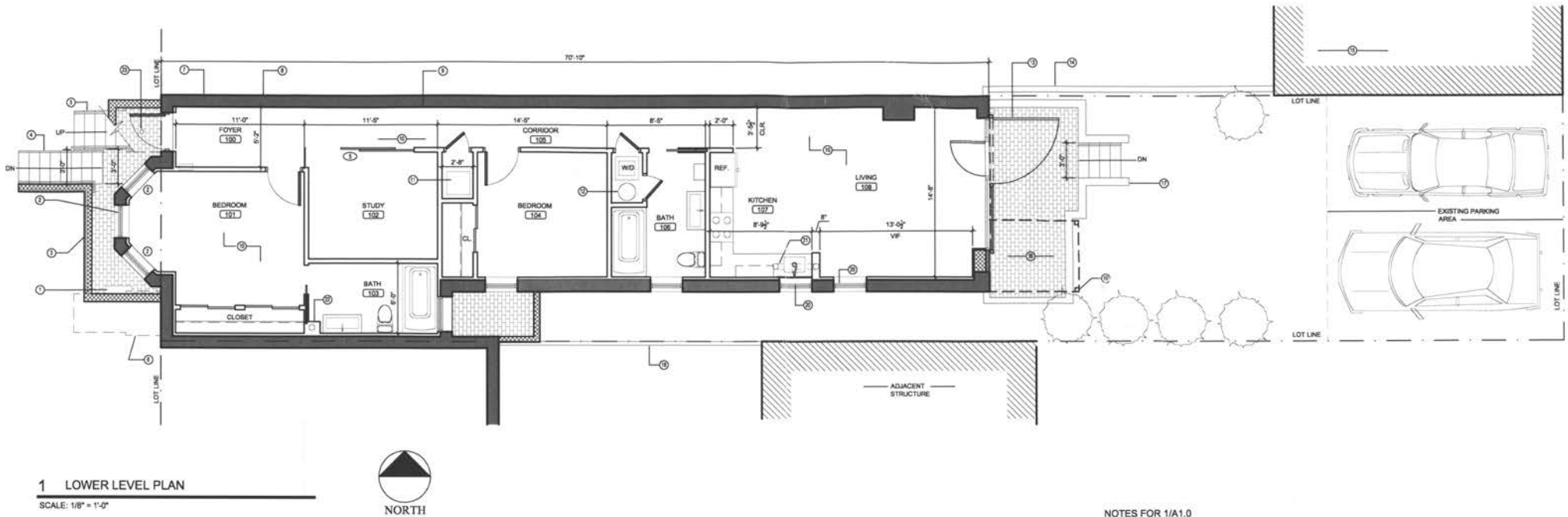




NOTES FOR 1/A1.0

- ① RELOCATE INCOMING ELECTRICAL SERVICE.
- ② ENLARGE EXISTING MASONRY OPENING TO ACCOMMODATE NEW WINDOW. NEW WINDOWS TO MATCH EXISTING ADJACENT WINDOWS IN STYLE AND PROFILES. TYPICAL OF 3 OPENINGS - SEE EXTERIOR ELEVATIONS AND WINDOW SCHEDULE.
- ③ PROVIDE CMU RETAINING WALLS WITH PRECAST STONE CAP. PAINT EXPOSED FACE OF RETAINING WALL AND PAINT. SEE STRUCTURAL DRAWINGS FOR RETAINING WALL CONSTRUCTION TYPES.
- ④ NEW POURED CONCRETE STAIR DOWN TO BASEMENT. PROVIDE 1" SQUARE METAL HANDRAIL BOTH SIDES.
- ⑤ PROVIDE 1" SQUARE METAL HANDRAILS WITH INFILL. SEE EXTERIOR ELEVATIONS. TYPICAL OF BOTH EXISTING EXTERIOR STAIRS.
- ⑥ EXISTING STAIR UP TO SECOND LEVEL. DASHED FOR CLARITY TO SHOW NEW ELECTRICAL INCOMING SERVICE LOCATION.
- ⑦ EXISTING WALL HATCHED GRAY, TYPICAL.
- ⑧ NO UNDERPINNING REQUIRED AT THIS WALL. PRELIMINARY, EXPLORATORY HOLES CONFIRM EXTENSION OF PARTY WALL. PAINT LOCATION/ELEVATION OF NEW SLAB.
