

RENOVATIONS AND REPAIRS TO

1200 POTOMAC AVE. SE
WASHINGTON DC

ARCHITECT: H.L. WALKER AND ASSOCIATES, P.C.
WASHINGTON, D.C.

OWNER: POTOMAC AVE. L.L.C.

DEC 20

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 18275

EXHIBIT NO. 30

HLW

H.L. WALKER
AND ASSOCIATES, P.C.
ARCHITECTS - PLANNERS
7600 GEORGIA AVE., N.W.
WASHINGTON, DC 20012
(301) 351-8972

CERTIFICATION

BY: _____
REGISTRATION NO.: _____
DATE: _____

ISSUE RECORD

DWG	DATE	REVISION	BY	CHKD	APPD
1103/10					
1103/10					

REVISIONS

NO	DATE	DESCRIPTION

PROJECT TITLE
RENOVATIONS TO
1200 POTOMAC AVE. SE.
WASHINGTON DC

OWNER
POTOMAC AVE. L.L.C.
4303 WEBSTER ST.
BLADENBURG, MD

PROJECT NUMBER

DRAWING TITLE

COVER SHEET

DESIGNED: HLW SCALE

DRAWN: JLA DATE: 08/15/10

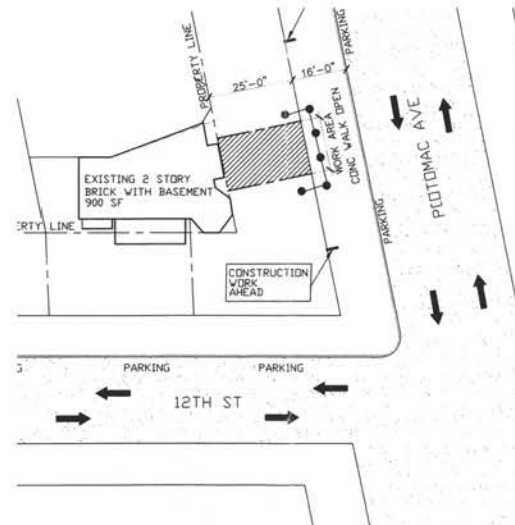
CHECKED: HLW SHEET 0 OF 0

DRAWING NUMBER

CS-1

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- Work by all trades shall conform to the Government of the District of Columbia Department of Consumer and Regulatory Affairs.
- During demolition the contractor shall verify that all walls and or items to be removed are not structural load bearing walls. Any walls that are load bearing shall not be remove.
- ALL FIXED GLASS & REPLACEMENT WINDOWS SHALL BE FIELD MEASURED.
- Provide new metal flashing at chimney and other roof intersections as required.
- Insulation shall be as follows:
-Ceiling R-30
-Exterior, above grade walls R-13
- Point up and repair existing masonry walls as required some areas below existing windows shall be removed and replaced.
- Dimensions Shown are finish dimensions unless otherwise noted.
- Door designations are generic and are shown in feet and inch notation. Example - 24 x 68 means 2'-4" W x 6'-8"H.
- Window designations 28x24 are taken from Weather Shield Inc.
- Contractor verify all field conditions. Should discrepancies be found, they shall be reviewed with and by the architect prior to commencement of work.
- Provide new roof framing as required and new roofing membrane for the entire roof area, rigid insulation fully adhered, with modified bitumen roof membrane.
- Provide new aluminum gutters and down spouts roof drainage system thru-out
- Repair existing wood floors remove sub flooring & finish flooring, replace any damaged floor joist install new sub floor and finish floor.
- Framing of 2 x 4 stock at Perimeter walls & 2 x 4 stock at interior areas unless otherwise specified.
- Provide double 2x10 headers above each new window or door opening unless otherwise noted.
- Exterior sheathing shall be CD plywood.
- Contractor to complete entire project envelope; roofing siding, gutter systems, etc. as indicated on drawings.
- New and existing finished floor lines to match in elevation. Floor finishes per plans.



