

Form 601 - CPB

CERTIFICATE OF OCCUPANCY

No. **A 20476**

Washington, D.C. **April 2** 19 **81**

Permission is hereby granted to **Murray & Florence R. Shipper**

to use the **1st** floor(s) of the building located on Lot **34** Square **1022**

known as premises **1800 Potomac Ave., N. E.** for the following

purpose(s): **Grocery**

THIS CERTIFICATE SHALL BE POSTED CONSPICUOUSLY ON THE ABOVE PREMISES AT ALL TIMES.

"This Certificate of Occupancy need not be renewed unless there is a change in (1) the type of business, (2) address of business, (3) ownership of business, or (4) part of the building used for the business: **BLIT**, should there be any change in one or more of the foregoing items a **NEW** Certificate of Occupancy must be obtained."

ZONE **Res. 60-B** FEE **\$ 4.00**

Superintendent of Permits D.C.
[Signature]

RECEIVED
D.C. OFFICE OF ZONING
2011 JUL 29 PM 2:33

BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. **18275**

EXHIBIT NO. **10**

Board of Zoning Adjustment
District of Columbia
CASE NO.18275
EXHIBIT NO.10

RECEIVED
D.C. OFFICE OF ZONING

2011 JUL 29 PM 2:34

RENOVATIONS AND REPAIRS TO

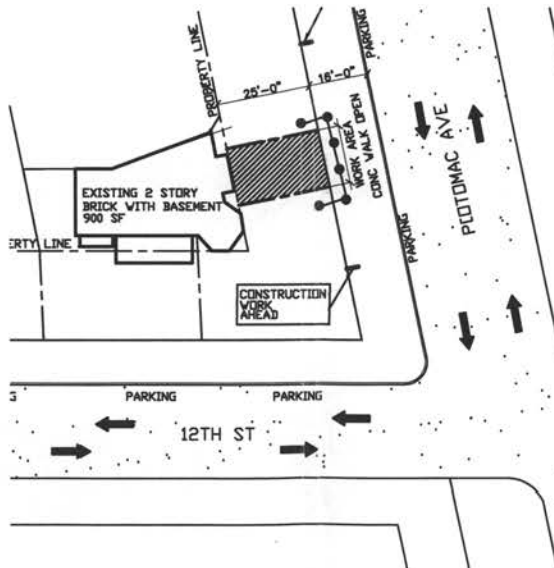
1200 POTOMAC AVE. SE
WASHINGTON DC

ARCHITECT: H.L. WALKER AND ASSOCIATES, P.C.
WASHINGTON, D.C.

OWNER: POTOMAC AVE. L.L.C.

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- Work by all trades shall conform to the Government of the District of Columbia Department of Consumer and Regulatory Affairs.
- During demolition the contractor shall verify that all walls and or items to be removed are not structural load bearing walls. Any walls that are load bearing shall not be removed.
- ALL FIXED GLASS & REPLACEMENT WINDOWS SHALL BE FIELD MEASURED
- Provide new metal flashing at chimney and other roof intersections as required.
- Insulation shall be as follows:
- Ceiling R-30
- Exterior, above grade walls R-13
- Point up and repair existing masonry walls as required some areas below existing windows shall be removed and replaced.
- Dimensions Shown are finish dimensions unless otherwise noted.
- Door designations are generic and are shown in feet and inch notation. Example - 24 x 68 means 2'-4" W x 6'-8" H.
- Window designations 28x24 are taken from Weather Shield Inc.
- Contractor verify all field conditions. Should discrepancies be found, they shall be reviewed with and by the architect prior to commencement of work.
- Provide new roof framing as required and new roofing membrane for the entire roof area, rigid insulation fully adhered, with modified bitumen roof membrane.
- Provide new aluminum gutters and down spouts roof drainage system thru-out
- Repair existing wood floors remove sub flooring & finish flooring, replace any damaged floor joist install new sub floor and finish floor.
- Framing of 2 x 4 stock at Perimeter walls & 2 x 4 stock at interior areas unless otherwise specified.
- Provide double 2x10 headers above each new window or door opening unless otherwise noted.
- Exterior sheathing shall be CD plywood.
- Contractor to complete entire project envelope; roofing siding, gutter systems, etc. as indicated on drawings.
- New and existing finished floor lines to match in elevation. Floor finishes per plans.



