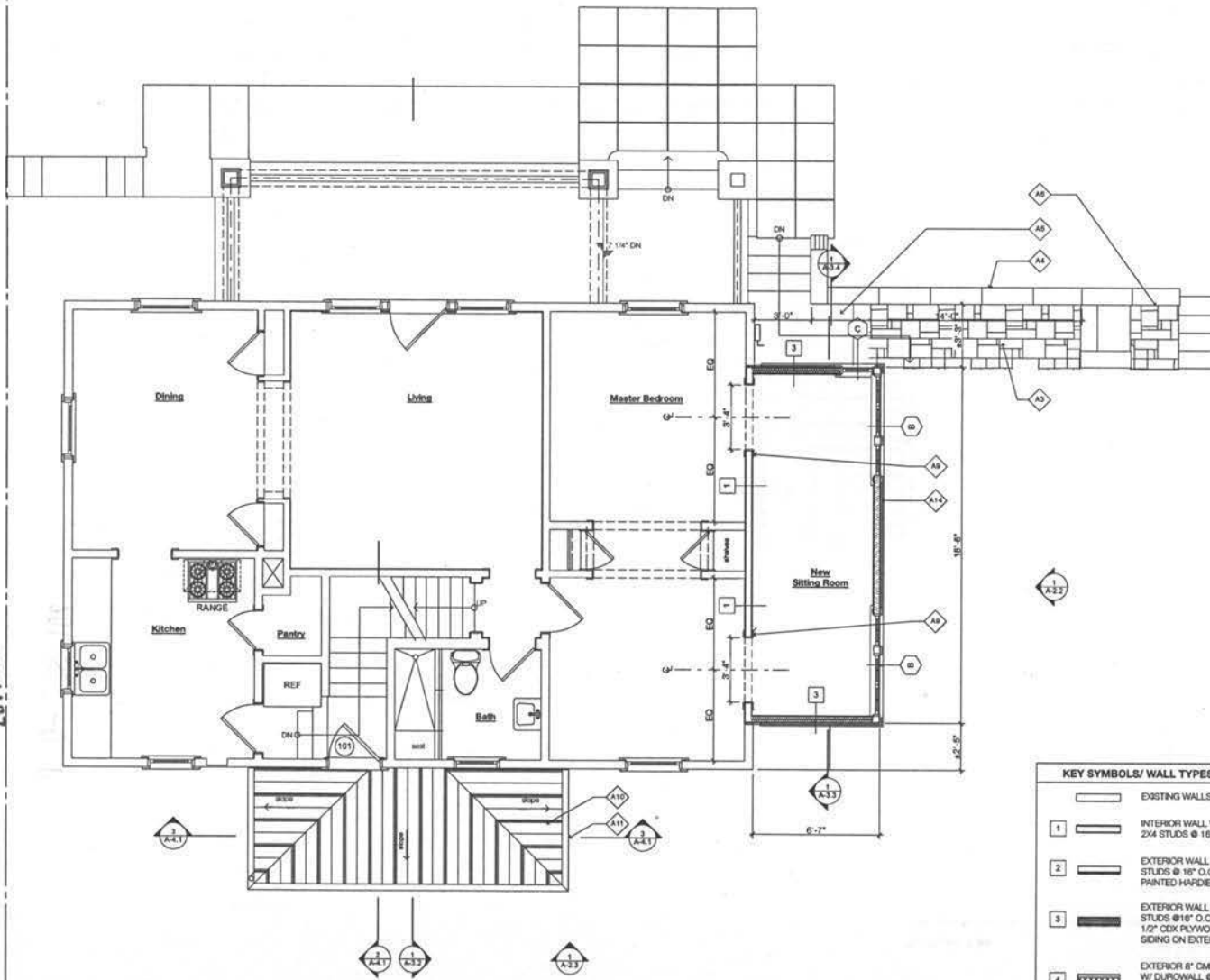
1. All interior finishes shall have a Class C rating as per (IBC/Table 603.5)

Plan Specific Notes

- ◆ A1 16" x 16" CMU pier with stucco finish, (typ.) See structural drawings for details.
- ◆ A2 36" x 36" x 12" concrete footing, (typ.) See structural drawings for details.
- ◆ A3 Flagstone pavers on stone dust w/ast road ties along edges for landscaping as indicated.
- ◆ A4 12" CMU retaining wall w/ brick veneer, see structural drawings for details.
- ◆ A5 Concrete stair with blue stone slabs and brick risers. See structural drawings for details.
- ◆ A6 Hose bib for garden.
- ◆ A7 Brick sill on conc. slab @ new screened porch.
- ◆ A8 Not Used.
- ◆ A9 Trim to match openings at bottom of stair, match thickness of existing joints.
- ◆ A10 Standing seam metal roof, slope 4:12.
- ◆ A11 Painted metal gutters and down spout to match existing.
- ◆ A12 8" CMU foundation walls on 24" x 12" concrete footing, typ. Coordinate with structural drawings for details.
- ◆ A13 4" concrete slab. Align concrete slab height with rear door step.
- ◆ A14 Exterior wall w/ 2 x 4 studs @ 16" O.C., w/ 1/2" APA Rated CDX plywood and Hardieplank siding to match existing.

KEY SYMBOLS/ WALL TYPES

- EXISTING WALLS TO REMAIN
- 1 INTERIOR WALL W/ 1/2" GWB BOTH SIDES, & 2X4 STUDS @ 16" O.C.
- 2 EXTERIOR WALL W/ 1/2" GWB ON INTERIOR SIDE, 2X4 STUDS @ 16" O.C., AND 1/2" CDX PLYWOOD W/ PAINTED HARDIE PLANK SIDING ON EXTERIOR SIDE.
- 3 EXTERIOR WALL W/ 1/2" GWB ON INTERIOR SIDE, 2X4 STUDS @ 16" O.C. W/ R-19 FOL FACED BATT INSUL. & 1/2" CDX PLYWOOD W/ PAINTED HARDIE PLANK SIDING ON EXTERIOR SIDE.
- 4 EXTERIOR 8" CMU WALL 2-HR FIRE SEPARATION WALL W/ DUROWALL @ 16" O.C. VERTICAL 2x6 FURRING STRIPS W/ 1/2" GWB ON INTERIOR SIDE, 3/4" PORTLAND CEMENT STUCCO ON EXTERIOR SIDE



FIRST FLOOR PLAN

1/4" = 1'-0"



OFFICE
P.O. Box 358
Washington, DC
20037-1309
Tel: (202) 899-1091
Fax: (202) 899-1091
www.troutarch.com

SECOND FLOOR PLAN

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

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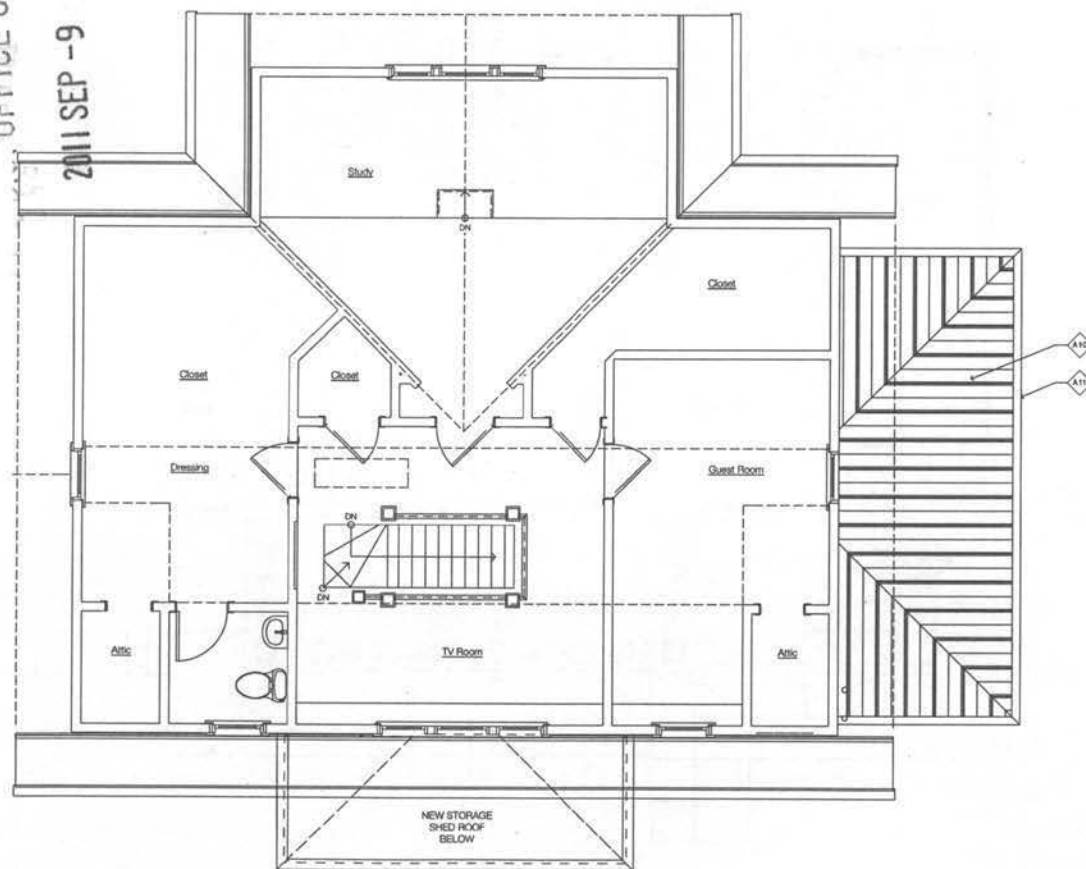
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Plan General Notes