- ⑨ EXPOSED AND PAINTED BRICK WALL, ENTIRE LENGTH.
- ⑩ CERAMIC TILE ON 4" CONCRETE SLAB ON 6" M.S. POLYETHYLENE VAPOR BARRIER ON GRAVEL FILL. SEE STRUCTURAL DRAWINGS.
- ⑪ FURNACE LOCATION.
- ⑫ WATER HEATER.
- ⑬ STEEL FRAME AND METAL MESH SECURITY GATE.
- ⑭ EXISTING FENCE TO REMAIN.
- ⑮ EXISTING ADJACENT NEIGHBOR'S GARAGE.
- ⑯ BRICK PAVEMENT Laid ON COMPACTED FILL.
- ⑰ REPLACE EXISTING RETAINING WALLS IN KIND. TYPICAL AT REAR YARD.
- ⑱ EXISTING NEIGHBOR'S FENCE.
- ⑲ EXISTING DECK AND DECK SUPPORT POSTS TO REMAIN. COORDINATE WITH STRUCTURAL RETAINING WALL DETAILS.
- ⑳ EXISTING MASONRY OPENING.
- ㉑ RE-ROUTE EXISTING SANITARY AND DRAINS FROM LIVING SPACE ABOVE TO ALLOW FOR NEW KITCHEN CONFIGURATION AS SHOWN.
- ㉒ EXISTING DRAIN FROM ABOVE. CONCEAL IN WALL AS SHOWN.
- ㉓ DRAIN.

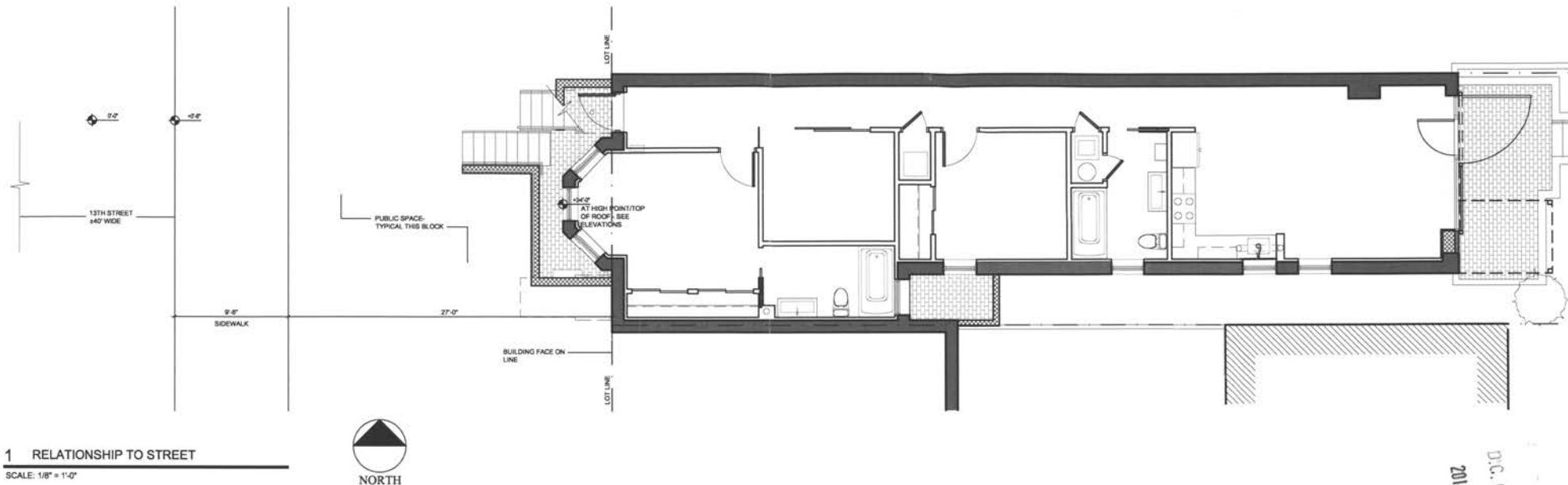
BOARD OF ZONING ADJUSTMENT
District of Columbia
CASE NO. 18298
EXHIBIT NO. 8