BOARD OF ZONING ADJUSTMENT
District of Columbia

CASE NO. 11275
EXHIBIT NO. 10

INDEX OF DRAWINGS

SHT. NO	TITLE
CS-1	COVER SHEET
C-1	WASA PLAN & NOTES
C-2	SEDIMENT CONTROL DETAILS
C-3	TRAFFIC CONTROL PLAN
A-1.0	ARCHITECTURAL FLOOR PLANS & NOTES
A-1.1	ARCHITECTURAL COFFEE COUNTER PLAN
A-2.0	ARCHITECTURAL ELEVATIONS
A-3.0	ARCHITECTURAL DETAILS
M-1.0	MECHANICAL HVAC PLAN
E-1.0	ELECTRICAL SPECIFICATIONS & NOTES
E-1.1	ELECTRICAL FLOOR PLANS
E-1.2	ELECTRICAL RISER DIA. & SCHEDULES

PROJECT DATA

1200 POTOMAC AVE., SE..
LOT 34 - SQUARE 1021
ZONING: R5-B
LOT SIZE: 1500 SF
F.A.R: NONE REQUIRED

TYPE OF CONSTRUCTION: 3B
LOT OCCUPANCY: NO CHANGE
EXISTING BUILDING SF 850 SF
REAR YARD: EXISTING -
SIDE YARD: NONE REQUIRED

EXISTING USE MERCANTILE GROCERY
PROPOSED USE "B" LESS THAN 50 OCCUPANTS
OCCUPANT LOAD = 8 CUSTOMERS 4 EMPLOYEES
OCCUPANTS= 12 SECOND FLOOR
OCCUPANT LOAD = 20 SEATS 4 EMPLOYEES
OCCUPANTS= 24 FIRST FLOOR