1. All interior finishes shall have a Class C rating as per (IBC/Table 603.5)

Plan Specific Notes

- A1 16" x 16" CMU pier with stucco finish, (typ.) See structural drawings for details
- A2 36" x 36" x 12" concrete footing, (typ.) See structural drawings for details
- A3 Flagstone pavers on stone dust w/whit road ties along edges for landscaping as indicated.
- A4 12" CMU retaining wall w/ brick veneer, see structural drawings for details
- A5 Concrete stair with blue stone slabs and brick risers. See structural drawings for details
- A6 Hose bib for garden
- A7 Brick sill on conc. slab @ new screened porch.
- A8 Not Used.
- A9 Trim to match openings at bottom of stair, match thickness of existing jambs.
- A10 Standing seam metal roof, slope 4:12.
- A11 Painted metal gutters and down spout to match existing.
- A12 8" CMU foundation walls on 24" x 12" concrete footing, typ. Coordinate with structural drawings for details
- A13 4" concrete slab. Align concrete slab height with rear door step.
- A14 Exterior wall w/ 2 x 4 studs @ 16" O.C. w/ 1/2" APA Rated CDX plywood and Hardieplank siding to match existing.

KEY SYMBOLS/ WALL TYPES

- | | |
|--|---|
| | EXISTING WALLS TO REMAIN |
| | INTERIOR WALL W/ 1/2" GWS BOTH SIDES, & 2X4 STUDS @ 16" O.C. |
| | EXTERIOR WALL W/ 1/2" GWS ON INTERIOR SIDE, 2X4 STUDS @ 16" O.C., AND 1/2" CDX PLYWOOD W/ PAINTED HARDIE PLANK SIDING ON EXTERIOR SIDE. |
| | EXTERIOR WALL W/ 1/2" GWS ON INTERIOR SIDE, 2X4 STUDS @ 16" O.C. W/ R-19 FOIL FACED BATT INSUL. & 1/2" CDX PLYWOOD W/ PAINTED HARDIE PLANK SIDING ON EXTERIOR SIDE. |
| | EXTERIOR 8" CMU WALL 2-HR FIRE SEPARATION WALL W/ DUROWALL @ 16" O.C. VERTICAL, 2x3 FURRING STRIPS W/ 1/2" GWS ON INTERIOR SIDE, 3/4" PORTLAND CEMENT STUCCO ON EXTERIOR SIDE |



SECOND FLOOR PLAN

1/4" = 1'-0"

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ELEVATION NOTES:

- 1 New metal standing seam roof, 4:12 slope.
- 2 New painted metal gutters and down spouts to match existing.
- 3 Flash along all new roof to existing wall connections.
- 4 Exposed painted rafter tails to match existing. Provide an 8" overhang at storage shed roof.
- 5 5/4" water table and band board Hardie trim
- 6 Hardie Trim
- 7 Hardie plank siding, match existing.
- 8 Center door on east facing shed elevation w/ concrete step down to grade. VLF step height.
- 9 Provide concrete stoop for door. VLF Height requirements.
- 10 New door with trim to match existing.
- 11 Maintain existing door. Provide knee wall w/ Top sill, similar to a dutch door. Flash along entire roof to wall connection. Top portion of door must remain operable from the inside.
- 12 New 8" CMU foundation wall on 12" x 24" concrete footing set @ 30" min. below grade w/ (3) #4 rebars.
- 13 Center new shed precisely between existing basement windows.
- 14 Align Basement door stoop height with new storage shed slab height.
- 15 New pebble-dash stucco on 2 x 4 framing.
- 16 New screen panels, see details.
- 17 New 8" brick sill on new 4" concrete slab w/ new flagstone finish.
- 18 New 4" concrete slab, see struct. details.
- 19 New retaining wall w/ footing, see sheet A-5.1 for details.
- 20 Line of new steps beyond.
- 21 New spread footings, coordinate with structural drawings and details.
- 22 Remove existing top siding to expose original wood siding and trim underneath on the north and east elevations only. To be repaired and refinished as necessary. Do not disturb siding on the west & south elevations.



Office's
2115 Maple Street, NW
Washington, DC 20007-1109
Tel: (202) 658-1091
Fax: (202) 658-1091
www.troutdesign.com

NORTH ELEVATION

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

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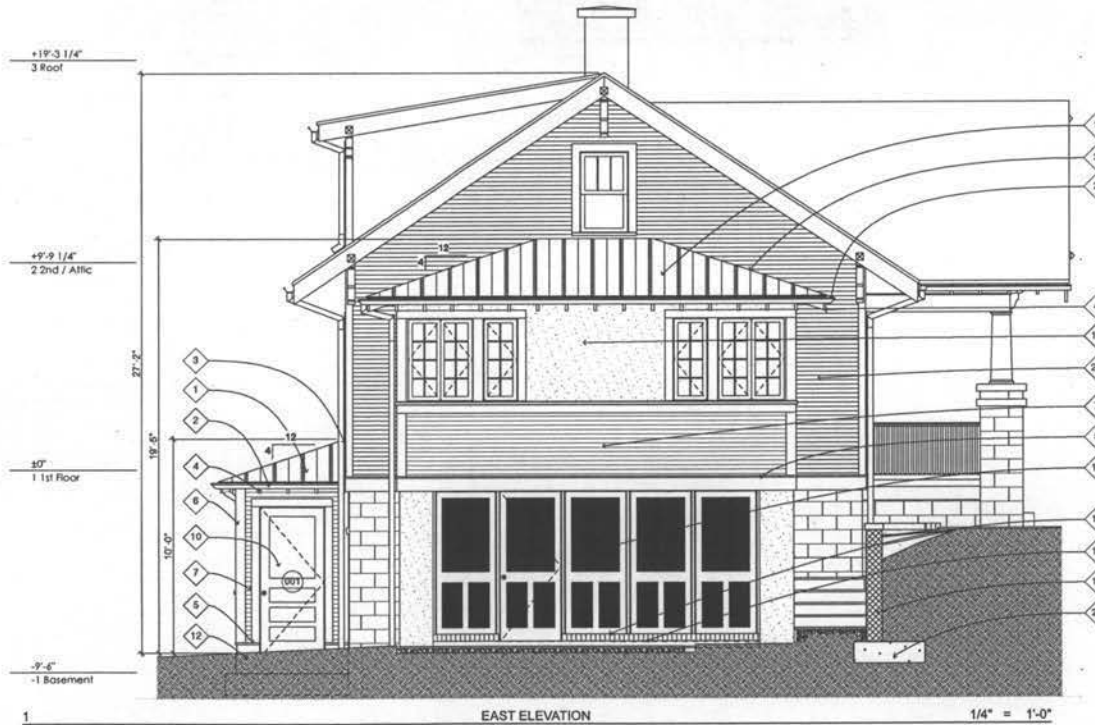
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BY: 27 June 2011

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ELEVATION NOTES:

- 1 New metal standing seam roof, 4:12 slope.
- 2 New painted metal gutters and down spouts to match existing.
- 3 Flash along all new roof to existing wall connections.
- 4 Exposed painted rafter tails to match existing. Provide an 8" overhang at storage shed roof.
- 5 5/4" water table and band board Hardie trim.
- 6 Hardie Trim.
- 7 Hardie plank siding, match existing.
- 8 Center door on east facing shed elevation w/ concrete step down to grade. VLF step height.
- 9 Provide concrete stoop for door. VLF Height requirements.
- 10 New door with trim to match existing.
- 11 Maintain existing door. Provide knee wall w/ Top sill, similar to a dutch door. Flash along entire roof to wall connection. Top portion of door must remain operable from the inside.
- 12 New 8" CMU foundation wall on 12" x 24" concrete footing set @ 30" min. below grade w/ (3) #4 rebars.
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- 15 New pebble-dash stucco on 2 x 4 framing.
- 16 New screen panels, see details.
- 17 New 8" brick sill on new 4" concrete slab w/ new flagstone finish.
- 18 New 4" concrete slab, see struct. details.
- 19 New retaining wall w/ footing, see sheet A-5.1 for details.
- 20 Line of new steps beyond.
- 21 New spread footings, coordinate with structural drawings and details.
- 22 Remove existing top siding to expose original wood siding and trim underneath on the north and east elevations only. To be repaired and refinished as necessary. Do not disturb siding on the west & south elevations.



Office:
5118 Wood County Ave
Bloomington, IL 61820
P.O. Box 358
Washington, DC 20007
Tel: (202) 499-1091
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EAST ELEVATION

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

4602DC

1 March 2011

27 June 2011

A-2.2

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+19'-3 1/4"
3 Roof

+9'-9 1/4"
2 2nd / Attic

±0"
1 1st Floor

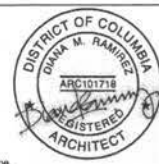
-9'-5"
-1 Basement

-11'-6"
-2 Foundation Plan



ELEVATION NOTES:

- 1 New metal standing seam roof, 4:12 slope.
- 2 New painted metal gutters and down spouts to match existing.
- 3 Flash along all new roof to existing wall connections.
- 4 Exposed painted rafter tails to match existing. Provide an 8" overhang at storage shed roof.
- 5 5/4" water table and band board Hardie trim
- 6 Hardie Trim
- 7 Hardie plank siding, match existing.
- 8 Center door on east facing shed elevation w/ concrete step down to grade. VLF step height.
- 9 Provide concrete stoop for door. VLF Height requirements.
- 10 New door with trim to match existing.
- 11 Maintain existing door. Provide knee wall w/ Top sill, similar to a dutch door. Flash along entire roof to wall connection. Top portion of door must remain operable from the inside.
- 12 New 8" CMU foundation wall on 12" x 24" concrete footing set @ 30" min. below grade w/ (2) #4 rebars.
- 13 Center new shed precisely between existing basement windows.
- 14 Align Basement door stoop height with new storage shed slab height.
- 15 New pebble-dash stucco on 2 x 4 framing.
- 16 New screen panels, see details.
- 17 New 8" brick sill on new 4" concrete slab w/ new flagstone finish.
- 18 New 4" concrete slab, see struct. details.
- 19 New retaining wall w/ footing, see sheet A-5.1 for details.
- 20 Line of new steps beyond.
- 21 New spread footings, coordinate with structural drawings and details.
- 22 Remove existing top siding to expose original wood siding and trim underneath on the north and east elevations only. To be repaired and refinished as necessary. Do not disturb siding on the west & south elevations.



Trout, Inc.
P.O. Box 348
Washington, DC 20001
Tel: (202) 694-0000
Fax: (202) 694-1091
www.troutdesign.com

Direct's
2115 Macleod Avenue
Washington, DC 20002
Tel: (202) 694-0000
Fax: (202) 694-1091
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SOUTH ELEVATION

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

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SCALE: AS SHOWN
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ELEVATION NOTES:

- 1 New metal standing seam roof, 4:12 slope.
- 2 New painted metal gutters and down spouts to match existing.
- 3 Flash along all new roof to existing wall connections.
- 4 Exposed painted rafter tails to match existing. Provide an 8" overhang at storage shed roof.
- 5 5/4" water table and hand board Hardie trim
- 6 Hardie Trim
- 7 Hardie plank siding, match existing
- 8 Center door on east facing shed elevation w/ concrete step down to grade. VIF step height.
- 9 Provide concrete stoop for door. VLF Height requirements.
- 10 New door with trim to match existing.
- 11 Maintain existing door. Provide knee wall w/ Top sill, similar to a dutch door. Flash along entire roof to wall connection. Top portion of door must remain operable from the inside.
- 12 New 8" CMU foundation wall on 12" x 24" concrete footing set @ 30" min. below grade w/ (3) #4 rebars.
- 13 Center new shed precisely between existing basement windows.
- 14 Align Basement door stoop height with new storage shed slab height.
- 15 New pebble-dash stucco on 2 x 4 framing.
- 16 New screen panels, see details.
- 17 New 8" brick sill on new 4" concrete slab w/ new flagstone finish.
- 18 New 4" concrete slab, see struct. details.
- 19 New retaining wall w/ footing, see sheet A-5.1 for details.
- 20 Line of new steps beyond.
- 21 New spread footings, coordinate with structural drawings and details.
- 22 Remove existing top siding to expose original wood siding and trim underneath on the north and east elevations only. To be repaired and refinished as necessary. Do not disturb siding on the west & south elevations.



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Tel: (202) 699-4118
Fax: (202) 699-4118
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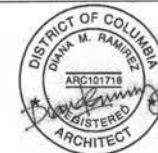
WEST ELEVATION
SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence
4602DC

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SECTION BB
SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence
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1 March 2011		27 June 2011

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SECTION A-A

1/4" = 1'-0"