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E-1.2	ELECTRICAL RISER DIA. & SCHEDULES

PROJECT DATA

1200 POTOMAC AVE., SE..

LOT 34 - SQUARE 1021

ZONING: R5-B

LOT SIZE: 1500 SF

F.A.R: NONE REQUIRED

TYPE OF CONSTRUCTION: 3B

LOT OCCUPANCY: NO CHANGE

EXISTING BUILDING SF 850 SF

REAR YARD: EXISTING -

SIDE YARD: NONE REQUIRED

EXISTING USE MERCANTILE GROCERY

PROPOSED USE "B" LESS THAN 50 OCCUPANTS

OCCUPANT LOAD = 8 CUSTOMERS 4 EMPLOYEES

OCCUPANTS= 12 SECOND FLOOR

OCCUPANT LOAD = 20 SEATS 4 EMPLOYEES

OCCUPANTS= 24 FIRST FLOOR

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ISSUE RECORD

DWG STATUS	DATE	ISSUE
	11/03/10	1
	11/03/10	2

REVISIONS

NO	DATE	DESCRIPTION

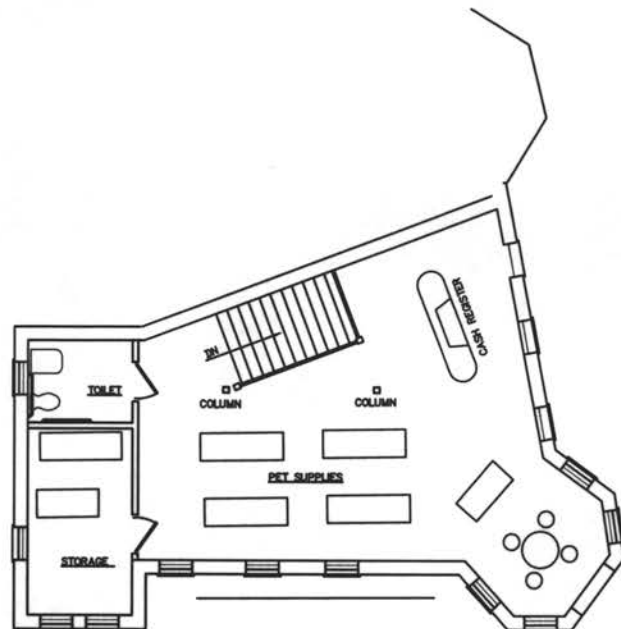
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PROJECT NUMBER
DRAWING TITLE
ARCHITECTURAL
FLOOR PLAN & NOTES

DESIGNED: HLW SCALE
DRAWN: J.A. DATE: 06/15/10
CHECKED: HLW SHEET 0 OF 0
DRAWING NUMBER

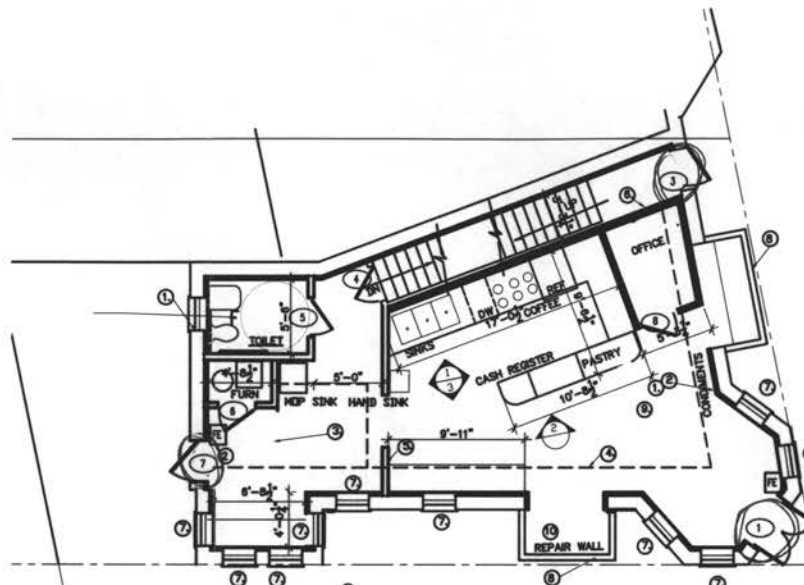
A.1.0



SECOND FLOOR PLAN
SCALE = 1/4" = 1'-0"