HLW

H.L. WALKER
AND ASSOCIATES, P.C.
ARCHITECTS - PLANNERS
7600 GEORGIA AVE., N.W.
WASHINGTON, DC 20012
(301) 351-8972

CERTIFICATION

BY: _____
REGISTRATION NO.: _____
DATE: _____

ISSUE RECORD

DWG	DATE	ISSUED	REVISED	BY	DATE
1103/10					
1103/10					

REVISIONS

NO	DATE	DESCRIPTION

PROJECT TITLE
RENOVATIONS TO
1200 POTOMAC AVE. SE.
WASHINGTON DC

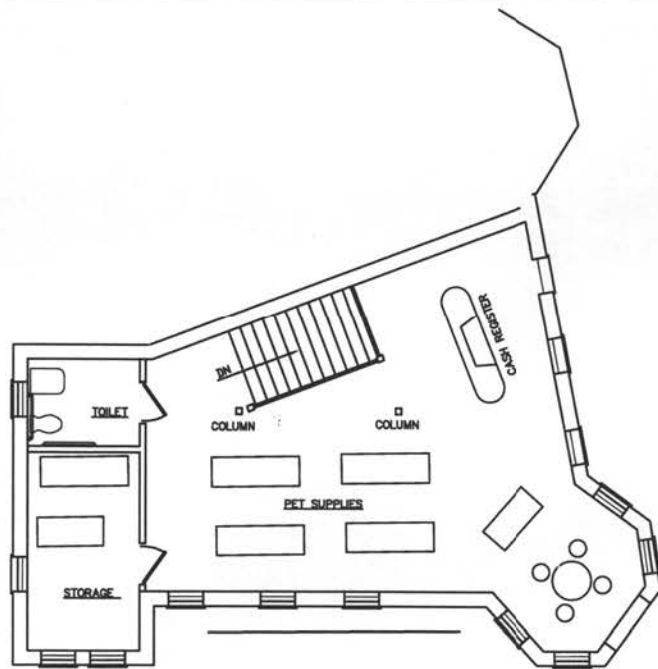
OWNER
POTOMAC AVE. L.L.C.
4303 WEBSTER ST.
BLADENSBURG, MD

PROJECT NUMBER
DRAWING TITLE

COVER SHEET

DESIGNED: HLW SCALE
DRAWN: JLA DATE: 09/15/10
CHECKED: HLW SHEET 0 OF 0
DRAWING NUMBER

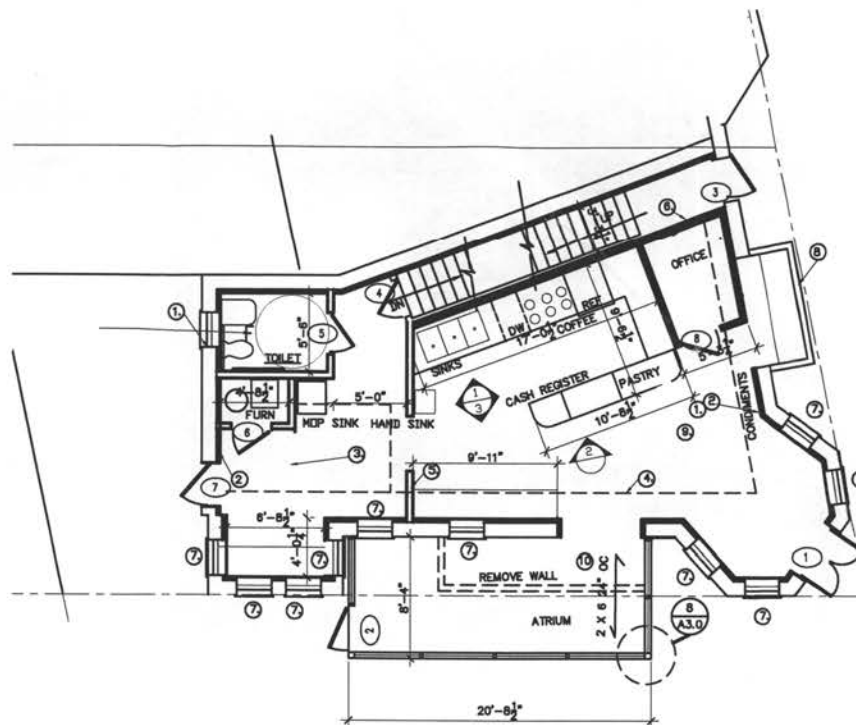
CS-1



SECOND FLOOR PLAN
SCALE = 1/4" = 1'-0"

DRAWING NOTES

- ① PATCH, REPAIR AND POINT UP, EXISTING MASONRY WALLS WHERE DAMAGED.
- ② FURR OUT THE EXISTING PERIMETER WALLS NEW 2 1/2" GALLY. MET FURRING CHANNELS @ 16" OC. COVERED WITH 5/8" GYPSUM BOARD.
- ③ REPAIR OR REPLACE FLOOR CONSTRUCTION 2ND FLOOR TO INSURE SOUND FLOOR CONSTRUCTION.
- ④ 15/32" FINISH FLOOR 23/32" PLYWOOD SUB FLOOR WITH
- ⑤ REPAIR EXISTING GUARD RAIL AT EXISTING STAIR REPLACE MISSING OR BROKEN COMPONENTS.
- ⑥ NEW PARTITIONS SHALL BE 2X4 STUDS @ 16 OC W/ 5/8" DRYWALL ON EACH SIDE. SEE PARTITION TYPES FOR UL U-301 FIRE RATING.
- ⑦ NEW REPLACEMENT DOUBLE HUNG WINDOWS REMOVE AND REPLACE SECURITY BAR CONTRACTOR SHALL FIELD MEASURE EA. OPENING.
- ⑧ REMOVE EXISTING 2 X 4 STUDS WALL.
- ⑨ FLOOR FINISH SHALL BE QUARRY TILE. BASE CERMIC TILE WALLS SHALL BE CERAMIC TILE AND PAINT CEILINGS PAINTED GYP BOARD.
- ⑩ REMOVE AND REPLACE EXISTING GUTTER AND DOWNSPOUT. REMOVE AND REPLACE EXISTING FASCIA BOARD.