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SECTION AA

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

4602DC

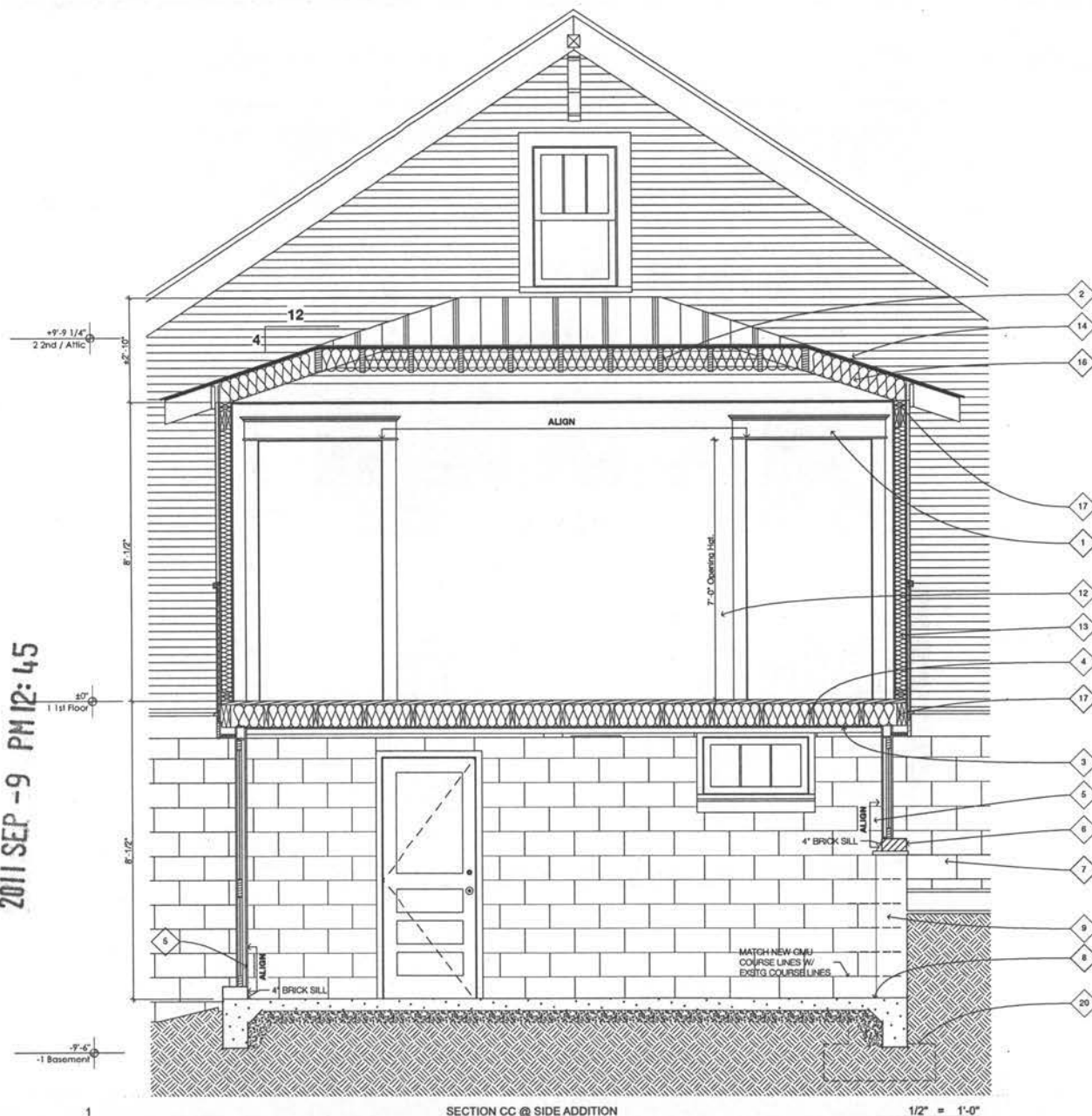
1 March 2011

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A-3.2

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- 1 1/2" trim to match existing.
- 2 2x10 rafters @16" o.c. with R-38 foil faced batt insulation w/ 3/4" apa rated cdx plywood sheathing & standing seam metal roof.
- 3 Hardi plank beaded board @ screened porch ceiling.
- 4 2x6 joists @16" o.c., with R-38 foil faced insulation.
- 5 Align screened porch panels to the back of brick ledge.
- 6 4" Brick ledge base, align to face of conc. slab.
- 7 Repair and parge eroded block in this area.
- 8 4" Concrete slab w/ flagstone paver finish set on 4" compacted gravel.
- 9 Align CMU wall courses of new walls with existing walls. Use new screened porch slab as datum.
- 10 45° Opening height from sill to head.
- 11 40" height above finished floor.
- 12 7'-0" height above finished floor.
- 13 2x4 studs @16" O.C., w/ R-19 Batt insulation, 1/2 apa rated plywood sheathing & hardieplank siding to match existing.
- 14 Flash roof to wall connection.
- 15 Line of steps beyond wall.
- 16 (1) 11-3/4" x 9-1/2" LVL hip rafter see sheet S-1 for details.
- 17 (2) 7-1/4" LVLs, see sheet S-1 for details.
- 18 (4) 7-1/4" LVLs w-@3/8" x 7" steel plates, see sheet S-1 for details.
- 19 (2) 2x6s header, see sheet S-1 for details.
- 20 16"x16" masonry pier on 36"x36"x12" concrete footing. Ryp.j see sheets S-1 and S-2 for details.



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P.O. Box 358
GARDENSVILLE, WV
26031
(204) 874-4118

review's

2112 WARD COURT,NW
WASHINGTON,DC
20037-1209
12021 659-0600
FAX 12021 659-1091

SECTION CC

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

4602DC

1 March 2011

7

1

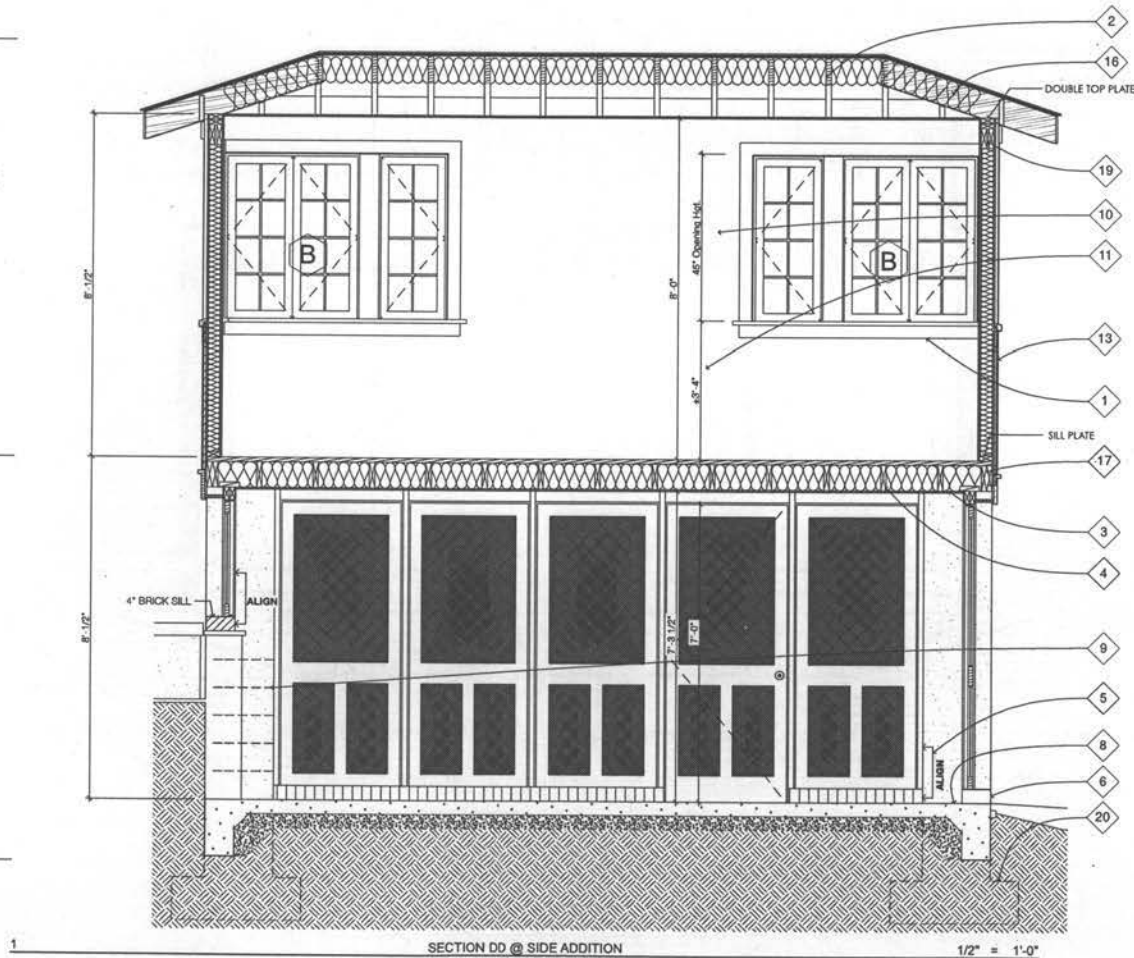
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1st Floor

-1 Basement



SECTION NOTES:

- 1 1/2" trim to match existing.
- 2 2x10 rafters @16" o.c. with R-38 foil faced batt insulation w/ 3/4" apa rated cdx plywood sheathing & standing seam metal roof.
- 3 Hardi plank beaded board @ screened porch ceiling.
- 4 2x8 joists @16" o.c., with R-38 foil faced insulation.
- 5 Align screened porch panels to the back of brick ledge.
- 6 4" Brick ledge base, align to face of conc. slab.
- 7 Repair and parge eroded block in this area.
- 8 4" Concrete slab w/ flagstone paver finish set on 4" compacted gravel.
- 9 Align CMU wall courses of new walls with existing walls. Use new screened porch slab as datum.
- 10 45" Opening height from sill to head.
- 11 40" height above finished floor.
- 12 7'-0" height above finished floor.
- 13 2x4 studs @16" O.C., w/ R-19 Batt insulation, 1/2" apa rated plywood sheathing & hardiplank siding to match existing.
- 14 Flash roof to wall connection.
- 15 Line of steps beyond wall.
- 16 (1) 11-3/4" x 9-1/2" LVL hip rafter see sheet S-1 for details.
- 17 (2) 7-1/4" LVLs, see sheet S-1 for details.
- 18 (4) 7-1/4" LVLs w-(3) 3/8" x 7" steel plates, see sheet S-1 for details.
- 19 (2) 2x6s header, see sheet S-1 for details.
- 20 16"x16" masonry pier on 36"x30"x12" concrete footing. (typ.) see sheets S-1 and S-2 for details.