DRAWING NOTES

1. PATCH, REPAIR AND POINT UP, EXISTING MASONRY WALLS WHERE DAMAGED.
2. FURR OUT THE EXISTING PERIMETER WALLS NEW 2 1/2" GALV. MET FURRING CHANNELS @ 16" OC. COVERED WITH 5/8" GYPSUM BOARD.
3. REPAIR OR REPLACE FLOOR CONSTRUCTION 2ND FLOOR TO INSURE SOUND FLOOR CONSTRUCTION.
4. 15/32" FINISH FLOOR 23/32" PLYWOOD SUB FLOOR WITH
5. REPAIR EXISTING GUARD RAIL, AT EXISTING STAIR REPLACE MISSING OR BROKEN COMPONENTS.
6. NEW PARTITIONS SHALL BE 2X4 STUDS @ 16 OC W/ 5/8" DRYWALL ON EACH SIDE. SEE PARTITION TYPES FOR UL U-301 FIRE RATING.
7. NEW REPLACEMENT DOUBLE HUNG WINDOWS REMOVE AND REPLACE SECURITY BAR CONTRACTOR SHALL FIELD MEASURE E.A. OPENING.
8. REMOVE EXISTING 2 X 4 STUDS WALL.
9. FLOOR FINISH SHALL BE QUARRY TILE, BASE CERAMIC TILE WALLS SHALL BE CERAMIC TILE AND PAINT CEILINGS PAINTED GYP. BOARD.
10. REMOVE AND REPLACE EXISTING GUTTER AND DOWNSPOUT. REMOVE AND REPLACE EXISTING FASCIA BOARD.



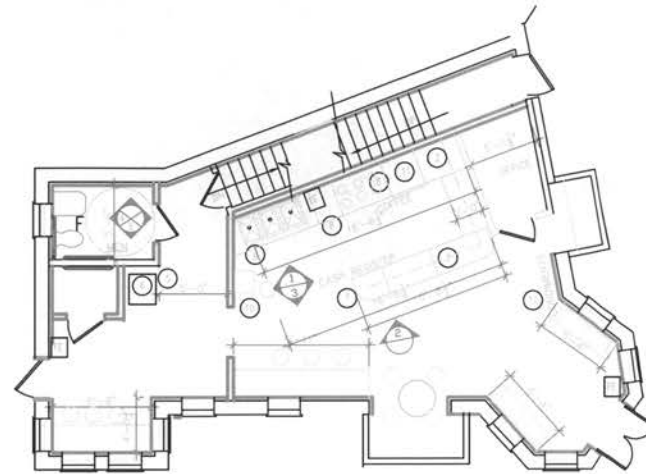
FIRST FLOOR PLAN
SCALE = 1/4" = 1'-0"

DRAWING NOTES

1. PATCH, REPAIR AND POINT UP, EXISTING MASONRY WALLS WHERE DAMAGED.
2. FURR OUT THE EXISTING PERIMETER WALLS NEW 2 1/2" GALV. MET FURRING CHANNELS @ 16" OC. COVERED WITH 5/8" GYPSUM BOARD.
3. REPAIR OR REPLACE FLOOR CONSTRUCTION TO INSURE SOUND FLOOR CONSTRUCTION 15/32" FINISH FLOOR 23/32" PLYWOOD SUB FLOOR
4. FURR OUT NEW DUCTS/ GYP BOARD BALKHEAD.
5. NEW 5/8" GYPSUM BOARD ON EXISTING 2X4 STUDS.
6. NEW PARTITIONS SHALL BE 2X4 STUDS @ 16 OC W/ 5/8" DRYWALL ON EACH SIDE. SEE PARTITION TYPES FOR UL U-301 FIRE RATING.
7. NEW REPLACEMENT DOUBLE HUNG WINDOWS CONTRACTOR SHALL FIELD MEASURE E.A. OPENING.
8. REMOVE AND REPLACE EXISTING SIDING AND ROOFING ABOVE PROVIDE NEW FRAMING AS REQUIRED.
9. FLOOR FINISH SHALL BE QUARRY TILE, BASE CERAMIC TILE WALLS SHALL BE CERAMIC TILE AND PAINT CEILINGS PAINTED GYP. BOARD.
10. PROVIDE NEW ASPHALT ROOFING ABOVE ATRIUM INSTALLED AND CDX PLYWOOD ON 2 X 8 ROOF RAFTERS @ 24" OC