FIRST FLOOR PLAN
SCALE = 1/4" = 1'-0"

DRAWING NOTES

- ① PATCH, REPAIR AND POINT UP, EXISTING MASONRY WALLS WHERE DAMAGED.
- ② FURR OUT THE EXISTING PERIMETER WALLS NEW 2 1/2" GALLY. MET FURRING CHANNELS @ 16" OC. COVERED WITH 5/8" GYPSUM BOARD.
- ③ REPAIR OR REPLACE FLOOR CONSTRUCTION TO INSURE SOUND FLOOR CONSTRUCTION 15/32" FINISH FLOOR 23/32" PLYWOOD SUB FLOOR
- ④ FURR OUT NEW DUCTSW/ GYP BOARD BALKHEAD.
- ⑤ NEW 5/8" GYPSUM BOARD ON EXISTING 2X4 STUDS.
- ⑥ NEW PARTITIONS SHALL BE 2X4 STUDS @ 16 OC W/ 5/8" DRYWALL ON EACH SIDE. SEE PARTITION TYPES FOR UL U-301 FIRE RATING.
- ⑦ NEW REPLACEMENT DOUBLE HUNG WINDOWS CONTRACTOR SHALL FIELD MEASURE EA. OPENING.
- ⑧ REMOVE AND REPLACE EXISTING SIDING AND ROOFING ABOVE PROVIDE NEW FRAMING AS REQUIRED.
- ⑨ FLOOR FINISH SHALL BE QUARRY TILE. BASE CERMIC TILE WALLS SHALL BE CERAMIC TILE AND PAINT CEILINGS PAINTED GYP BOARD.
- ⑩ PROVIDE NEW ASPHALT ROOFING ABOVE ATRIUM INSTALLED AND CDX PLYWOOD ON 2 X 6 ROOF RAFTERS @ 24" OC

SCALE = 1/4" = 1'-0"

SYMBOLS

- == EXISTING TO BE REMOVED
- == EXISTING PARTITION
- == NEW PARTITION

HLW

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WASHINGTON, DC 20012
(301) 351-8972

CERTIFICATION

BY: _____
REGISTRATION NO.: _____
DATE: _____

ISSUE RECORD

DWG STATUS	DATE	DESCRIPTION
11/03/10		
11/03/10		
11/03/10		
11/03/10		
11/03/10		
11/03/10		
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REVISIONS