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Washington, DC 20004
Tel: (202) 638-9400
Fax: (202) 638-9401
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SECTION DD
SIDE & REAR ADDITIONS & ALTERATIONS

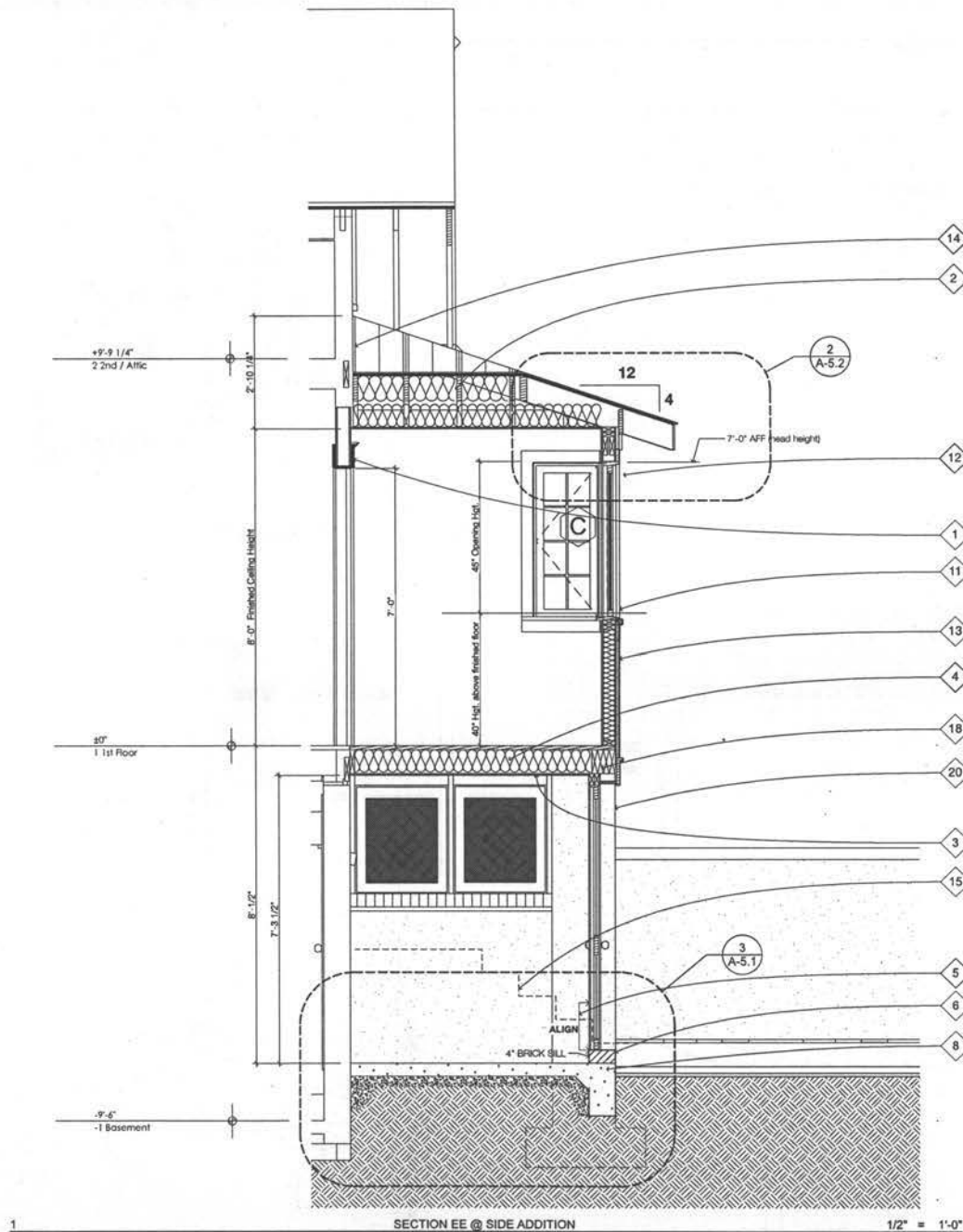
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BY: [Signature]
DATE: 27 June 2011

A-3.4

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SECTION NOTES:

- 1 1/2" trim to match existing.
- 2 2x10 rafters @16" o.c. with R-38 foil faced batt insulation w/ 3/4" apa rated cdx plywood sheathing & standing seam metal roof.
- 3 Hard plank beaded board @ screened porch ceiling.
- 4 2x8 joists @16" o.c., with R-38 foil faced insulation.
- 5 Align screened porch panels to the back of brick ledge.
- 6 4" brick ledge base, align to face of conc. slab.
- 7 Repair and patch eroded block in this area.
- 8 4" concrete slab w/ flagstone paver finish set on 4" compacted gravel.
- 9 Align CMU wall courses of new walls with existing walls. Use new screened porch slab as datum.
- 10 45" opening height from sill to head.
- 11 40" height above finished floor.
- 12 7'-0" height above finished floor.
- 13 2x4 studs @16" O.C., w/ R-19 Batt insulation, 1/2 apa rated plywood sheathing & hardiplank siding to match existing.
- 14 Flash roof to wall connection.
- 15 Line of steps beyond wall.
- 16 (1) 1-3/4" x 9-1/2" LVL hip rafter see sheet S-1 for details.
- 17 (2) 7-1/4" LVLs, see sheet S-1 for details.
- 18 (4) 7-1/4" LVLs w-(3) 3/8" x 7" steel plates, see sheet S-1 for details.
- 19 (2) 2x8s header, see sheet S-1 for details.
- 20 16"x16" masonry pier on 36"x36"x12" concrete footing (typ) see sheets S-1 and S-2 for details.



Project:
2115 WARD COURT NW
WASHINGTON, DC
20001-1118
Tel: (202) 454-0400
Fax: (202) 454-1191
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SECTION EE