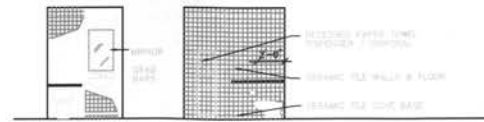
SYMBOLS

- == EXISTING TO BE REMOVED
== EXISTING PARTITION
== NEW PARTITION

[illegible]

- 121 THE HOT WATER FOR THIS FOOD FOOD SERVICE ESTABLISHMENT SHALL BE SUPPLIED TO THE MAXIMUM USE DEMANDS OF ALL PLUMBING FIXTURES OUTSIDE GALLERIES.
- 122 THE HEED AND DUCT INSTALLATIONS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SYSTEM.
- 123 THE TOILET ROOM DOOR SHALL BE SELF CLOSING NON-SWALLOWED AND PROVIDED WITH INSIDE COMPARTMENT.
- 124 THE TOILET ROOM SHALL BE MECHANICALLY VENTILATED BY AN EXHAUST FAN DUCTED TO THE OUTSIDE OF THE BUILDING.
- 125 TRASH OUTDRAIN WITH LIDS MUST BE PROVIDED THROUGHOUT THE FACILITY.
- 126 CUP AND GLASS BASKS MUST BE STORED A MINIMUM OF 18" ABOVE FLOOR. FOOD EQUIPMENT STORAGE MUST BE SET 6" ABOVE FLOOR.
- 127 EQUIPMENT NOT IMMEDIATELY SPACED FOR CLEANING SHALL BE SEALED WITH STAINLESS STEEL TRIM AND OR CLEAR GLASS SEALANT.
- 128 SEAL AROUND LINES WHERE THEY ENTER THE FLOORS, WALLS AND CEILING THERE SHALL BE NO EXPOSED CORNER IN INTERIOR SIDE OF WALL OR CEILING OF WALL-IN JOINT.
- 129 HOOD TO EXTEND 12" BEYOND COOKING SURFACE ON ALL OPEN SIDES.

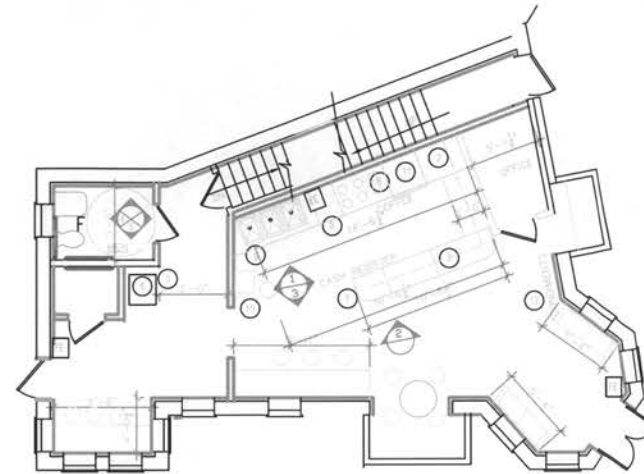
- (2b) FLOOR MOUNTED EQUIPMENT MUST BE MOVABLE OR SEAL TO THE FLOOR OR TO THE TABLE OR PROVIDE WITH 4" LEGS.
- (2c) ALL WALL SURFACES, INCLUDING CONCRETE MASONRY WALL, IN FOOD PREPARATION AREAS, REAR WASHING AREAS AND TOILET AREAS, MUST BE SMOOTH, NON-ABSORBENT AND IMPERVIOUS TO CONTAMINANTS. IF CONCRETE WALLS ARE PROPOSED, THE JOINTS MUST BE FLUSH, AND ALL IMPERFECTIONS ARE ELIMINATED.
- (2d) SPECIAL NOTES:
 - ALL LIGHTING FIXTURES INSTALLED UNDER THE REAR COUNTER CROCK MUST BE PROTECTED BY FLUORESCENT MESH SCREENED TO THE EXPOSED SURFACE. A MINIMUM OF FIFTY CANDLES F LIGHT MUST BE PROVIDED ALL FOOD PREPARATION AREAS UNDER THE REAR COUNTER. MINIMUM AIR SPEED AT THE EDGE OF THE CROCK SCREEN SHALL BE FIFTY (50) FEET PER MINUTE IN THE DIRECTION OF THE EXHAUST.
- (3) LIGHTING PROVIDE AT LEAST:
 - SOFT CANDLES ON FOOD PREPARATION, UTENSIL WASHING AND WASHING SURFACES.
 - SOFT CANDLES IN TOILET HROOM.
 - SOFT CANDLES ALL OTHER AREAS MEASURED 30 INCHES FROM FLOOR.
- (4) ALL EQUIPMENT IN FOOD-SERVICE ESTABLISHMENTS MUST MEET NATIONAL SANITATION FOUNDATION (NSF) STANDARDS.