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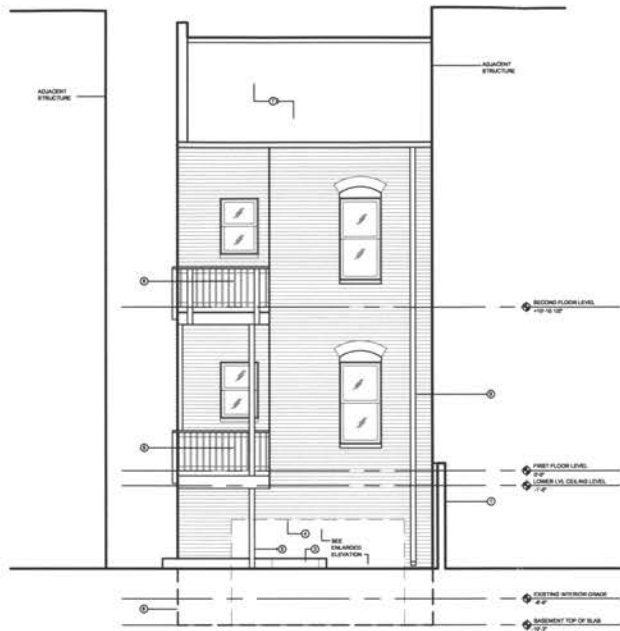
1633 13TH STREET NW
Washington, D.C. 20009

Board of Zoning Adjustment Page 1

August 24, 2011
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District of Columbia
CASE NO. 18298
EXHIBIT NO. 8



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2 EAST (REAR) ELEVATION

SCALE: 1/8" = 1'-0"

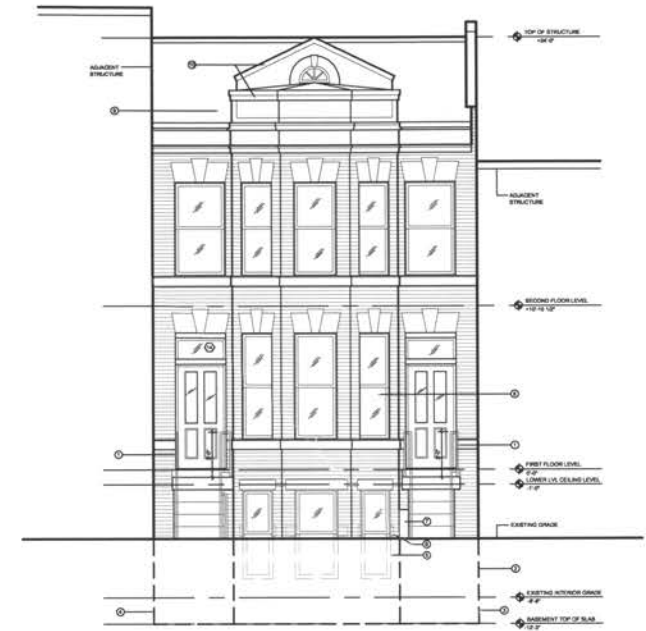
NOTES FOR EAST ELEVATION

- ① EXISTING FINISH TO REMAIN
- ② NEW LINEN
- ③ PROVIDE ONLY RETAINING WALL WITH FINISHING
- ④ ELEVATION BEYOND NEW ENLARGED ELEVATION FOR DETAIL
- ⑤ EXISTING PRESERVE/RECREATE WOOD POST TO REMAIN, TOP
- ⑥ EXISTING DISCARD/REMOVE TO REMAIN
- ⑦ EXISTING EXTERIOR ROOFING TO REMAIN
- ⑧ LOWER LEVEL BEYOND FINISH
- ⑨ NEW DOWNPOUT LOCATION