NO	DATE	DESCRIPTION

PROJECT TITLE
RENOVATIONS TO
1200 POTOMAC AVE. SE.
WASHINGTON DC

OWNER
POTOMAC AVE. L.L.C.
4303 WEBSTER ST.
BLADENBURG, MD

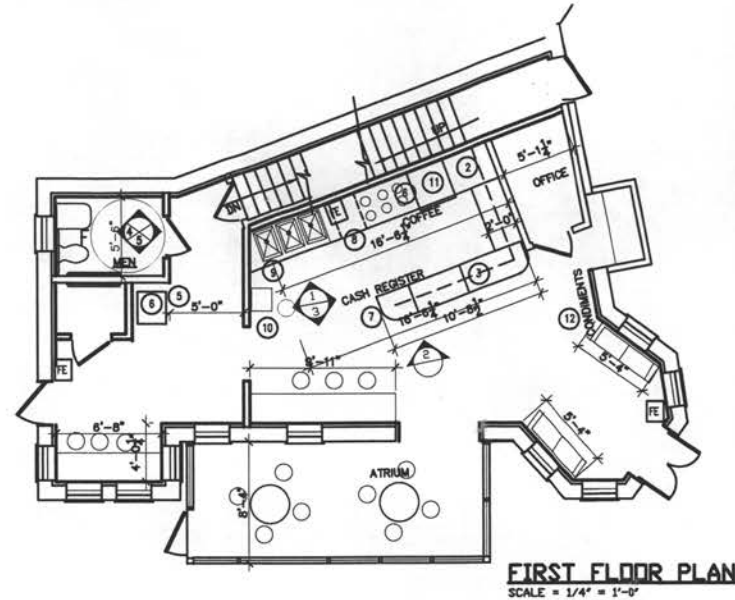
PROJECT NUMBER
DRAWING TITLE
ARCHITECTURAL
FLOOR PLAN & NOTES

DESIGNED: HLW SCALE
DRAWN: JLA DATE: 05/15/10
CHECKED: HLW SHEET 0 OF 0
DRAWING NUMBER

A.1.0

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	MAKE	PLUMBING			ELECTRIC				REMARKS
			WATER	WASTE	GAS	VOLT	Ø	HZ	KW/HP	
1	DISH CADDY	CADDY CORP OF AMERICA MODEL # T-190 (TRAYS)								
2	COUNTERTOP OVEN CONVECTION	VULCAN MGF 2								
3	PASTRY & DRINKS	CUSTOM MADE								
4	COFFEE STATION	CURTIS MODEL # RH-300								
5	MOP SINK	SEE PLUMBING DRAWINGS								
6	MOP RACK	SEE ARCHITECTURAL DRAWINGS								
7	CASH REGISTER STATION	VULCAN MODEL # DS22X-DH								
8	UNDER COUNTER DISH WASHER	CRYSTAL TIPS MODEL CAE 012 - 10								
9	3 COMPARTMENT	DUKE CUSTOM								
10	HAND SINK									
11	REFRIGERATOR FREEZER	STAINLESS STEEL "GE"								
12	CONDIMENTS STATION									
13										

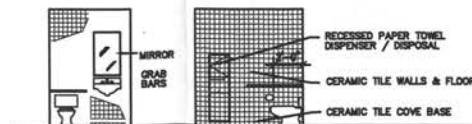


HEALTH DEPARTMENT NOTES

- 113 THE HOT WATER FOR THIS FOOD SERVICE ESTABLISHMENT SHALL BE SIZED TO THE MAXIMUM USE DEMANDS OF ALL PLUMBING FIXTURES ORIGIN GALLONS.
- 123 THE HOOD AND DUCT INSTALLATIONS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SYSTEM.
- 133 THE TOILET ROOM SHALL BE SELF CLOSING OVEN-LOUVERED AND PROVIDED WITH INSIDE COMPARTMENT.
- 143 THE TOILET ROOM SHALL BE MECHANICALLY VENTILATED BY AN EXHAUST FAN LOCATED TO THE OUTSIDE OF THE BUILDING.
- 153 TRASH CONTAINER WITH LIDS MUST BE PROVIDED THROUGHOUT THE FACILITY.
- 163 CUP AND GLASS RACKS MUST BE STORED A MINIMUM OF 18" ABOVE FLOOR. FOOD EQUIPMENT STORAGE MUST BE SETS ABOVE FLOOR.
- 173 EQUIPMENT NOT ADEQUATELY SPACED FOR CLEANING SHALL BE SEALED WITH STAINLESS STEEL TRIM AND OR CLEAR SILICONE SEALANT.
- 183 SEAL AROUND LINES WHERE THEY ENTER THE FLOOR, WALLS AND CEILING THERE SHALL BE NO EXPOSED CONDUIT IN INTERIOR SIDE OF WALL OR CEILING OF WALL-IN JOINT.
- 193 HOOD TO EXTEND 12" BEYOND COOKING SURFACE ON ALL OPEN SIDES.