ELEVATION 5
SCALE : 1/4" = 1'-0"

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	MAKE	PLUMBING	ELECTRIC	REMARKS
1	COFFIN CATCH	CATCH TANK OR SERVICE MODEL # 3-150 (20015)			
2	SEALANT FOR OPENING	VALCAN MIP 2			
3	WASTES & DRAINS	CUSTOM MADE			
4	COFFEE STATION	CUSTOM MODEL # 8H-100			
5	WATER SINK	SEE PLUMBING SPECIFICATIONS			
6	WASH SINK	SEE ARCHITECTURAL SPECIFICATIONS			
7	COFFEE REGISTER STATION	MODEL # 8H-100			
8	UNDER SINKER DRAIN WASTES	MODEL # 3-150 (20015)			
9	SEALANT FOR OPENING	VALCAN MIP 2			
10	TRASH SINK	SEE PLUMBING SPECIFICATIONS			
11	REFRIGERATION CONDENSER	SEE PLUMBING SPECIFICATIONS			
12	CONDENSER DRAIN PUMP	SEE PLUMBING SPECIFICATIONS			



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

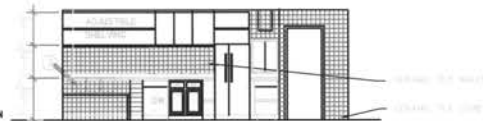
HEALTH DEPARTMENT NOTES

- THE HOT WATER FOR THIS FOOD SERVICE ESTABLISHMENT SHALL BE SIZED TO THE MAXIMUM USE DEMANDS OF ALL PLUMBING FIXTURES ORDINANCE GALLONS.
- THE HOOD AND DUCT INSTALLATIONS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SYSTEM.
- THE TOILET ROOM DOOR SHALL BE SELF CLOSING (INCH-LOUVER) AND PROVIDED WITH INSIDE COMPARTMENT.
- THE TOILET ROOM SHALL BE MECHANICALLY VENTILATED BY AN EXHAUST FAN DUCTED TO THE OUTSIDE OF THE BUILDING.
- TRASH CONTAINER WITH LIDS MUST BE PROVIDED THROUGHOUT THE FACILITY.
- CUP AND GLASS RACKS MUST BE STORED A MINIMUM OF 18" ABOVE FLOOR. FOOD EQUIPMENT STORAGE MUST BE 24" ABOVE FLOOR.
- EQUIPMENT NOT ADEQUATELY SPACED FOR CLEANING SHALL BE SEALED WITH STAINLESS STEEL TRIM AND OR CLEAR SILICONE SEALANT.
- SEAL AROUND LINES WHERE THEY ENTER THE FLOORS, WALLS AND CEILING THERE SHALL BE NO EXPOSED CONDUIT IN INTERIOR SIDE OF WALL OR CEILING OF WALL-ON JOINT.
- HOOD TO EXTEND 12" BEYOND COOKING SURFACE ON ALL OPEN SIDES.