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

4602DC

DATE: 1 March 2011
SCALE: 1/2" = 1'-0"
DATE: 27 June 2011

A-3.5

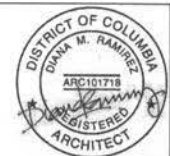
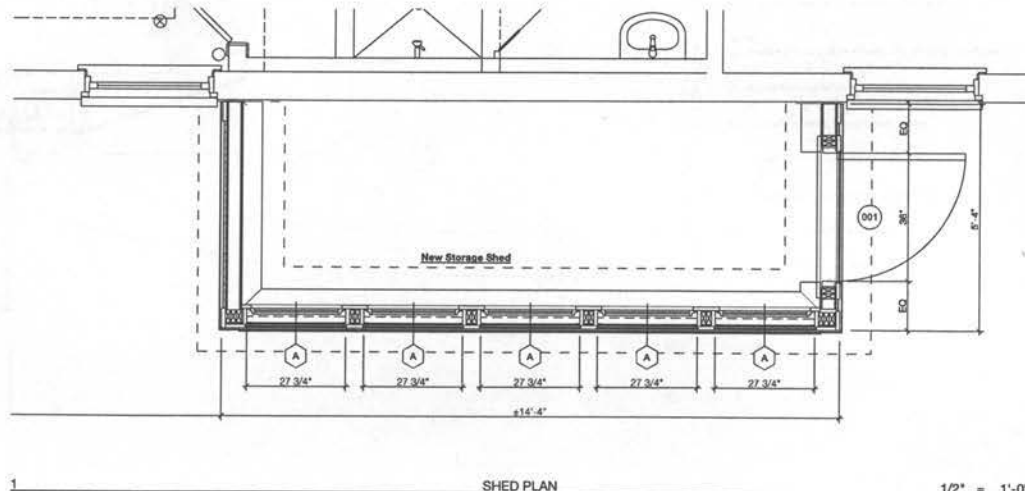
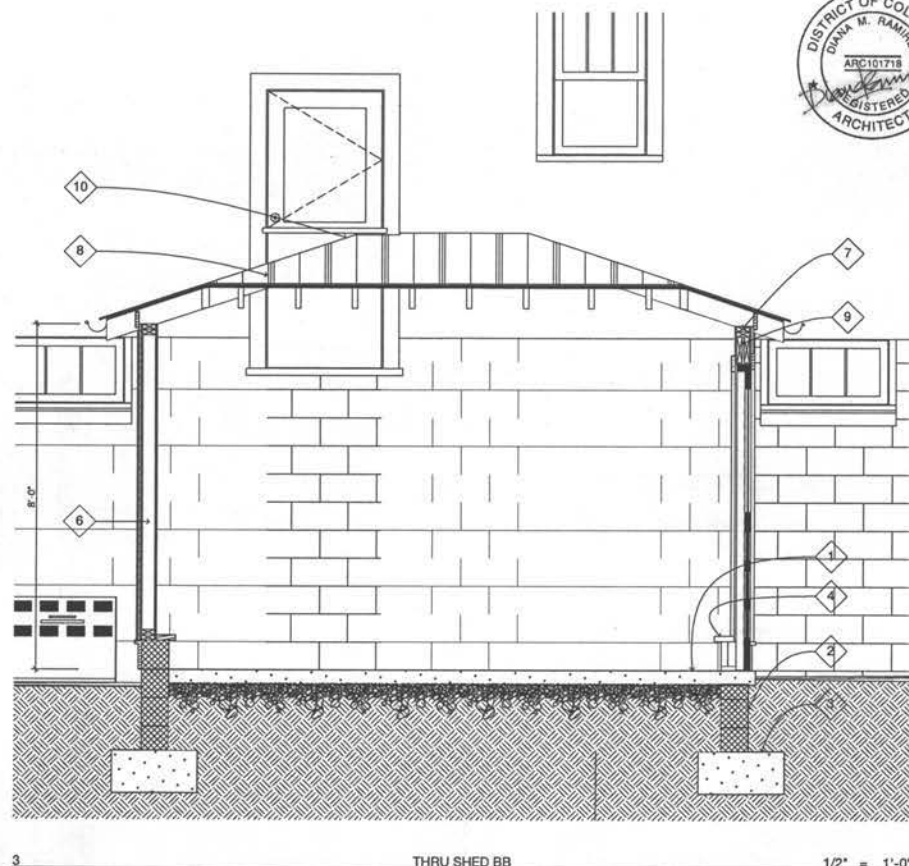
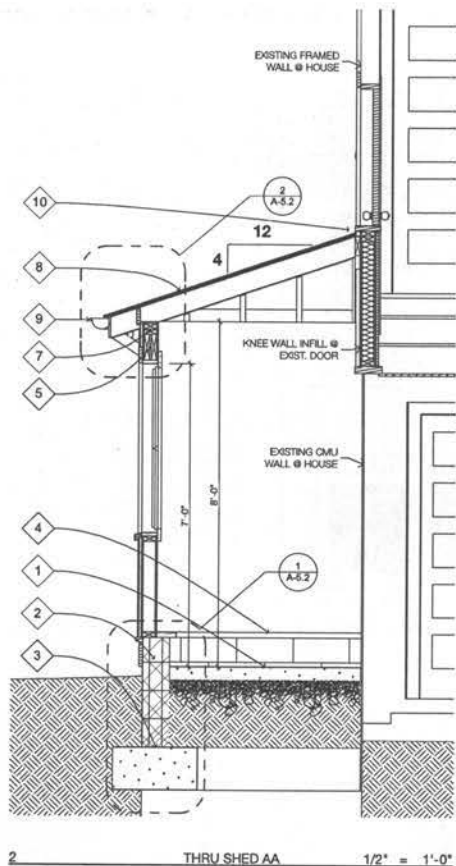
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Section Specific Notes:

- 1 New 4" concrete slab set on 4" compacted gravel. Align concrete slab height with existing CMU along the south elevation.
- 2 8" CMU foundation wall w/cement parging.
- 3 New 12" deep x 24" wide concrete footing w/2#4 rebar all set @ min. of 30" below grade, (typ.)
- 4 2 x 6 painted ledge.
- 5 (2) 2 x headers, coordinate with structural drawings.
- 6 2 x 4's @ 16" o.c. w/1/2" CDX plywood sheathing w/ Hardieplank siding to match existing.
- 7 (2) 2 x 4 top plate.
- 8 New standing seam metal roof.
- 9 New painted metal gutter and downspout.
- 10 Flash along roof to wall connections.

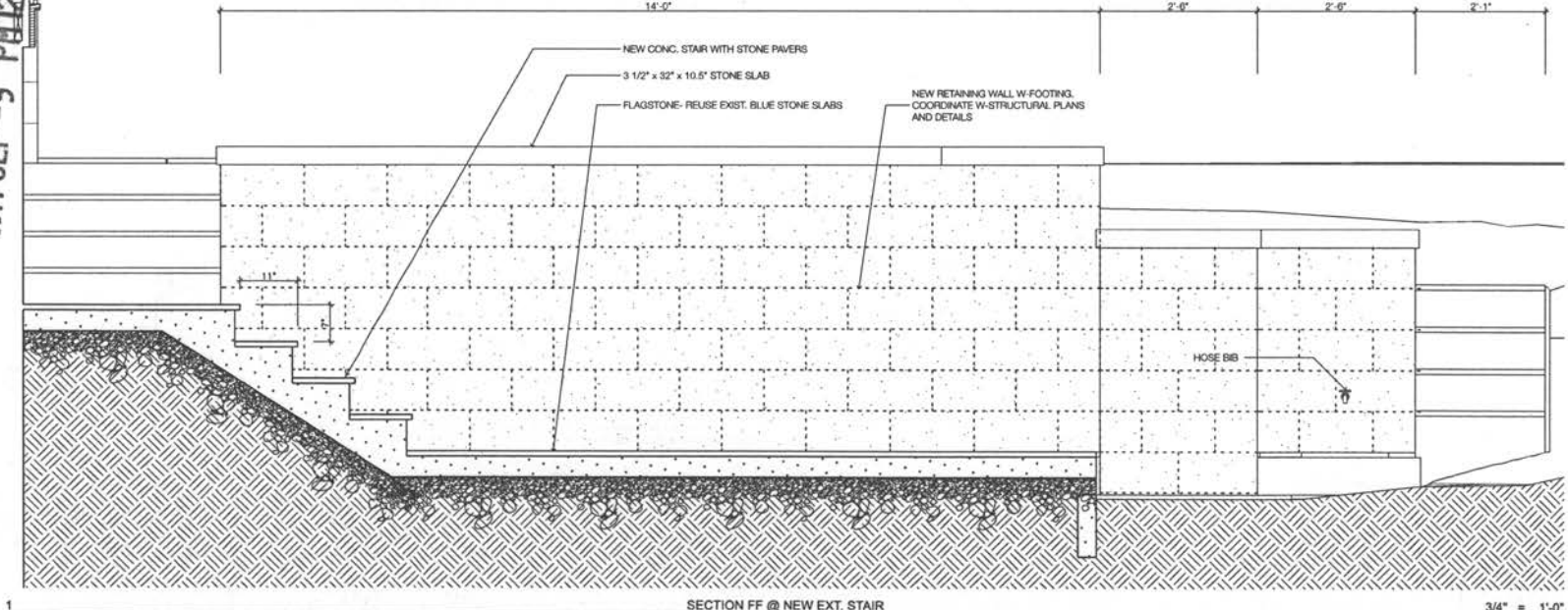


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ENLARGED SHED PLAN & SECTIONS	
SIDE & REAR ADDITIONS & ALTERATIONS	
Maloney Residence	4602DC
1 March 2011	27 June 2011
A-4.1	