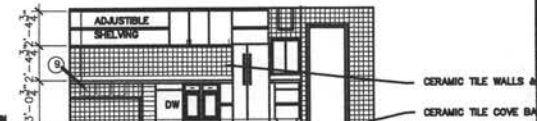
THE USE OF SEALANTS ON FOOD SERVICE EQUIPMENT

- 203 FLOOR MOUNTED EQUIPMENT MUST BE MOVABLE OR SEAL TO THE FLOOR OR TO THE TABLE OR PROVIDE WITH 4" LEGS.
- 213 ALL WALL SURFACES, INCLUDING CONCRETE MASONRY WALL, IN FOOD PREPARATION AREAS, WASHING AREAS AND TOILET AREAS, MUST BE SMOOTH FINISH ALL PIN HOLES, INTERSTICES AND CRACKS. IF CONCRETE MASONRY WALL ARE PROVIDED, THE JOINTS MUST BE FLUSH, AND ALL IMPERFECTIONS ARE ELIMINATED.
- 223 SPECIAL NOTES:
ALL LIGHTING FIXTURES INSTALLED UNDER THE HOOD CANOPY OR HOOD MUST BE UL APPROVED AND FLUSH MOUNTED TO THE INSIDE SURFACE, A MINIMUM OF 20 FEET CABLES & LIGHT MUST BE APPROVED ON ALL FOOD PREPARATION AREAS UNDER THE HOOD CANOPY HOODMAN AIR SPEED AT THE EDGE OF THE COOKING SURFACE SHALL BE FIFTY (50) FEET PER MINUTE IN THE DIRECTION OF THE EXHAUST.
- 233 LIGHTING PROVIDE AT LEAST:
SOFT CABLES ON FOOD PREPARATION, UTENSIL WASHING AND WASHING SURFACES.
SOFT CABLES IN TOILET ROOM, AND
SOFT CABLES ALL OTHER AREAS MEASURED 30 INCHES FROM FSN FLOOR.
- 243 ALL EQUIPMENT IN FOOD-SERVICE ESTABLISHMENTS MUST MEET NATIONAL SANITATION FOUNDATION (NSF) STANDARDS.

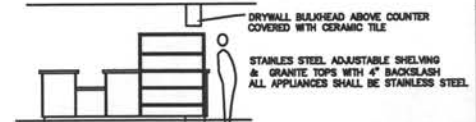


ELEVATION 4
SCALE: 1/4" = 1'-0"

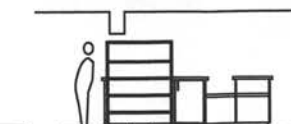
ELEVATION 5
SCALE: 1/4" = 1'-0"



ELEVATION 1
SCALE: 1/4" = 1'-0"



ELEVATION 2
SCALE: 1/4" = 1'-0"



ELEVATION 3
SCALE: 1/4" = 1'-0"

HLW
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WASHINGTON, DC 20012
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CERTIFICATION