THE USE OF SEALANTS ON FOOD SERVICE EQUIPMENT

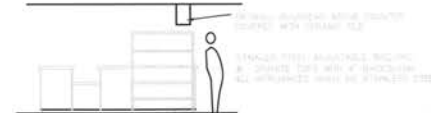
- FLOOR MOUNTED EQUIPMENT MUST BE MOVABLE OR SEAL TO THE FLOOR OR TO THE TABLE OR PROVIDE WITH 4" LEGS.
- ALL WALL SURFACES, INCLUDING CONCRETE MASONRY WALL, IN FOOD PREPARATION AREAS, DISH WASHING AREAS AND TOILET AREAS, MUST BE SMOOTH FROM ALL PIN HOLES, IMPERFECTIONS AND PROTRUSIONS. IF CONCRETE MASONRY WALL ARE PROPOSED, THE JOINTS MUST BE FLUSH, AND ALL IMPERFECTIONS ARE ELIMINATED.
- SPECIAL NOTES:
ALL LIGHTING FIXTURES INSTALLED UNDER THE HOOD CANOPY (GRID) MUST BE UL APPROVED AND FLUSH MOUNTED TO THE INSIDE SURFACE. A MINIMUM OF 30 FOOT CANDLES IF LIGHT MUST BE APPROVED ON ALL FOOD PREPARATION AREAS UNDER THE HOOD CANOPY MINIMUM AIR SPEED AT THE EDGE OF THE COOKING SURFACE SHALL BE FIFTY (50) FOOT PER MINUTE IN THE DIRECTION OF THE EXHAUST.
- LIGHTING PROVIDE AT LEAST:
SOFT CANDLES IN FOOD PREPARATION, UTENSIL WASHING AND WASHING SURFACES.
SOFT CANDLES IN TOILET ROOM, AND
SOFT CANDLES IN OTHER AREAS MEASURED 30 INCHES FROM FIN FLOOR.
- ALL EQUIPMENT IN FOOD-SERVICE ESTABLISHMENTS MUST MEET NATIONAL SANITATION FOUNDATION (NSF) STANDARDS.

- ALL SEALANTS MUST BE LISTED AS APPROVED BY THE NATIONAL SANITATION FOUNDATION (NSF) UNDER STANDARD 51.
- ALL UTILITY LINES, ELECTRICAL, PLUMBING AND MECHANICAL VENTILATION.
- SEALANTS MAY BE USED TO FILL SPACES AND OPENINGS SUCH AS, BUT NOT LIMITED TO BLIND RIVET HEADS AND SLOT OR PHILLIPS HEAD SCREWS.
- OPENING AROUND SERVICE AND UTILITY LINES SHALL BE CLOSED IN SO FAR AS PRACTICAL BY:
A. COLLARS OR GROMMETS.
B. FLEXIBLE FORM GASKETS.
SEALANTS MAY BE USED TO SEAL SERVICE AND UTILITY LINES TO WALLS OR ADJACENT PIECES OF EQUIPMENT WHERE THE SPACING IS CLOSED TO LESS THAN 1/8" GAPPED.
- SEALANTS MAY NOT BE UTILIZED IN FOOD AND SPLASH CONTACT SURFACES, TO FILL OPEN SPACES OR Voids WHICH RESULT DUE TO IMPROPER DESIGN OR FABRICATION. ANY OPENING IN EXCESS OF 1/8" SHALL BE CONSIDERED EXCESSIVE AND MUST BE CLOSED USING PROPER FIELD JOINTS.



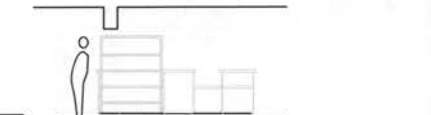
ELEVATION 1

SCALE: 1/4" = 1'-0"



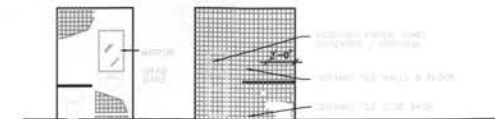
ELEVATION 2

SCALE: 1/4" = 1'-0"



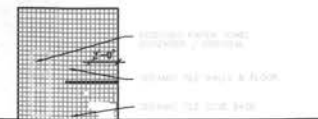
ELEVATION 3

SCALE: 1/4" = 1'-0"



ELEVATION 4

SCALE: 1/4" = 1'-0"



ELEVATION 5

SCALE: 1/4" = 1'-0"