3 ENLARGED ELEVATION

SCALE: 1/8" = 1'-0"



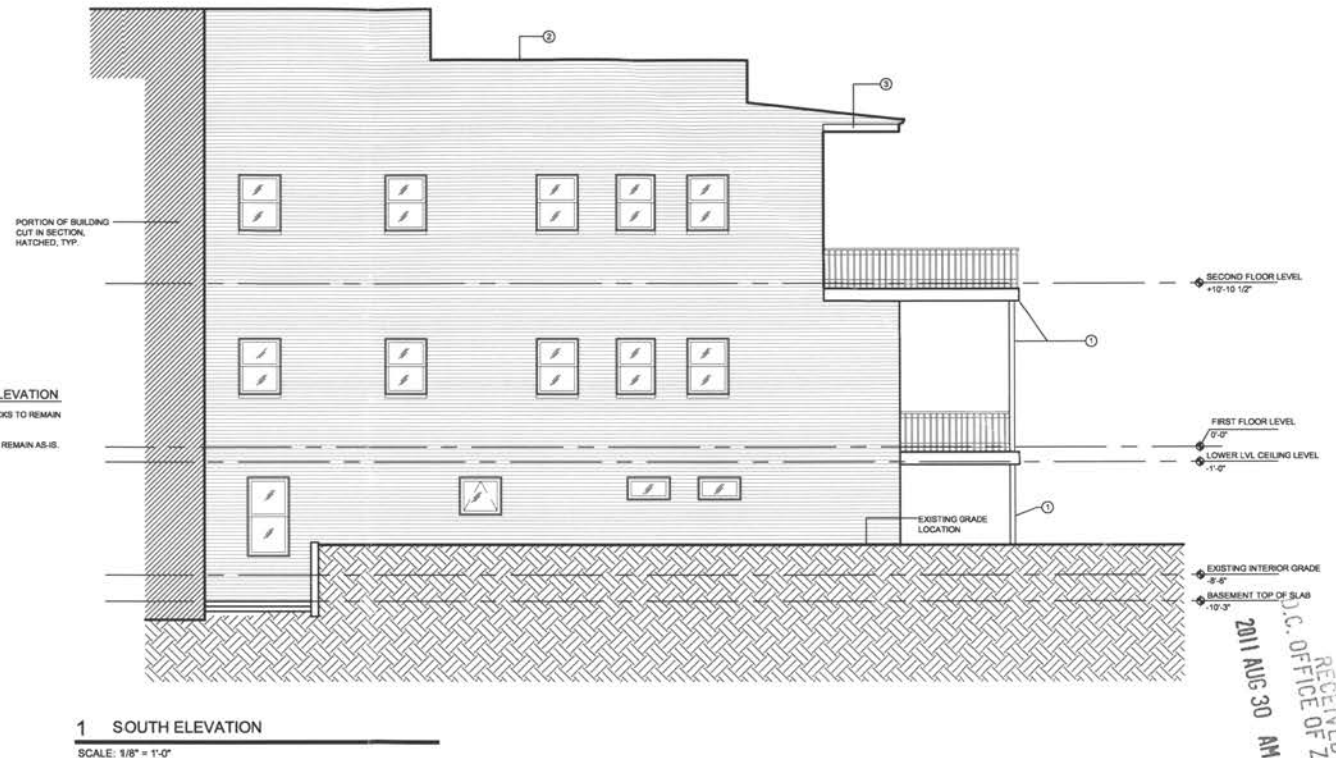
1 WEST (13TH ST) ELEVATION

SCALE: 1/8" = 1'-0"