BY: _____
REGISTRATION NO.: _____
DATE: _____

ISSUE RECORD

DATE	DESCRIPTION
11/03/10	ISSUED FOR PERMIT
11/03/10	ISSUED FOR CONSTRUCTION

REVISIONS

NO	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE:
RENOVATIONS TO
1200 POTOMAC AVE. SE.
WASHINGTON DC

OWNER:
POTOMAC AVE. L.L.C.
4303 WEBSTER ST.
BLADENSBURG, MD

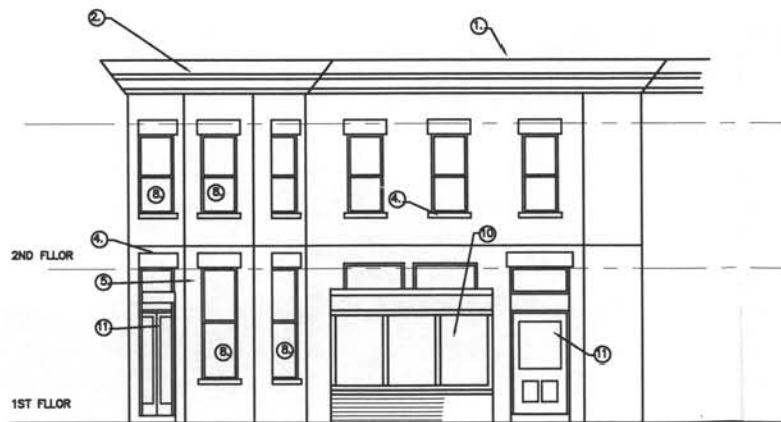
PROJECT NUMBER:
DRAWING TITLE:
ARCHITECTURAL COFFEE
COUNTER PLAN & NOTES

DESIGNED: HLW SCALE:
DRAWN: JLA DATE: 09/15/10
CHECKED: HLW SHEET 0 OF 0
DRAWING NUMBER:

A.1.1



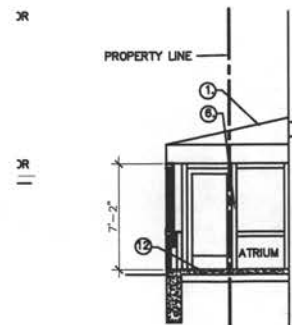
SIDE ELEVATION B
SCALE : 1/4" = 1'-0"



SIDE ELEVATION A
SCALE : 1/4" = 1'-0"

DRAWING NOTES

- ① PROVIDE NEW ROOFING. NEW ROOF JOIST AND ROOF SHEATHING AS REQUIRED.
- ② REPAINT EXISTING CORNICE, FREEZE, TRIM AND COPING. REPAIR, FILL AND SAND SMOOTH PRIOR TO PAINTING
- ③ REPAIR MASONRY BELOW WINDOW
- ④ REPAIR EXISTING WINDOW SILLS AND LINTELS
- ⑤ PATCH, REPAIR AND POINT UP, EXISTING MASONRY WALLS WHERE DAMAGED AND REPAIR.
- ⑥ NEW SHOW WINDOW FRAMING
- ⑦ REMOVE EXISTING DUCT.
- ⑧ REMOVE AND REPLACE SECURITY BARS AS REQUIRED TO INSTALL NEW WINDOWS AND DOORS.
- ⑨ NEW REPLACEMENT DOUBLE HUNG WINDOWS CONTRACTOR SHALL FIELD MEASURE EA. OPENING.
- ⑩ REMOVE AND REPLACE EXISTING SHEATHING AND ROOFING ABOVE PROVIDE NEW FRAMING AS REQUIRED.
- ⑪ REMOVE AND REPLACE EXISTING ENTRANCE DOOR AND FRAME AND TRANSOM.
- ⑫ 4" CONCRETE SLAB ON 6" GRAVEL.
- ⑬ REPAIR AND PAINT EXISTING ROLL UP GRILE HOOD TO REMAIN



ATRIUM ELEVATION C
SCALE : 1/4" = 1'-0"

HLW

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WASHINGTON, DC 20012
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CERTIFICATION

BY: _____
REGISTRATION NO.: _____
DATE: _____

ISSUE RECORD

DWG STATUS	DATE	REVISION
	11/02/10	1
	11/02/10	2

2011 JUL 29
D.C. OFFICE OF BUILDING

REVISIONS	NO	DATE	DESCRIPTION
	34		

PROJECT TITLE
RENOVATIONS TO
1200 POTOMAC AVE. SE.
WASHINGTON DC

OWNER
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PROJECT NUMBER
DRAWING TITLE
ARCHITECTURAL ELEVATIONS

DESIGNED: HLW SCALE
DRAWN: JLA DATE: 09/15/10
CHECKED: HLW SHEET 0 OF 0
DRAWING NUMBER

A-2.0