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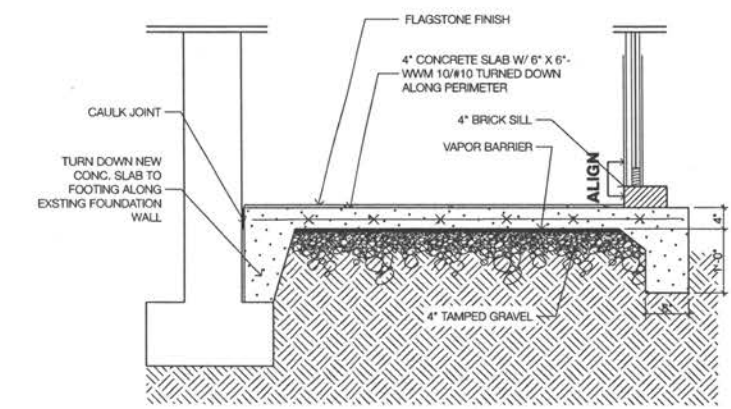
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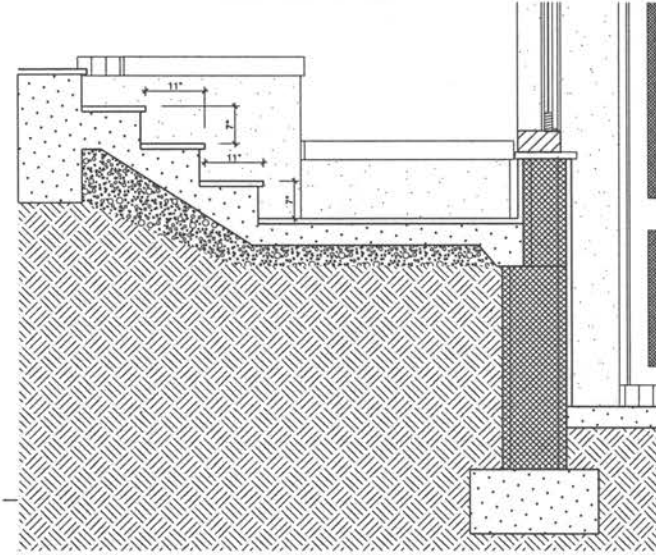
SECTION FF @ NEW EXT. STAIR

3/4" = 1'-0"



NEW PORCH SLAB DETAIL

3/4" = 1'-0"



SECTION GG @ NEW EXT. STAIR

3/4" = 1'-0"



Office:
2115 W. 10th Street, NW
Washington, DC 20005
Tel: (202) 462-1100
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DETAILS
SIDE & REAR ADDITIONS & ALTERATIONS

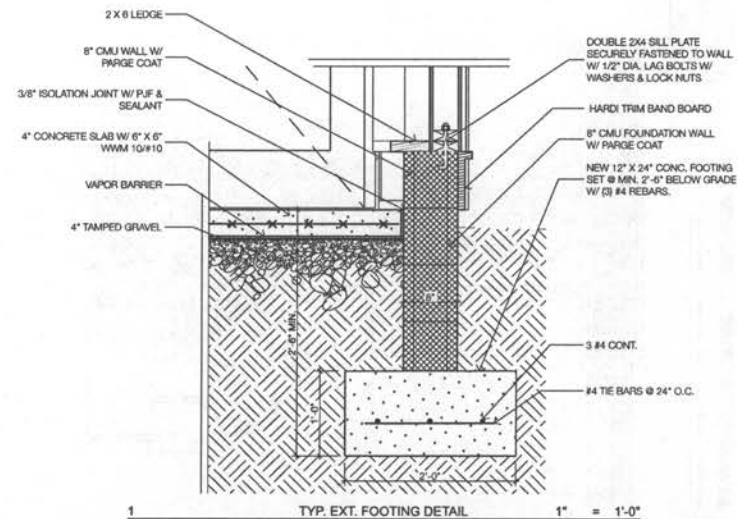
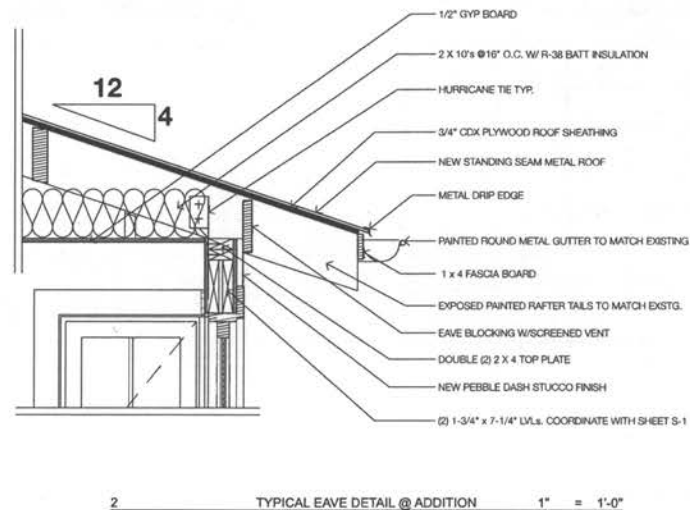
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DETAILS

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

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EXTERIOR WINDOW & DOOR SCHEDULE

MARK #	CAT. NO.	R. O.	Type		Description
			W	H	
A	5	EXIST./REUSE	2'-5 3/4"	4'-1 1/8"	Double Hung
B	2	WCM2048 & WFCM4048	5'-5 1/8"	4'-9 1/8"	Casement
C	1	WCM2048	1'-9"	4'-9 1/8"	Casement

DOOR SCHEDULE

Mark	Qty.	Cat. No.	Door Size			R. O.		Type	Material	Finish	Hardware Set	Detail			Fire Rating	Note/Remarks
			W	HT	THK	Width	Height					Head	Jamb	Sill		
001	1		3'-0"	7'-0"	0'-1 1/2"	3'-4"	7'-2"									
002	1		2'-9 1/2"	7'-0"	0'-1 1/2"	---	---	Single Swing								SCREENED DOOR
101	1		2'-8"	6'-8"	0'-1 1/2"	---	---	Single Swing								EXIST. DOOR TO BE CONVERTED TO DUTCH DOOR. TOP PORTION OPERABLE, LOWER PORTION FIXED

SCHEDULES & DIAGRAMS

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

4602DC

1 March 2011

27 June 2011

A-6.1

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ELECTRICAL SYMBOLS

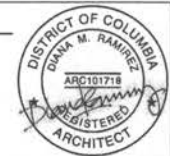
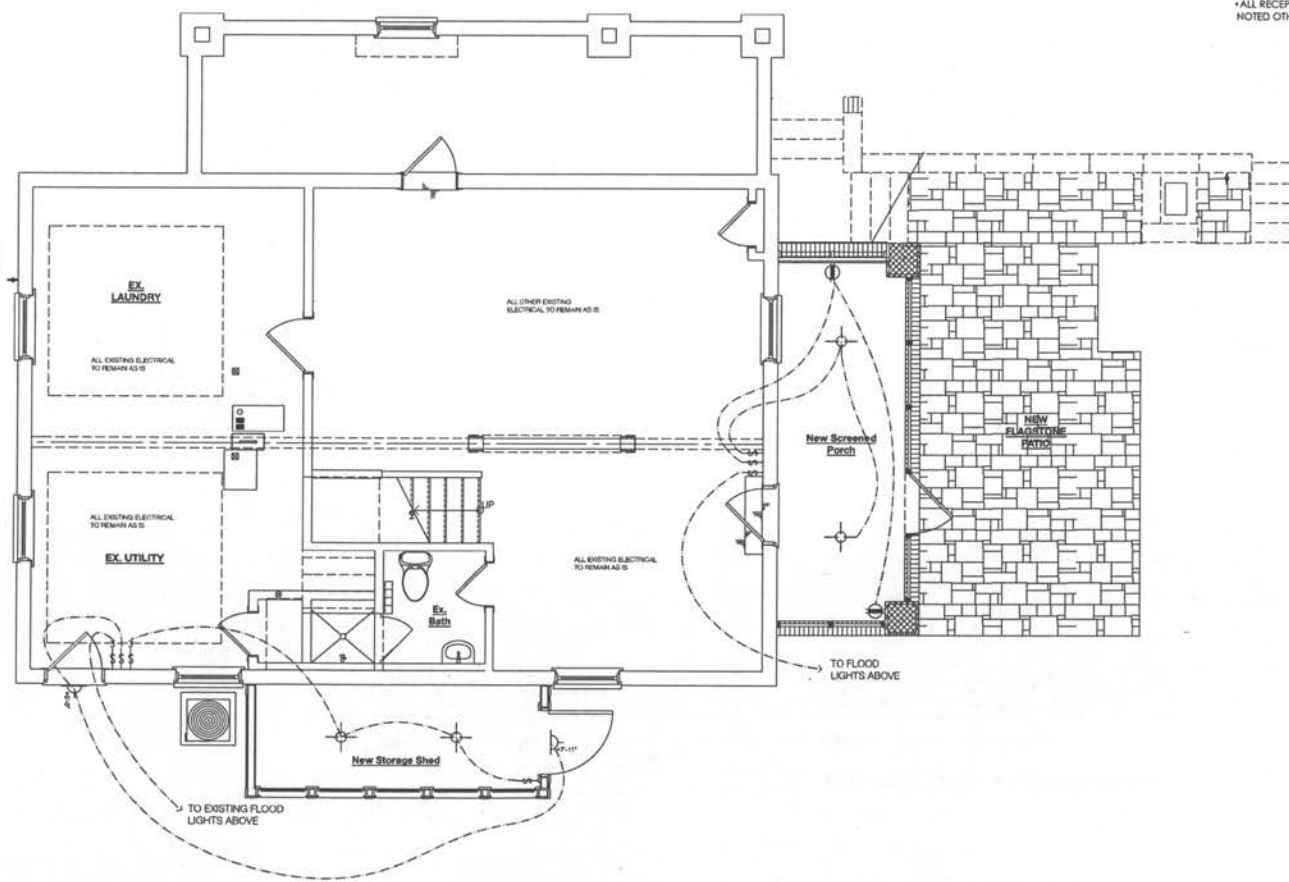
- LIGHT FIXTURE / J-BOX
- WALL SCONCE
- UNDER CABINET LIGHT
- EXHAUST FAN
- CILING FAN
- FLOOD LIGHT
- GFI PLUG WIRE MOULD W/ OUTLET EVERY 6" VERIFY REQD. LENGTH IN FIELD