HLW

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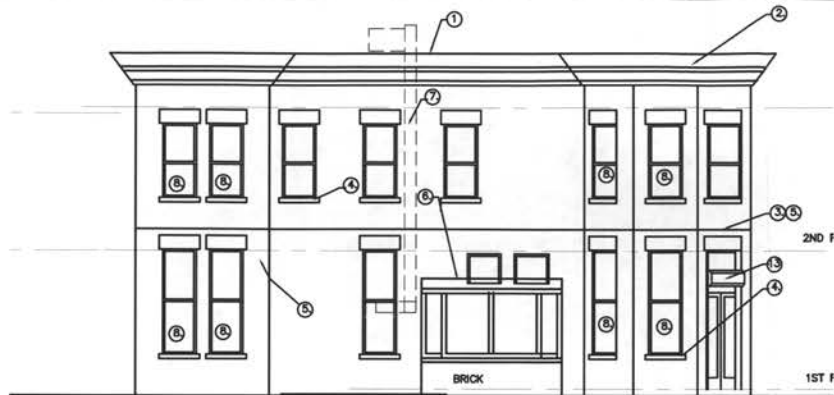
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OWNER
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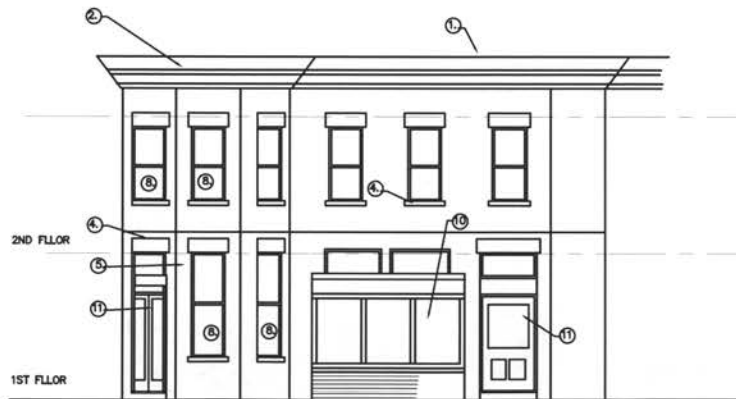
PROJECT NUMBER
DRAWING TITLE
ARCHITECTURAL COFFEE
COUNTER PLAN & NOTES

DESIGNED: HLW SCALE
DRAWN: JLA DATE: 09/15/10
CHECKED: HLW SHEET 0 OF 6
DRAWING NUMBER

A.1.1



SIDE ELEVATION B
SCALE: 1/4" = 1'-0"



SIDE ELEVATION A
SCALE: 1/4" = 1'-0"

DRAWING NOTES

- ① PROVIDE NEW ROOFING, NEW ROOF JOIST AND ROOF SHEATHING AS REQUIRED.
- ② REPAIR EXISTING CORNICE, FREEZE, TRIM AND COPING. REPAIR, FILL AND SAND SMOOTH PRIOR TO PAINTING
- ③ REPAIR MASONRY BELOW WINDOW
- ④ REPAIR EXISTING WINDOW SILLS AND LINTELS
- ⑤ PATCH, REPAIR AND POINT UP, EXISTING MASONRY WALLS WHERE DAMAGED AND REPAIR.
- ⑥ NEW SHOW WINDOW FRAMING
- ⑦ REMOVE EXISTING DUCT.
- ⑧ REMOVE AND REPLACE SECURITY BARS AS REQUIRED TO INSTALL NEW WINDOWS AND DOORS.
- ⑨ NEW REPLACEMENT DOUBLE HUNG WINDOWS. CONTRACTOR SHALL FIELD MEASURE EA. OPENING.
- ⑩ REPAIR EXISTING WALL NEW BRICK BELOW AND WINDOWS ABOVE. PROVIDE NEW FRAMING AS REQUIRED.
- ⑪ REMOVE AND REPLACE EXISTING ENTRANCE DOOR AND FRAME AND TRANSOM.
- ⑫ 4" CONCRETE SLAB ON 6" GRAVEL
- ⑬ REPAIR AND PAINT EXISTING ROLL UP GRILE HOOD TO REMAIN

HLW

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DRAWN: J.A. DATE: 09/15/10
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A-2.0