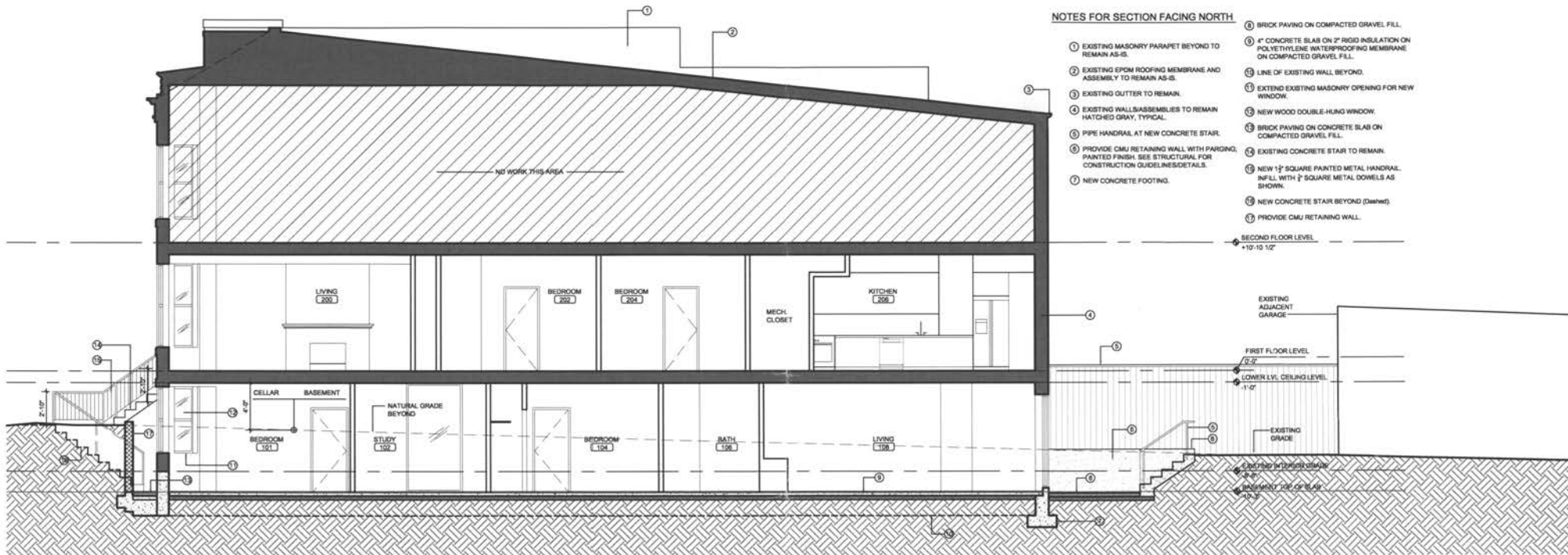
NOTES FOR WEST ELEVATION

- ① NEW METAL HANDRAILS/RAILINGS AT EXISTING CORNER'S STAIR
- ② EXISTING LOWER LEVEL WALL BEYOND FINISH
- ③ PORTION OF LOWER LEVEL WALL UNDERPINNING
- ④ NO UNDERPINNING THIS SIDE
- ⑤ PORTION OF WINDOW SILLING BELOW FINISH
- ⑥ PORTION OF EXISTING SILL BEYOND REPLACE WITH BRICK INFILL TO MATCH EXISTING
- ⑦ NEW WINDOW BEARING SERVICE ON ONE REINFORCED WALL BEYOND
- ⑧ NEW BRICK WINDOWS, TYPICAL DOWRY PACKAGE
- ⑨ EXISTING ASPHALT TRAVELER TO REMAIN
- ⑩ PAINT AND REPAIR EXISTING METAL COPING

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