- CONCEALED WIRING
- SWITCH
- 3 WAY SWITCH (2 LOCATIONS)
- 4 WAY SWITCH (3 LOCATIONS)
- DIMMER SWITCH
- JAMB SWITCH (DOOR ACTIVATED)
- QUAD RECEPTACLE
- DUPLEX RECEPTACLE
- EXTERIOR OR INTERIOR G.F.I. WATER PROOF RECEPTACLE @ 18" U.N.O.
- DUPLEX FLOOR RECEPTACLE (LOCATION TO BE V.I.F.)

- POWER DISCONNECT
- PHONE
- CABLE / SATELLITE
- COMPUTER / ETHERNET
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- STEREO HOME BASE
- SPEAKER
- THERMOSTAT
- TIMER

- 10 REFRIGERATOR - 15A
- 20 RANGE
- 30 RANGE HOOD / MICROWAVE - 15A
- 40 DISPOSAL - 15A
- 50 DISHWASHER - 15A
- 60 OVEN
- 70 WASHER
- 80 DRYER
- 90 GARAGE DOOR OPENER
- 100 CONDENSOR
- 110 AIR HANDLER
- 120 EXHAUST FAN W/ LIGHTS

NOTE:
• ALL BATHROOMS TO HAVE G.F.I. WATERPROOF RECEPTACLES WITH RESET BUTTONS.
• ALL RECEPTACLES @ 18" A.F.F. UNLESS NOTED OTHERWISE.



Office's
3112 HANCO COURT, NW
WASHINGTON, DC
20007-1203
PH: 202-698-0001
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BASEMENT ELECTRICAL PLAN
SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence
4802DC

DATE: 1 March 2011
BY: [Signature]
REV: 27 June 2011

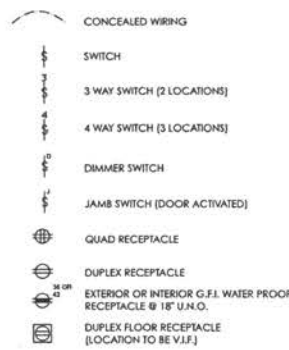
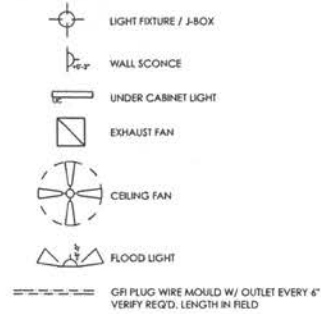
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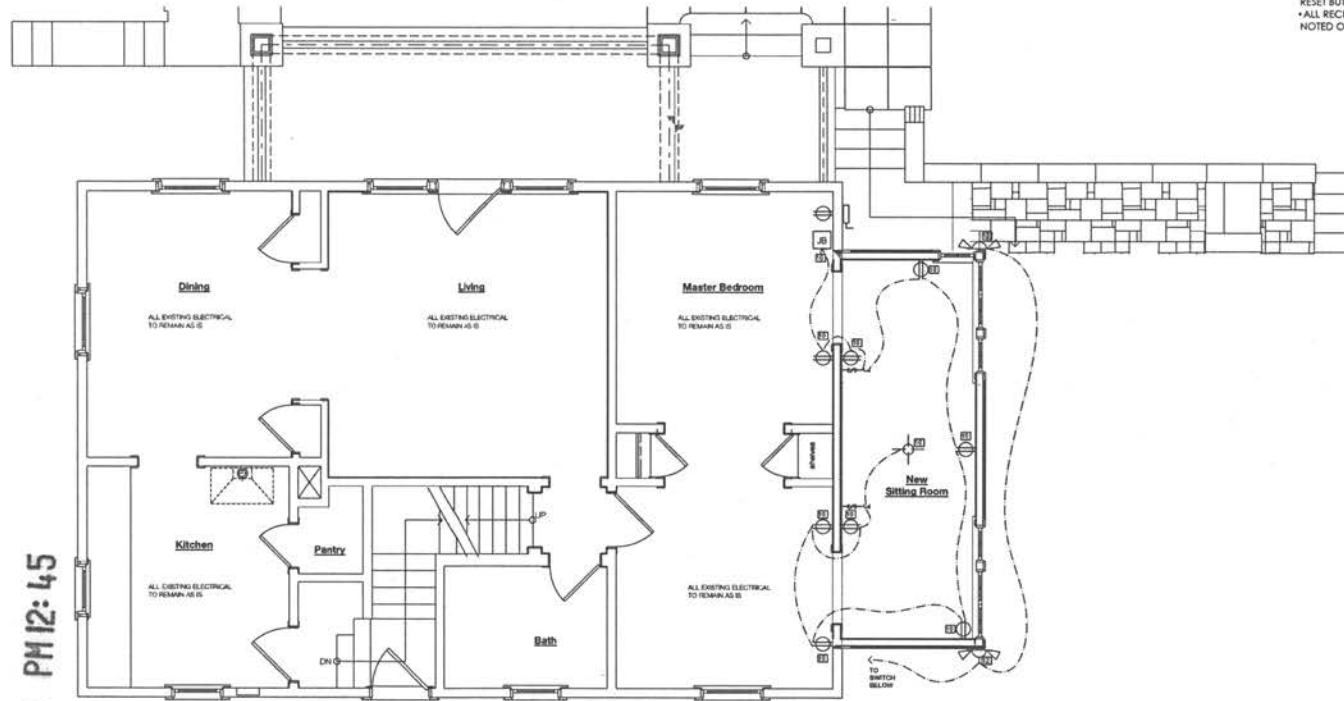
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ELECTRICAL SYMBOLS



- 10 REFRIGERATOR- 15A
- 20 RANGE
- 30 RANGE HOOD / MICROWAVE- 15A
- 40 DISPOSAL- 15A
- 50 DISHWASHER- 15A
- 60 OVEN
- 70 WASHER
- 80 DRYER
- 90 GARAGE DOOR OPENER
- 100 CONDENSOR
- 110 AIR HANDLER
- 120 EXHAUST FAN W/ LIGHTS

NOTE:
 •ALL BATHROOMS TO HAVE G.F.I.
 WATERPROOF RECEPTACLES WITH
 RESET BUTTONS.
 •ALL RECEPTACLES @ 18" A.F.F. UNLESS
 NOTED OTHERWISE.



Office:
 811 E. 28th Street, Suite 208
 Washington, DC 20003
 Phone: (202) 451-0100
 Fax: (202) 451-1081
 www.troutdesign.com

FIRST FLOOR ELECTRICAL PLAN

SIDE & REAR ADDITIONS & ALTERATIONS

Maloney Residence

4602DC

1 March 2011

27 June 2011

E-1.2

FIRST FLOOR ELECTRICAL PLAN

1/4" = 1'-0"